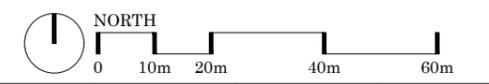


NOTES:  
█ Property Boundary  
█ Site Boundary (0.018Ha)

©Clarke Consultancy\_Apr\_2021  
 ©Crown Copyright and database rights 2021 OS 100047474.  
 All dimensions are in millimetres.



Blue Forest (UK) Limited  
 The Studio  
 Bensfield Farm  
 Beech Hill  
 Wadhurst  
 East Sussex  
 TN5 6JR, UK  
 t: +44 (0)1892 75 00 90  
 e: info@blueforest.com  
 w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences.  
 Figured dimensions are only to be taken from this drawing.  
 This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences.  
 Copyright © Blue Forest (UK) Limited.

Rev	Date	Description
A	170821	Bridge and satellite deck removed
B	151021	OS copyright info added
C	261021	Deck amended
D	220222	Layout amended
E	080422	Stairs amended

Client	JUM
Project Title	Family Treehouse
Drawing Title	Site Location Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	001
Checked By:	SP	Drawing status:	PL	Revision:	E
Date:	27.07.21	Scale:	1:1250	Format:	A3

271800

108.5m



271700

102.4m



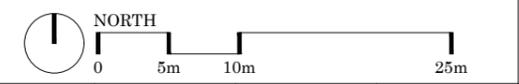
Gatmore Cottage

Spring

New Treehouse location

Existing House

NOTES:  
 Property Boundary  
 Site Boundary (0.018Ha)  
 © Clarke Consultancy\_Apr\_2021  
 © Crown Copyright and database rights 2021 OS 100047474.  
 All dimensions are in millimetres.



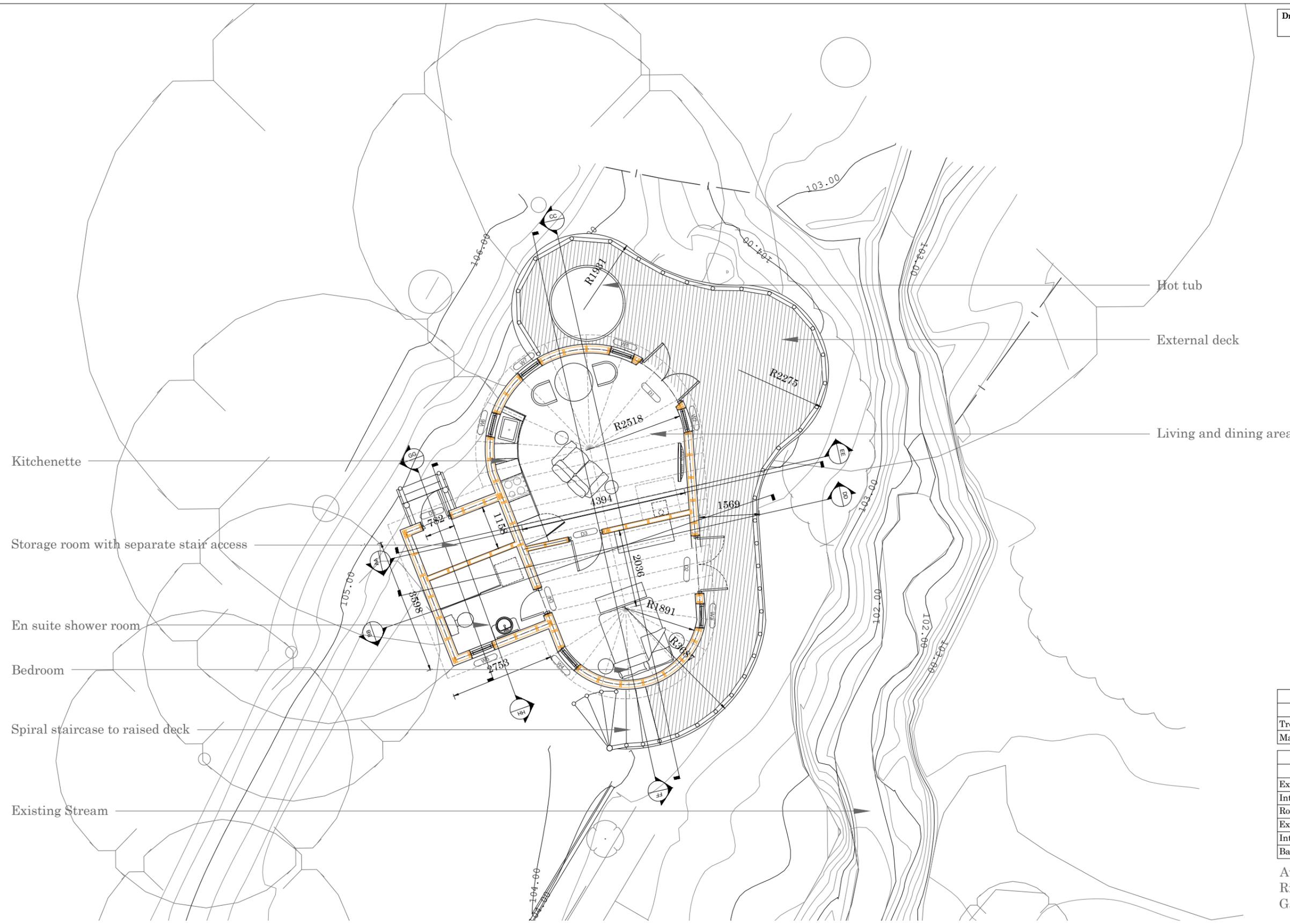
Blue Forest (UK) Limited  
 The Studio t: +44 (0)1892 75 00 90  
 Bensfield Farm e: info@blueforest.com  
 Beech Hill Wadhurst  
 East Sussex w: www.blueforest.com  
 TN5 6JR, UK

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences.  
 Figured dimensions are only to be taken from this drawing.  
 This drawing is to be read in conjunction with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences.  
 Copyright © Blue Forest (UK) Limited.

Rev	Date	Description
A	170821	Bridge and satellite deck removed
B	151021	OS copyright info added
C	261021	Deck amended
D	220222	Layout amended
E	080422	Plant room steps amended

Client	JUM
Project Title	Family Treehouse
Drawing Title	Site Layout Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	090
Checked By:	SP	Drawing status:	PL	Revision:	E
Date:	14.07.21	Scale:	1:500	Format:	A3



Kitchenette  
 Storage room with separate stair access  
 En suite shower room  
 Bedroom  
 Spiral staircase to raised deck  
 Existing Stream

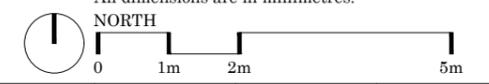
Hot tub  
 External deck  
 Living and dining area

Accommodation Schedule	
Room / Deck	M2/Lm
Treehouse Internal	43.1
Main raised deck	28.9

Area Schedule	
Finish	M2/Lm
External decking	40.3m2
Internal flooring	43.1m2
Roof shingles	78.8m2
External cladding	72m2
Internal cladding	115.8m2
Balustrade length	27.1Lm

Average main roof pitch: 33°  
 Ridge beam pitch: 6°  
 Gable roof pitch: 35°

NOTES:  
 All dimensions are in millimetres.  
 NORTH



Blue Forest (UK) Limited  
 The Studio  
 Bensfield Farm  
 Beech Hill  
 Wadhurst  
 East Sussex  
 TN5 6JR, UK  
 t: +44 (0)1892 75 00 90  
 e: info@blueforest.com  
 w: www.blueforest.com

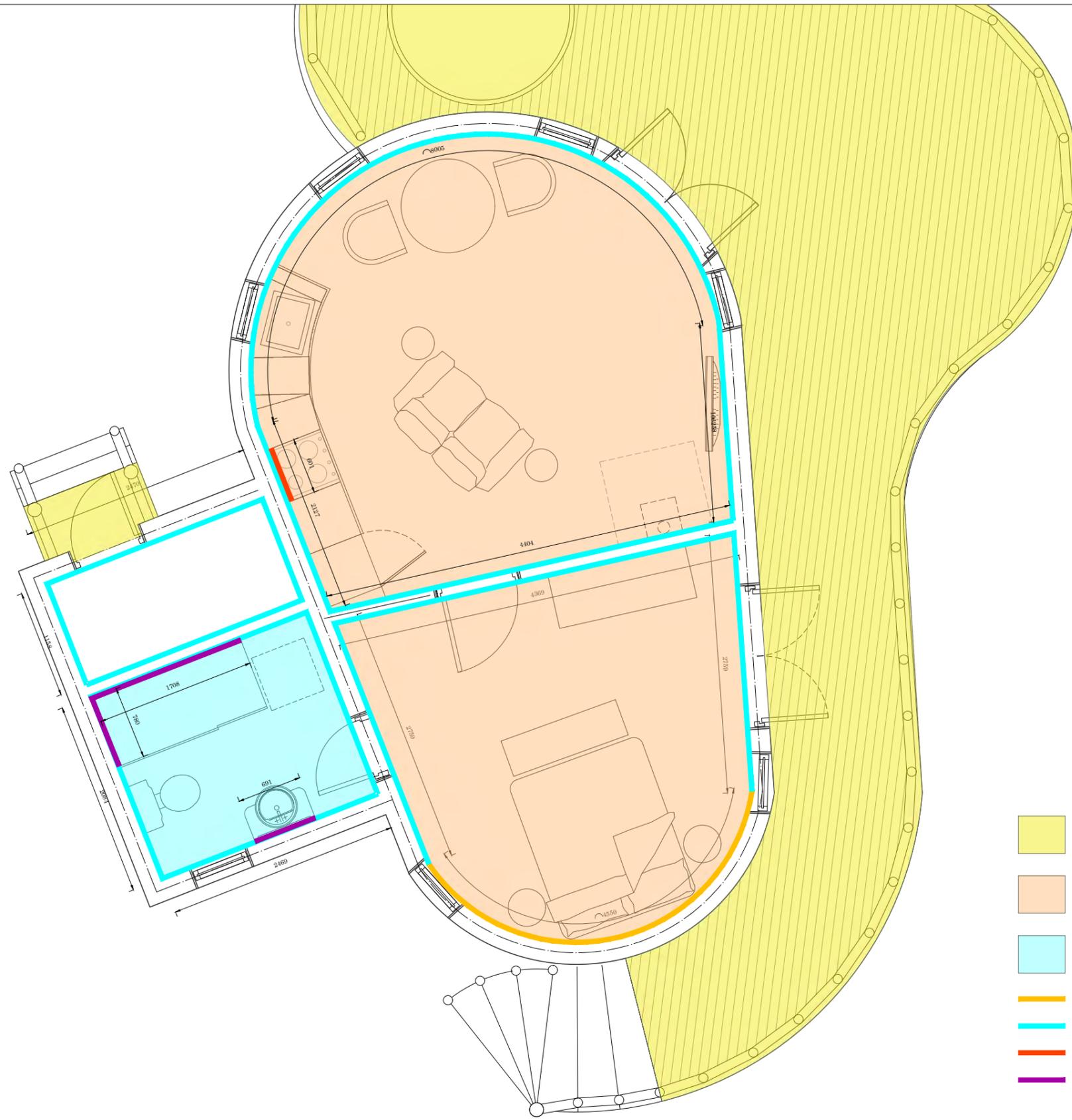
All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.

Rev	Date	Description
B	141021	Issued for tender
C	191021	Roof pitches added
D	220222	Plant room amended
E	080322	Steps amended
F	080422	Plant room door amended

Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Ground Floor Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	101
Checked By:	SP	Drawing status:	T	Revision:	F
Date:	10.06.21	Scale:	1:100	Format:	A3





- KEY**
- FSC Hardwood decking treated with deck oil
  - Engineered flooring - Havwoods HW2138
  - Porcelain Muse Grey matt floor tiles 600mm x 600mm.  
Moisture resistant plasterboard ceiling
  - Vertical Cedar wall cladding
  - White painted moisture resistant plasterboard walls
  - White brick wall tiles
  - Porcelain Muse Grey matt tiles 600mm x 600mm Rope detail to all wall to roof details

**NOTES:**  
All dimensions are in millimetres.

**NORTH**

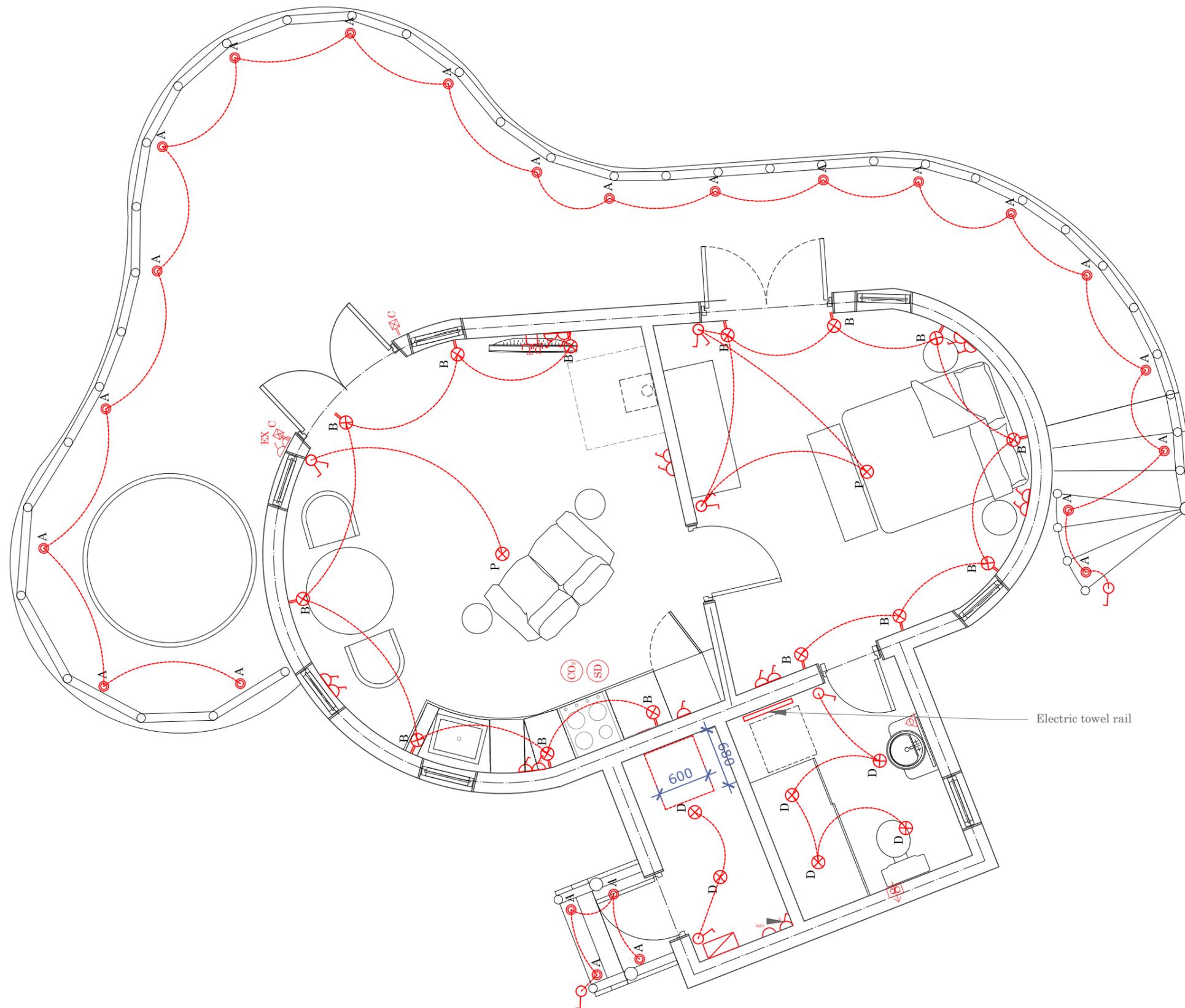


Blue Forest (UK) Limited  
The Studio  
Bensfield Farm  
Beech Hill  
Wadhurst  
East Sussex  
TN5 6JR, UK

t: +44 (0)1892 75 00 90  
e: info@blueforest.com  
w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunction with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.

Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
-	141021	First Issue	JUM	SN	958	110
A	191021	Decking added	Project Title	Checked By:	Drawing status:	Revision:
B	220222	Finishes amended	Accommodation Treehouse	xxx	T	D
C	080322	Steps amended	Drawing Title	Date:	Scale:	Format:
D	080422	Plant room deck amended	Internal Finishes Plan	14.10.21	1:100	A3



**ELECTRICAL LEGEND:**

- Double switched socket outlet with protective contact
- Single switched outlet with protective contact
- Shaver socket
- Spur outlet for electrical appliance
- Light switch
- Floor recessed light - IP rate
- Pendant light
- Wall mounted spotlight
- Shower ceiling light - IP rate
- Extract fan
- External wall mount lamp - IP rate
- External sockets - IP rate
- PIR danlers
- CO2 detector
- Smoke detector w/ sounder
- Television data outlet
- Data outlet
- Distribution board or consumer unit
- UFH Thermostat

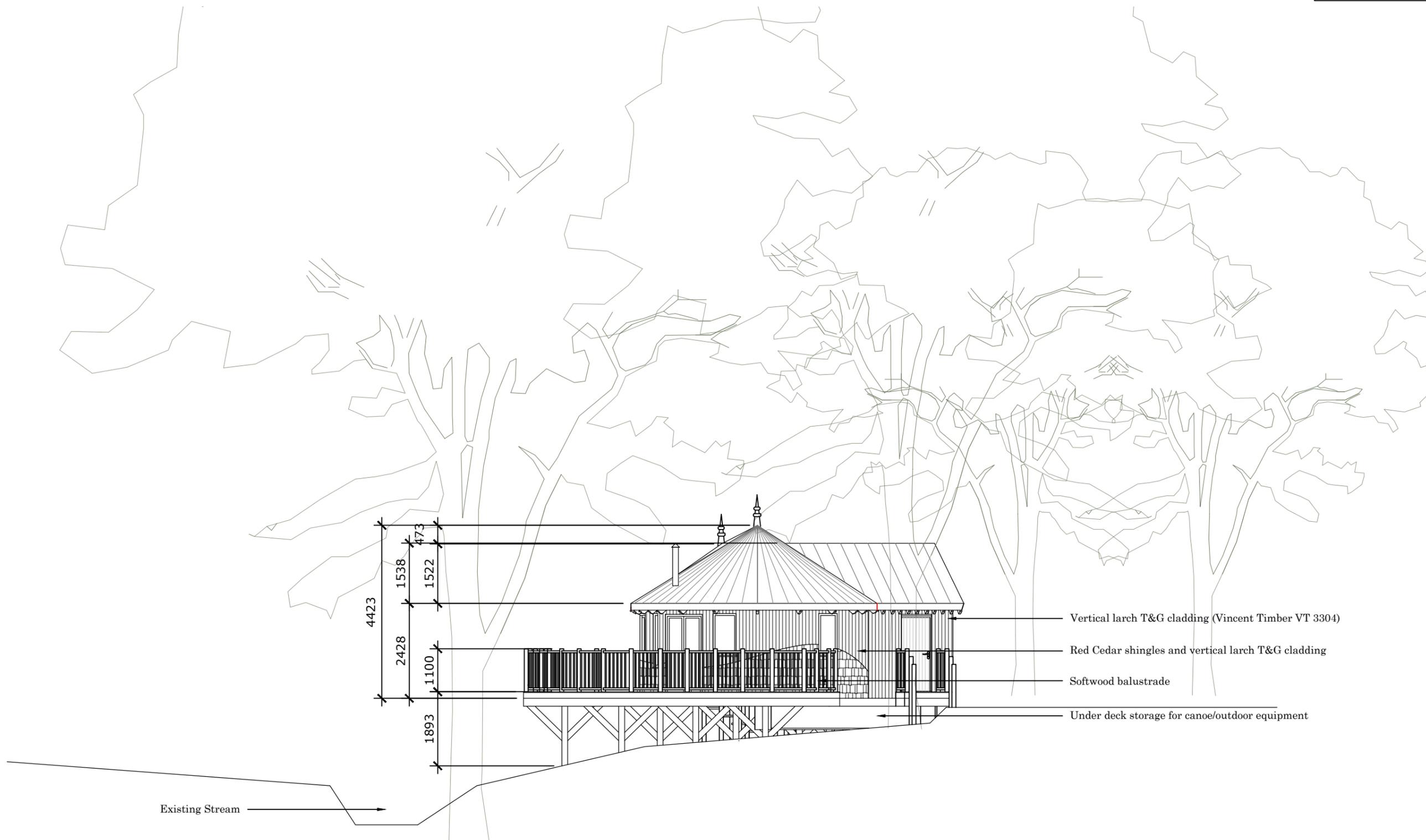
All dimensions are in millimetres.



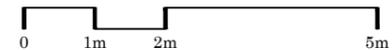
Rev	Date	Description
-	121021	First Issue
A	191021	Key amended
B	220222	Thermal store added
C	080322	Steps amended
D	080422	Plant room and steps amended

Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Electrical Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	130
Checked By:	SP	Drawing status:	T	Revision:	D
Date:	11.10.21	Scale:	1:50	Format:	A3



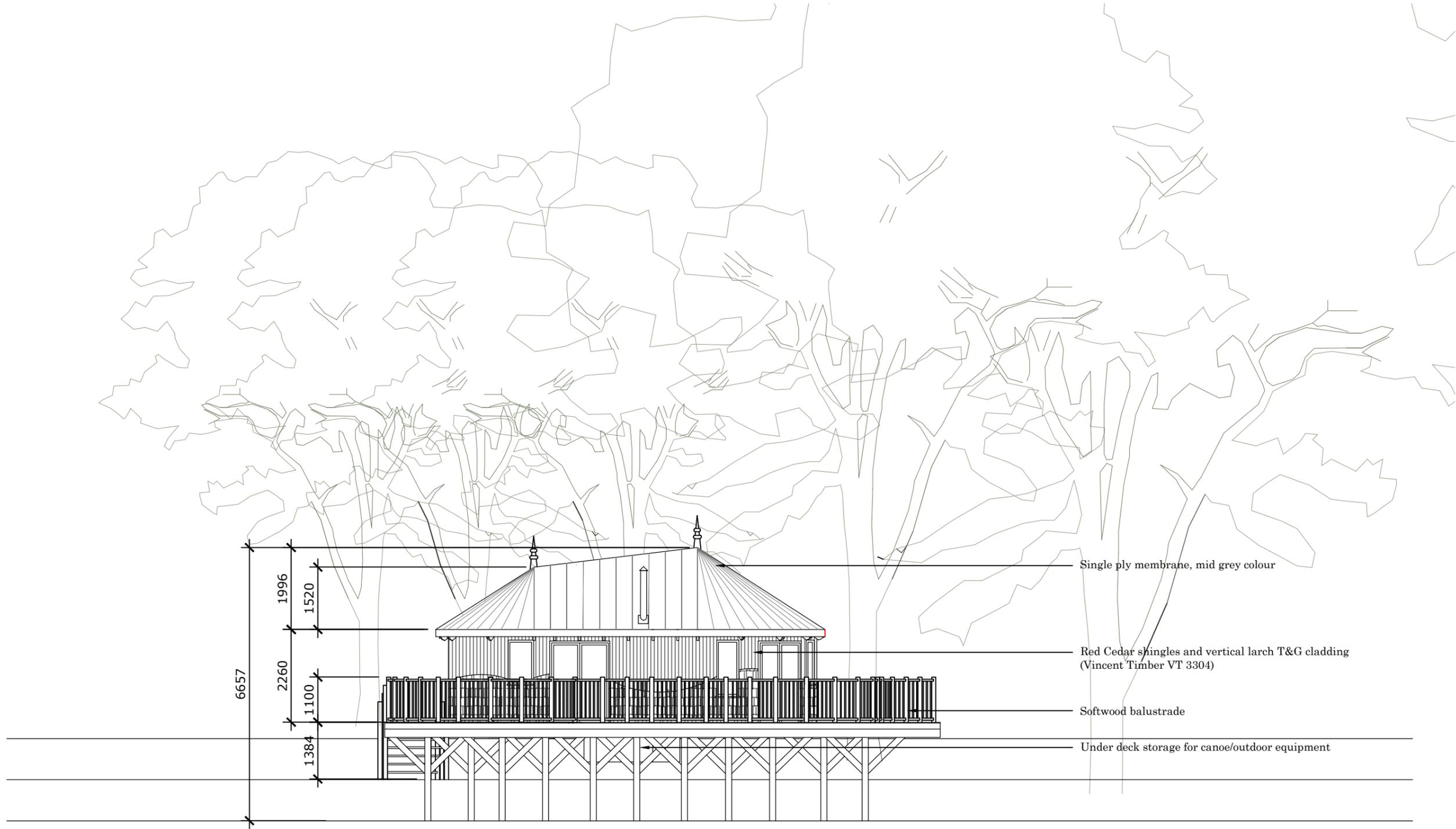
NOTES:  
All dimensions are in millimetres.



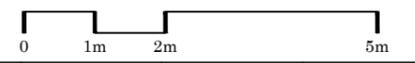
Rev	Date	Description
D	261021	Deck amended, reissued for planning
E	220222	Heights and cladding amended
F	080322	Steps amended, height reduced
G	080422	Plant room steps amended
H	060223	Roof material changed

Client	JUM
Project Title	Family Treehouse
Drawing Title	Proposed North Elevation

Drawn by:	SN	Client Number:	958	Drawing Number:	201
Checked By:	SP	Drawing status:	T	Revision:	H
Date:	06.04.21	Scale:	1:100	Format:	A3



NOTES:  
All dimensions are in millimetres.



Blue Forest (UK) Limited  
The Studio  
Bensfield Farm  
Beech Hill  
Wadhurst  
East Sussex  
TN5 6JR, UK  
t: +44 (0)1892 75 00 90  
e: info@blueforest.com  
w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.

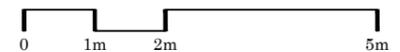
Rev	Date	Description
C	261021	Deck amended, reissued for planning
D	220222	Cladding and heights amended
E	080322	Steps amended, height reduced
F	080422	Plant room steps amended
G	060223	Plant room steps amended

Client	JUM
Project Title	Family Treehouse
Drawing Title	Proposed East Elevation

Drawn by:	SN	Client Number:	958	Drawing Number:	202
Checked By:	SP	Drawing status:	T	Revision:	G
Date:	06.04.21	Scale:	1:100	Format:	A3



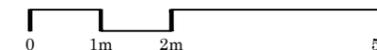
NOTES:  
All dimensions are in millimetres.



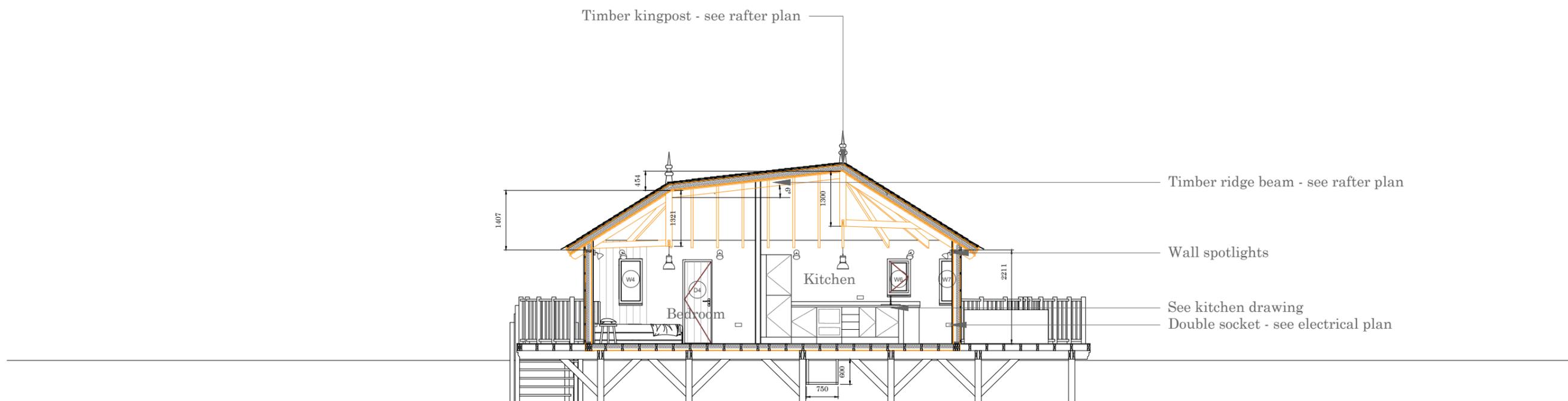
Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
B	121021	Issued for tender	JUM	SN	958	203
C	220222	Cladding and heights amended	Project Title	Checked By:	Drawing status:	Revision:
D	080322	Steps amended, heights reduced	Family Treehouse	SP	T	F
E	080422	Plant room steps amended	Drawing Title	Date:	Scale:	Format:
F	060223	Roof material changed	Proposed South Elevation	06.04.21	1:100	A3



NOTES:  
All dimensions are in millimetres.

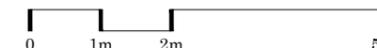


Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
C	261021	Deck amended, issued for planning	JUM	SN	958	204
D	220222	Cladding and heights amended	Project Title	Checked By:	Drawing status:	Revision:
E	080322	Steps amended, heights reduced	Family Treehouse	SP	T	G
F	080422	Plant room steps amended	Drawing Title	Date:	Scale:	Format:
G	060223	Roof material changed	Proposed West Elevation	07.06.21	1:100	A3

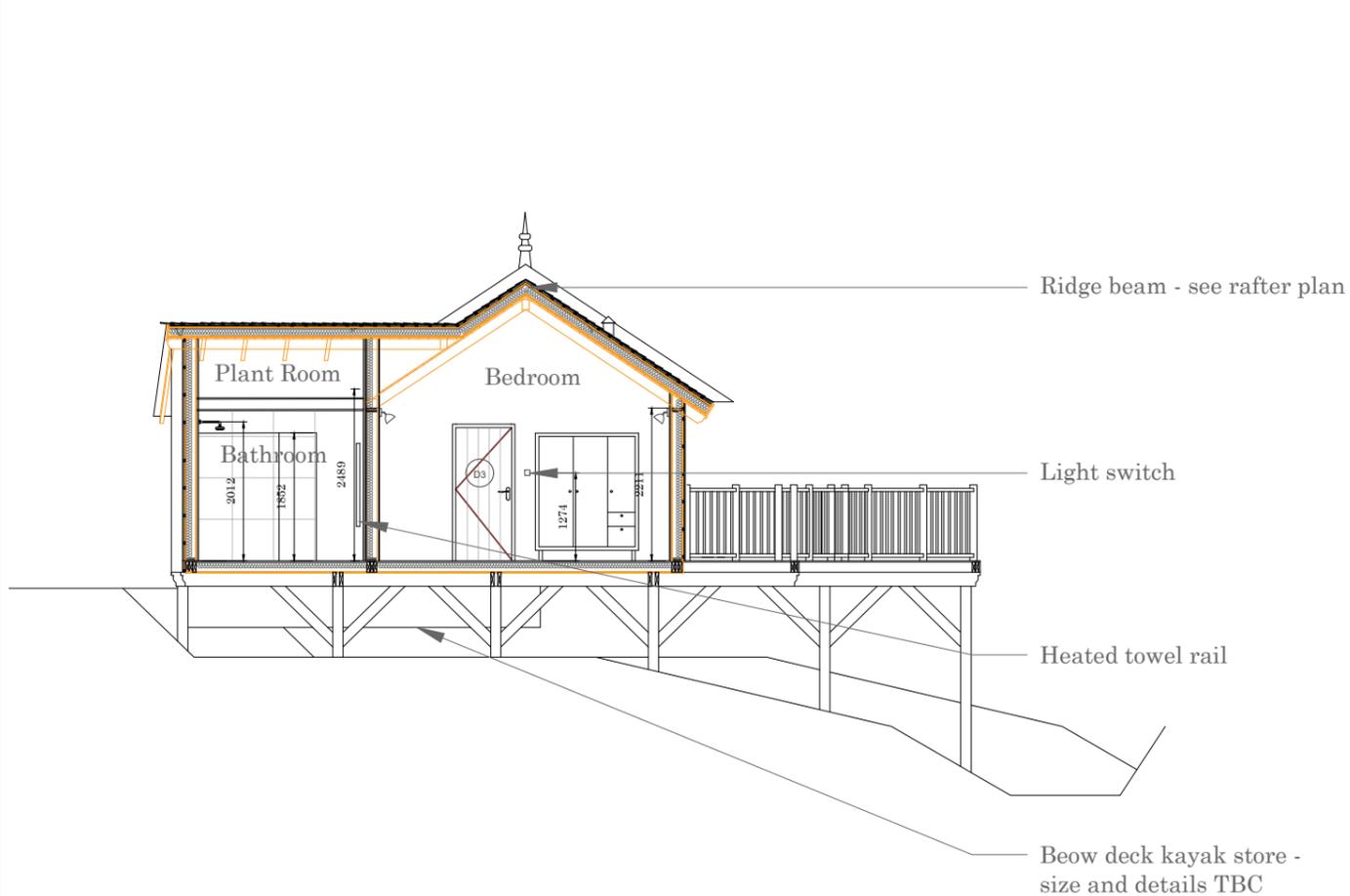


1 Section CC  
302 1:100

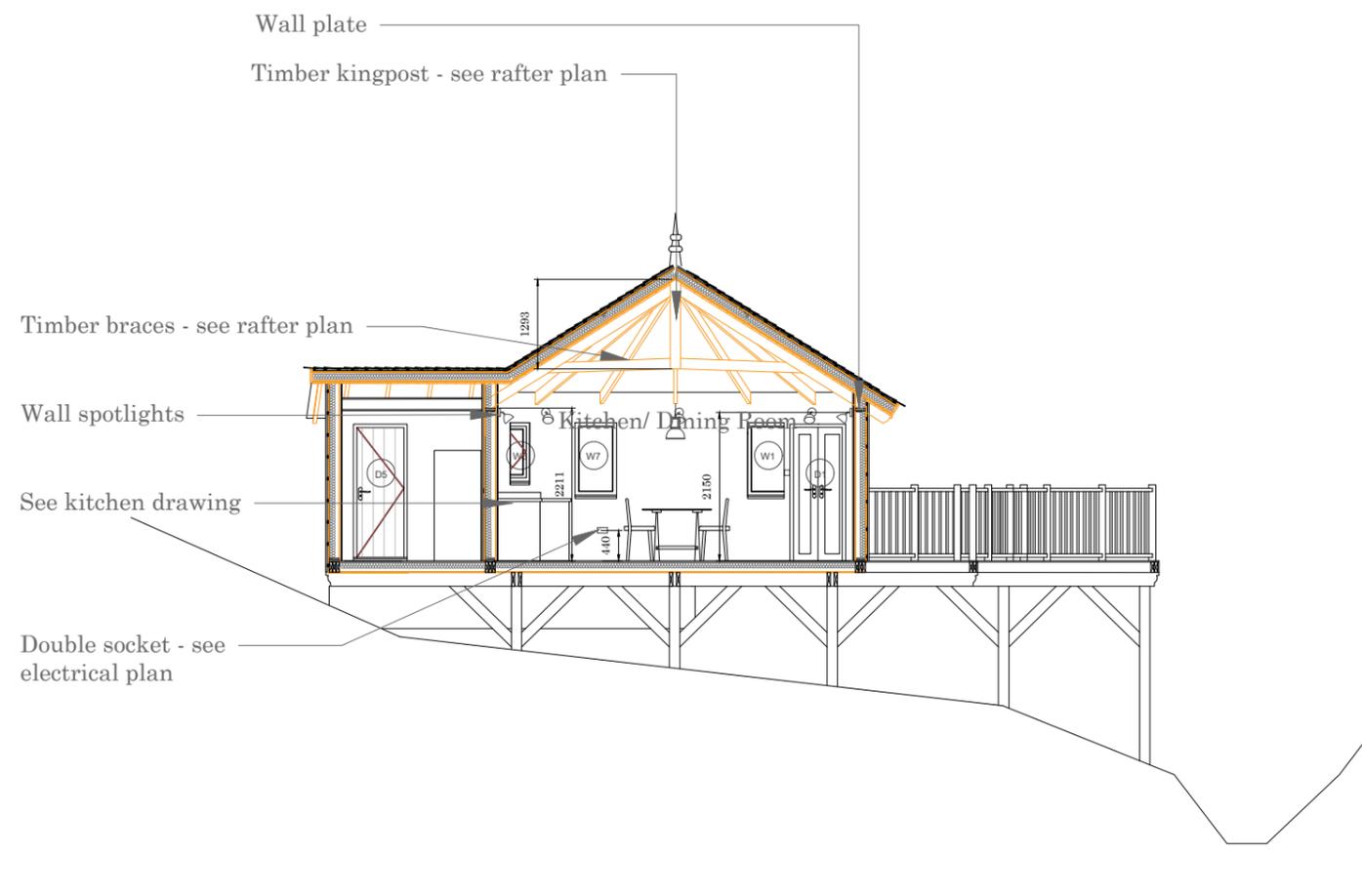
NOTES:  
All dimensions are in millimetres.



Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
-	121021	First Issue	JUM	SN	958	302
A	220222	Heights and cladding amended	Project Title	Checked By:	Drawing status:	Revision:
B	080322	Steps amended, heights reduced	Family Treehouse	BL	T	C
C	080422	Plant room steps amended	Drawing Title	Date:	Scale:	Format:
			Proposed Section CC	12.10.21	1:100	A3

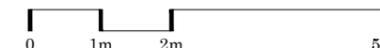


1 Section DD  
303 1:100



2 Section EE  
303 1:100

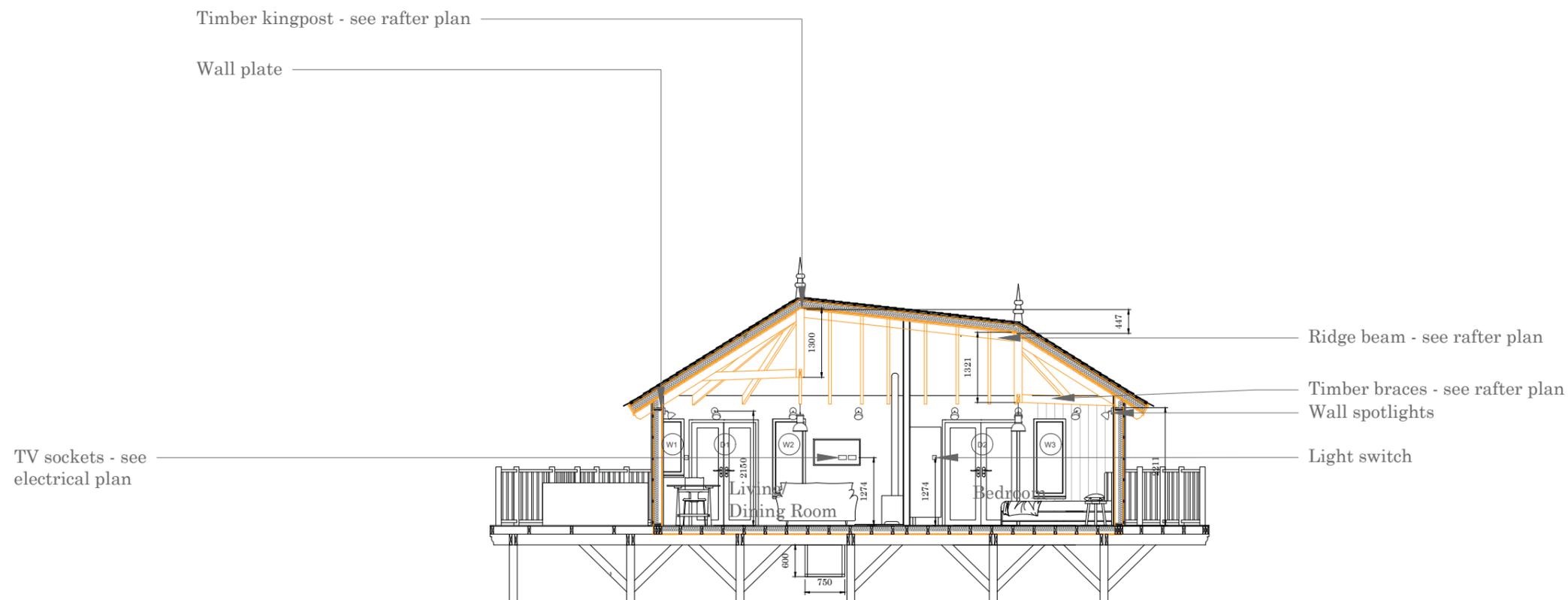
NOTES:  
All dimensions are in millimetres.



Rev	Date	Description
-	121021	First Issue
A	220222	Heights and layout amended
B	080322	Steps amended, heights reduced
C	080422	Plant room steps amended

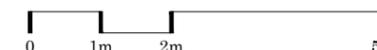
Client	JUM
Project Title	Family Treehouse
Drawing Title	Proposed Section DD and EE

Drawn by:	SN	Client Number:	958	Drawing Number:	303
Checked By:	BL	Drawing status:	T	Revision:	C
Date:	12.10.21	Scale:	1:100	Format:	A3



1 Section FF  
304 1:100

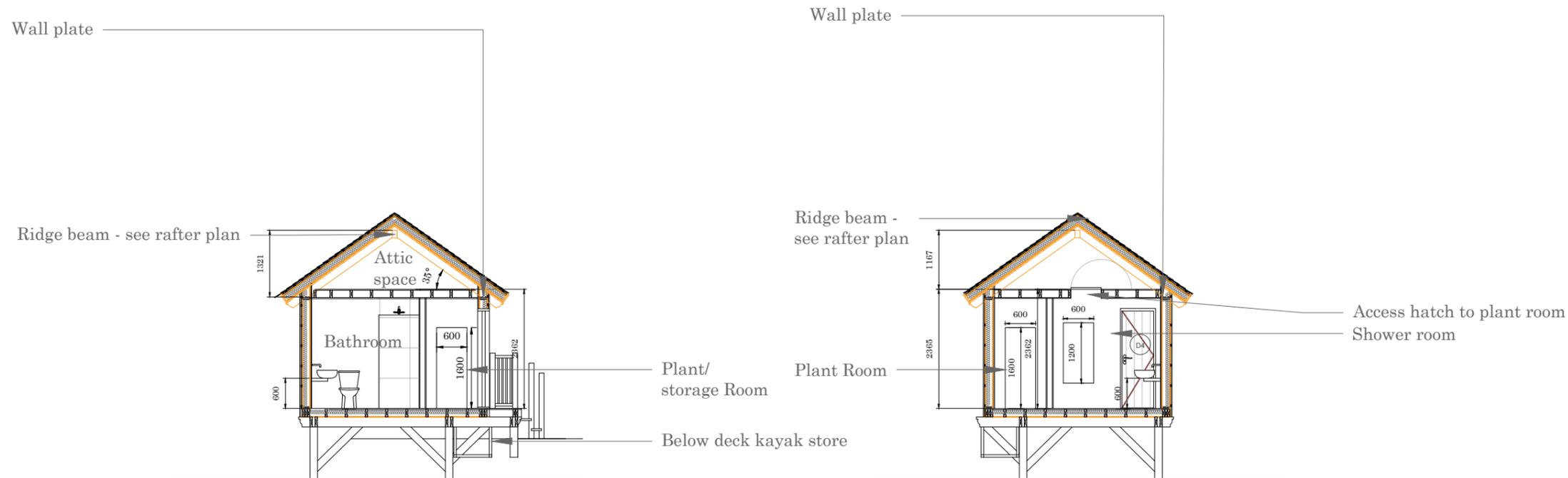
NOTES:  
All dimensions are in millimetres.



Rev	Date	Description
-	121021	First Issue
A	220222	Heights and layout amended
B	080322	Steps amended, heights reduced
C	080422	Plant room steps amended

Client	JUM
Project Title	Family Treehouse
Drawing Title	Proposed Section FF

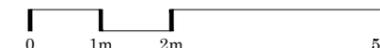
Drawn by:	SN	Client Number:	958	Drawing Number:	304
Checked By:	BL	Drawing status:	T	Revision:	C
Date:	12.10.21	Scale:	1:100	Format:	A3



1 Section GG  
305 1:100

2 Section HH  
305 1:100

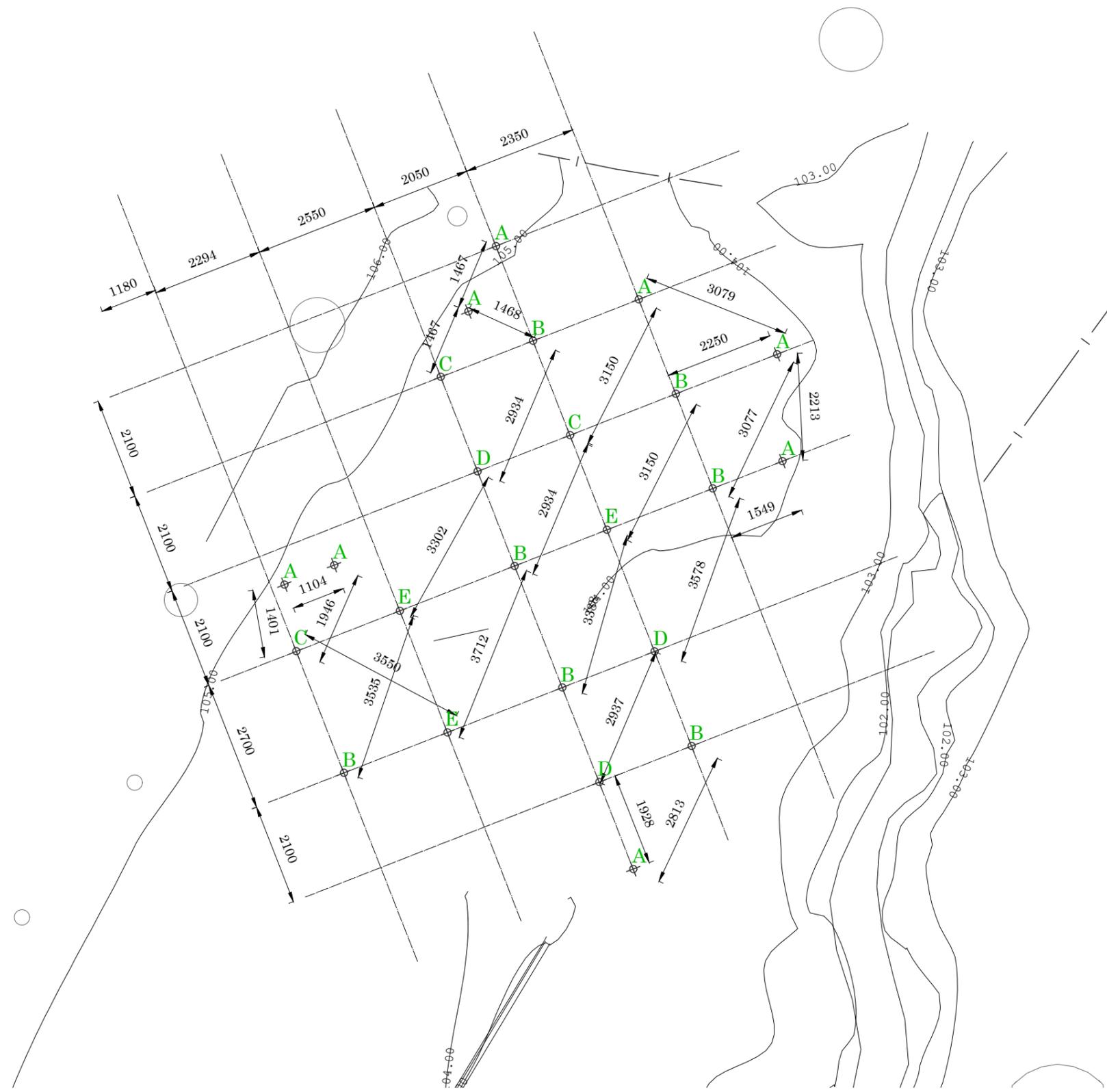
NOTES:  
All dimensions are in millimetres.



Rev	Date	Description
-	121021	First Issue
A	220222	Heights and layouts amended
B	080322	Steps amended, heights reduced
C	080422	Plant room and steps amended

Client	JUM
Project Title	Family Treehouse
Drawing Title	Proposed Section GG and HH

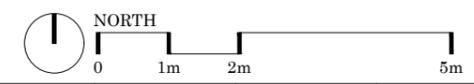
Drawn by:	SN	Client Number:	958	Drawing Number:	305
Checked By:	BL	Drawing status:	T	Revision:	C
Date:	12.10.21	Scale:	1:100	Format:	A3



NOTES:  
 150mm diameter timber posts on screw piles  
 All structural timber to be of grade C24

Unfactored Loads on posts  
**A** 10kN  
**B** 20kN  
**C** 25kN  
**D** 35kN  
**E** 45kN

All dimensions are in millimetres.



Blue Forest (UK) Limited  
 The Studio  
 Bensfield Farm  
 Beech Hill  
 Wadhurst  
 East Sussex  
 TN5 6JR, UK

t: +44 (0)1892 75 00 90  
 e: info@blueforest.com  
 w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences.  
 Figured dimensions are only to be taken from this drawing.  
 This drawing is to be read in conjunction with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences.  
 Copyright © Blue Forest (UK) Limited.

Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
-	130921	First Issue	JUM	SN	958	401
A	121021	Issued for tender	Project Title	Checked By:	Drawing status:	Revision:
B	220222	Layout amended	Accommodation Treehouse	BL	T	D
C	090322	Load references added	Drawing Title	Date:	Scale:	Format:
D	080422	Plant room deck amended	Foundation Plan	13.09.21	1:100	A3



- NOTES:**
- Primary beams: 2NO. 50x200 timber beams
  - Timber strut/brace between posts and beams at no less than 45 pitch: 50x150
  - All structural timber to be of grade C24
  - Span direction of timber joists: 50x150 joists @400mm c/c
  - All dimensions are in millimetres.
- NORTH**
- 



Blue Forest (UK) Limited  
 The Studio  
 Bensfield Farm  
 Beech Hill  
 Wadhurst  
 East Sussex  
 TN5 6JR, UK

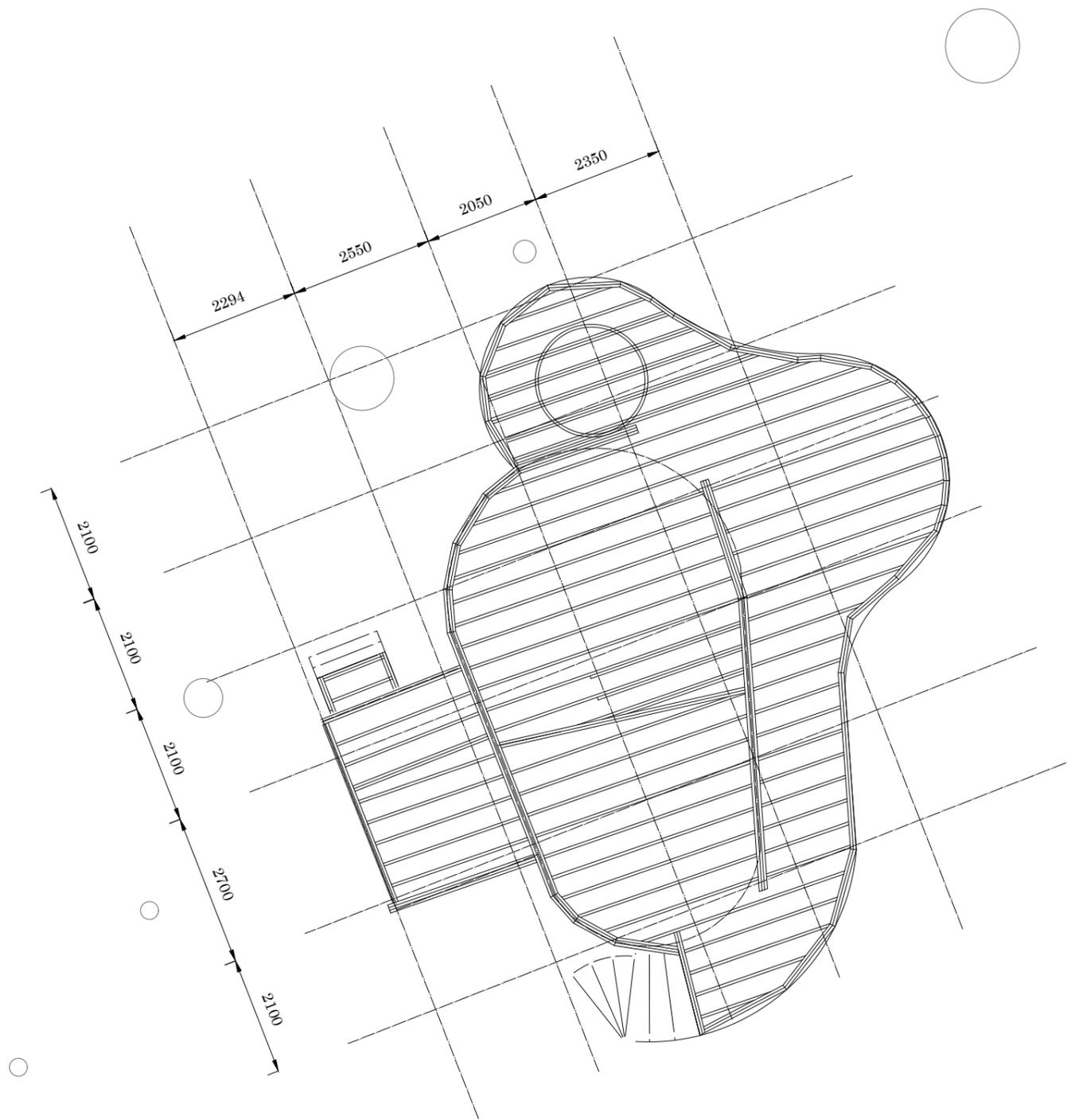
t: +44 (0)1892 75 00 90  
 e: info@blueforest.com  
 w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.

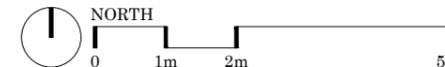
Rev	Date	Description
-		First Issue
A	121021	Issued for tender
B	220222	Layout amended
C	080322	Steps amended
D	080422	Plant room and steps amended

Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Substructure Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	411
Checked By:	BL	Drawing status:	T	Revision:	D
Date:	13.09.21	Scale:	1:100	Format:	A3



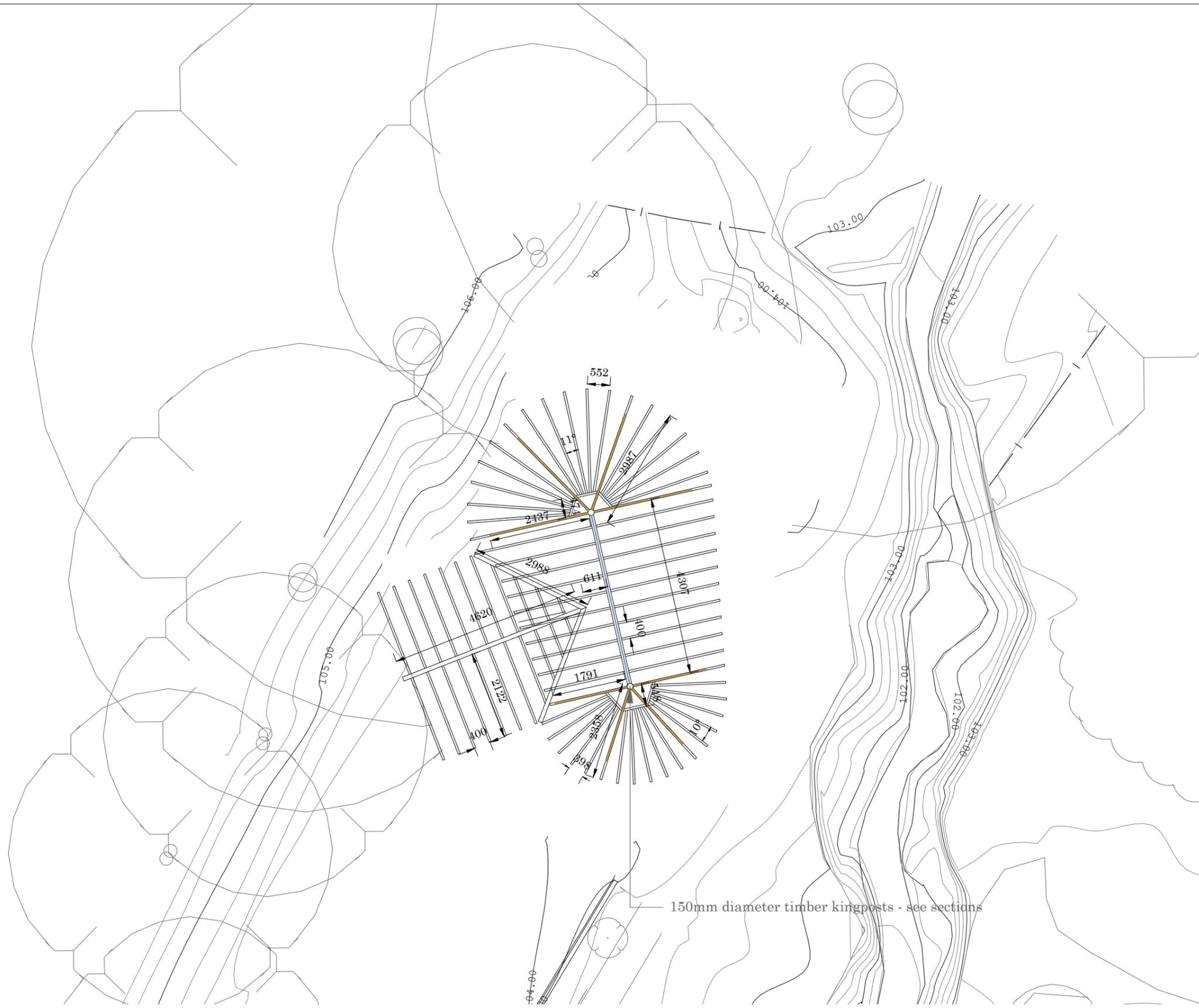
NOTES:  
 Span direction of timber joists: 50x150 joists @400mm c/c  
 Triple joists under external walls  
 Doubled up joists under internal walls, log burner and hot tub  
 All dimensions are in millimetres.



Rev	Date	Description
-	121021	First Issue
A	220222	Layout amended
B	080322	Steps amended
C	080422	Plant room and steps amended

Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Joist Layout Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	412
Checked By:	BL	Drawing status:	T	Revision:	C
Date:	12.10.21	Scale:	1:100	Format:	A3



- NOTES:**
- Timber rafters: 50x150
  - Fitch beam along ridge: 2no 50x200 timber beams with 12x200 steel plate sandwiched between
  - Timber braces below rafters, between wall plate and bottom of kingpost: 50x150
  - 100x200 timber beams framing gable roof and forming ridge
- All structural timber to be of grade C24  
 All structural steel to be of grade S355  
 All dimensions are in millimetres.



Rev	Date	Description
-	121021	First Issue
A	220222	Gable rafters amended
B	080422	Plant room and steps amended

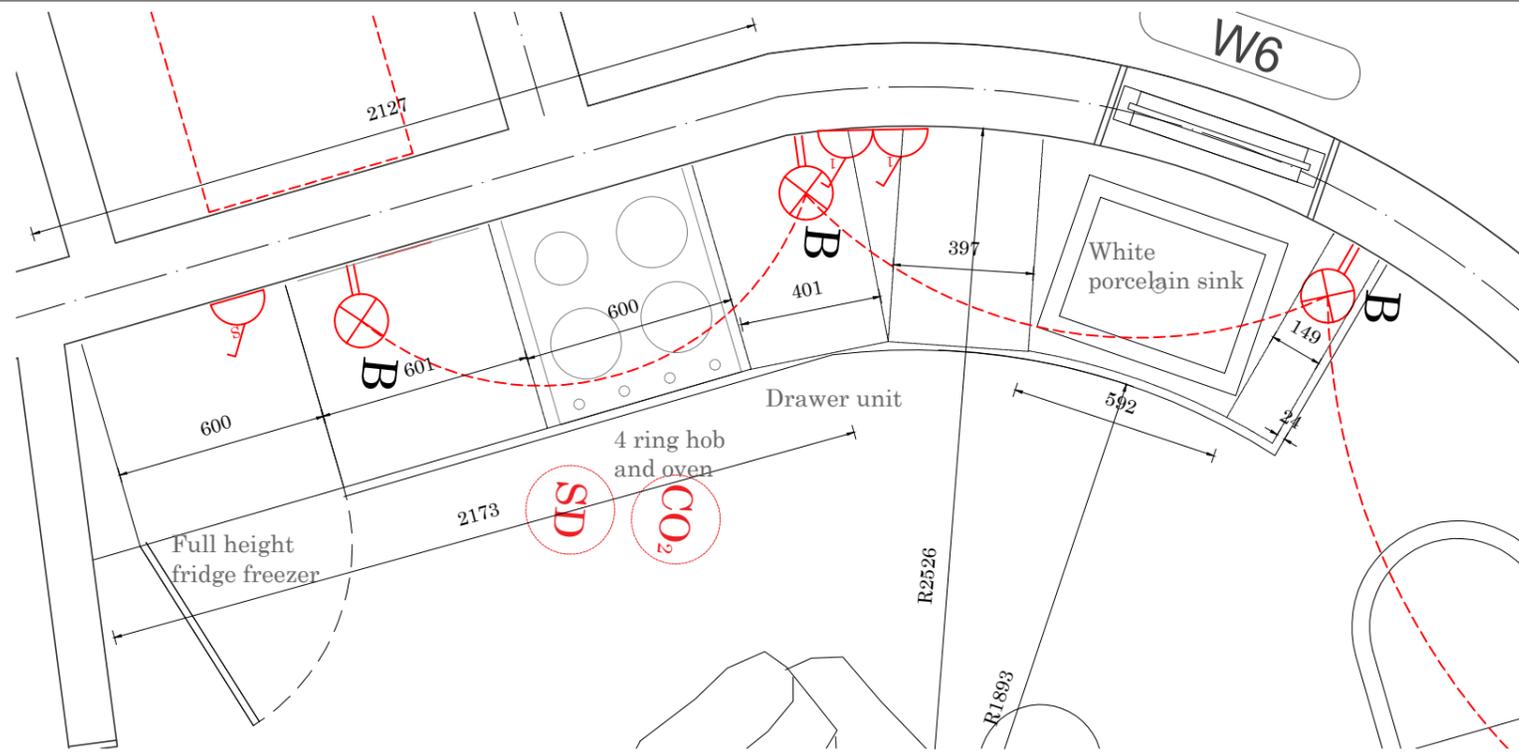
Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Roof Structure Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	421
Checked By:	BL	Drawing status:	T	Revision:	B
Date:	13.09.21	Scale:	1:100	Format:	A3

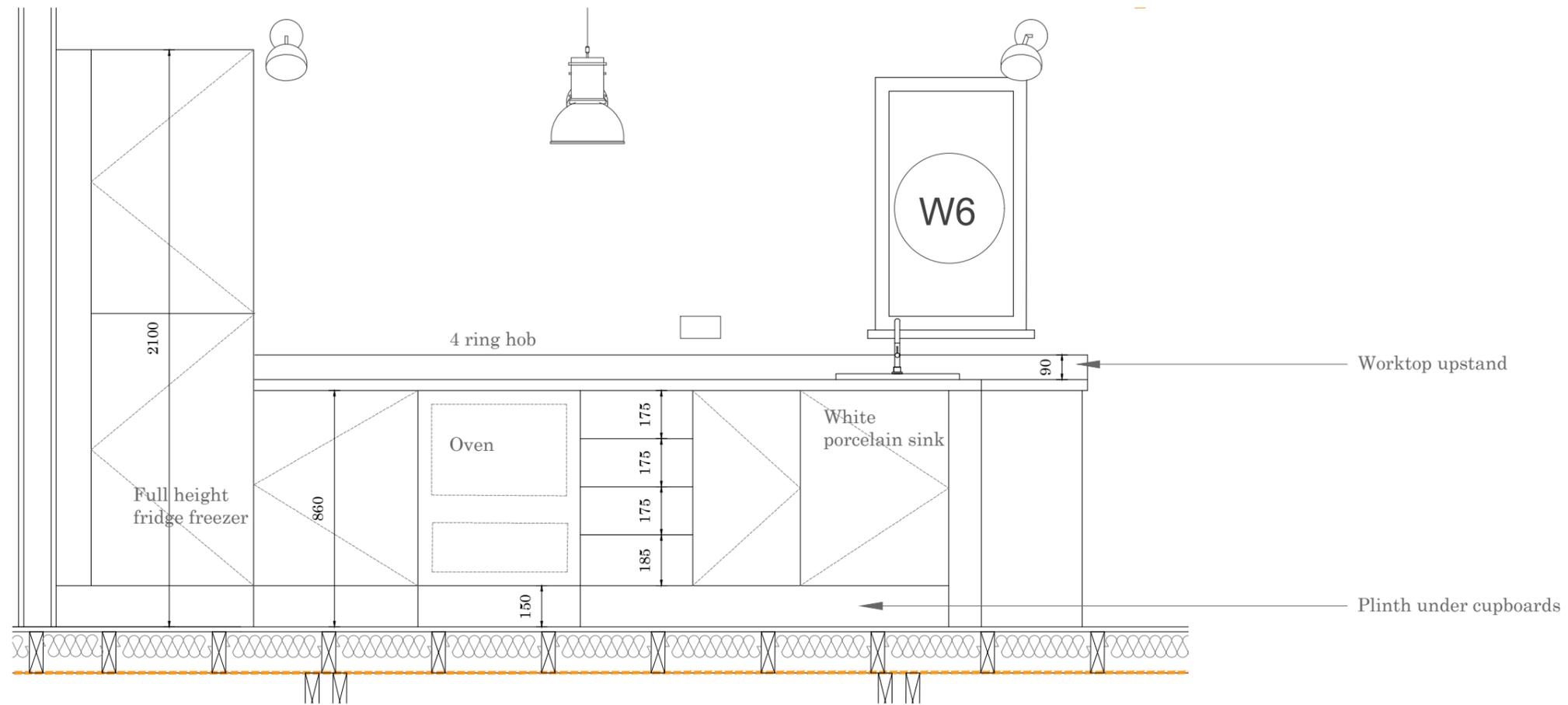


Blue Forest (UK) Limited  
 The Studio t: +44 (0)1892 75 00 90  
 Bensfield Farm e: info@blueforest.com  
 Beech Hill Wadhurst  
 East Sussex w: www.blueforest.com  
 TN5 6JR, UK

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.



1 Kitchen Plan  
521 1:20



2 Kitchen Elevation  
521 1:20

NOTES:  
All dimensions are in millimetres.



Blue Forest (UK) Limited  
The Studio  
Bensfield Farm  
Beech Hill  
Wadhurst  
East Sussex  
TN5 6JR, UK  
t: +44 (0)1892 75 00 90  
e: info@blueforest.com  
w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.

Rev	Date	Description
-	011121	First Issue
A	220222	Oven added, heights amended

Client	JUM
Project Title	Family Treehouse
Drawing Title	Kitchen Plan and Elevation

Drawn by:	SN	Client Number:	958	Drawing Number:	521
Checked By:	BL	Drawing status:	T	Revision:	A
Date:	01.11.21	Scale:	1:100	Format:	A3

**General Notes - L2A**

- This specification is to be read in conjunction with all Blue Forest drawings of the same reference number 958
- For all structural details refer to Engineers Drawings, specifications and calculations ref: 958
- This specification is to be read in conjunction with the SAP calculations
- The drawings are for Building Regulation purposes only and do not represent a detailed specification.
- All work to be carried out in accordance with good building practice, to the latest Building Regulations and to the approval of the Building Control Body (BCB).
- All work to be carried out in a safe manner, and in accordance with the latest regulations and guidelines from the Health and Safety Executive.
- The contractor is responsible for checking all dimensions on site prior to commencement of work.
- The drawings have been produced on information available at the time of the survey. Further investigation may be required prior to construction.
- All works carried out prior to receipt of Building Regulation approval is undertaken at the clients own risk.
- The following U-values are to be achieved in combination with other utilities such as mechanical heat recovery:
 

Walls	0.26 W/m <sup>2</sup> K
Pitched Roof	0.18 W/m <sup>2</sup> K
Flat Roof	0.18 W/m <sup>2</sup> K
Floor	0.22 W/m <sup>2</sup> K
Windows	1.60 W/m <sup>2</sup> K
Doors	1.60 W/m <sup>2</sup> K

**Foundations (A2E) And Structure Below Deck**

- To be as specified by Structural Engineers. The main contractor will take full responsibility for the foundations to the satisfaction of the structural engineer and BCB following site inspection.
- Foundation depths have been calculated to suit soil conditions and proximity to mature trees in accordance with NHBC guidelines.
- Contractor to ensure all, materials, concrete mix ratios, etc meet Building Regulations and British Standards.

**Floor Deck Build Up**

- Floor build up as per accompanying detail with insulation to BCB approval.
- Any concrete deck below the timber structure to be laid out according to the layout plan provided by Blue Forest and to meet Building Regulations & British Standards.

**Membranes**

- Floors, walls and roofs to be fitted with a Vapour Control Layer and Breather Membrane as detailed on the specification sections. Note: an insulation with integrated Breather Membrane is specified on many standard wall/roof build ups.
- All joints must be lapped by min 150mm and taped.
- The VCL and Breather Membrane to be lapped and taped at all openings
- Any building on a concrete deck must have appropriate DPC/DPM fitted at least a minimum of 150mm above finished ground level. If both are used, they must be compatible and be lapped by a minimum of 150mm
- For ground based buildings, where required, a full radon barrier to be provided between the insulation and the top of oversite/beam and block floor. This is to be lapped with the DPC and to be installed in accordance with the requirements of BR211.

**External Walls Above DPC**

- Unless specified, Blue Forest will provide a Setting Out Plan which will layout the position of the softwood frame walls. It is the responsibility of the client/contractor to adhere to this layout and the dimensions specified.
- Sections sizes and frame layout as per accompanying drawings.
- Follow engineers details for specific structural elements.
- Bolting of sole plate to masonry/concrete base to be as detailed on Structural Engineers drawings.
- Material grades and details to be confirmed with contractor and to be subject to current building regulations and BS grades, particularly BS 5628 Code for practice for use of masonry.
- Softwood internal frame to be as specified on section and fixed to softwood deck/concrete base.
- See sectional drawings for detail of wall build up
- All insulation on external walls to be installed as positioned on the accompanying section detail and fitted according to the manufacturers instructions.
- Stagger all joints on the insulation where possible, particularly where there are 2 layers of external quilt insulation.
- All sheathing products to be fitted according to manufacturer's instructions and recommendation.
- Vermis/insect mesh to be fitted at top and bottom of all external cladding unless specified otherwise.
- All structural elements to achieve minimum 30minute fire resistance.

**Associated Steel**

- Any associated steel work should be prepared and treated (ie intumescent paint or 30minute fire resistant plasterboard) in accordance to the Engineers drawings and calculations.

**Internal Partitions**

- All non load-bearing partitions to be 97 x 47mm softwood studs at 600 ctrs. (unless otherwise specified by engineer)
- All structural elements are to be protected to achieve a 30minute fire rating.
- Cladding to achieve fire protection must either be an appropriate board such as 12.5mm fire lined plasterboard or a product treated with fire proof spray (and approved by the BCB)
- Infill between all softwood studs with 100mm acoustic insulation.

**Internal Floors**

- See drawing for floor build up details.
- First floor to be 22mm T&G chipboard flooring installed to top of joists. Boards to be laid at right-angles to joists. Ends of board lengths to be butt jointed on the centre line of supporting joist.
- Contractor specified Web-joists to be designed by manufacturer and must be made available to the BCB for approval prior to commencement of this stage of the work.
- All other floor joists as per Structural Engineers detail with heights set as per sectional drawings. Softwood joists over 2.5m to have noggins.
- Check Engineers drawings for double/triple joists.
- All structural elements are to be protected to achieve a 30minute fire rating.
- Cladding to achieve fire protection must either be an appropriate board such as 12.5mm fire lined plasterboard or a product treated with fire proof spray (and approved by the BCB)
- Void between softwood joists to be filled with 100mm Rockwool insulation.

**Structural Insulated Panel Roof (Where Used)**

- SIP Roof: to be designed by SIPs supplier.
- Vapour control layer is required below SIP roof panels
- 47mm (minimum) battens installed to underside to provide service void. Adjusted to suit specified down lights.
- Spines between SIP panels to be left long to support eaves details (as shown on sections).

**Cut & Pitch Roof**

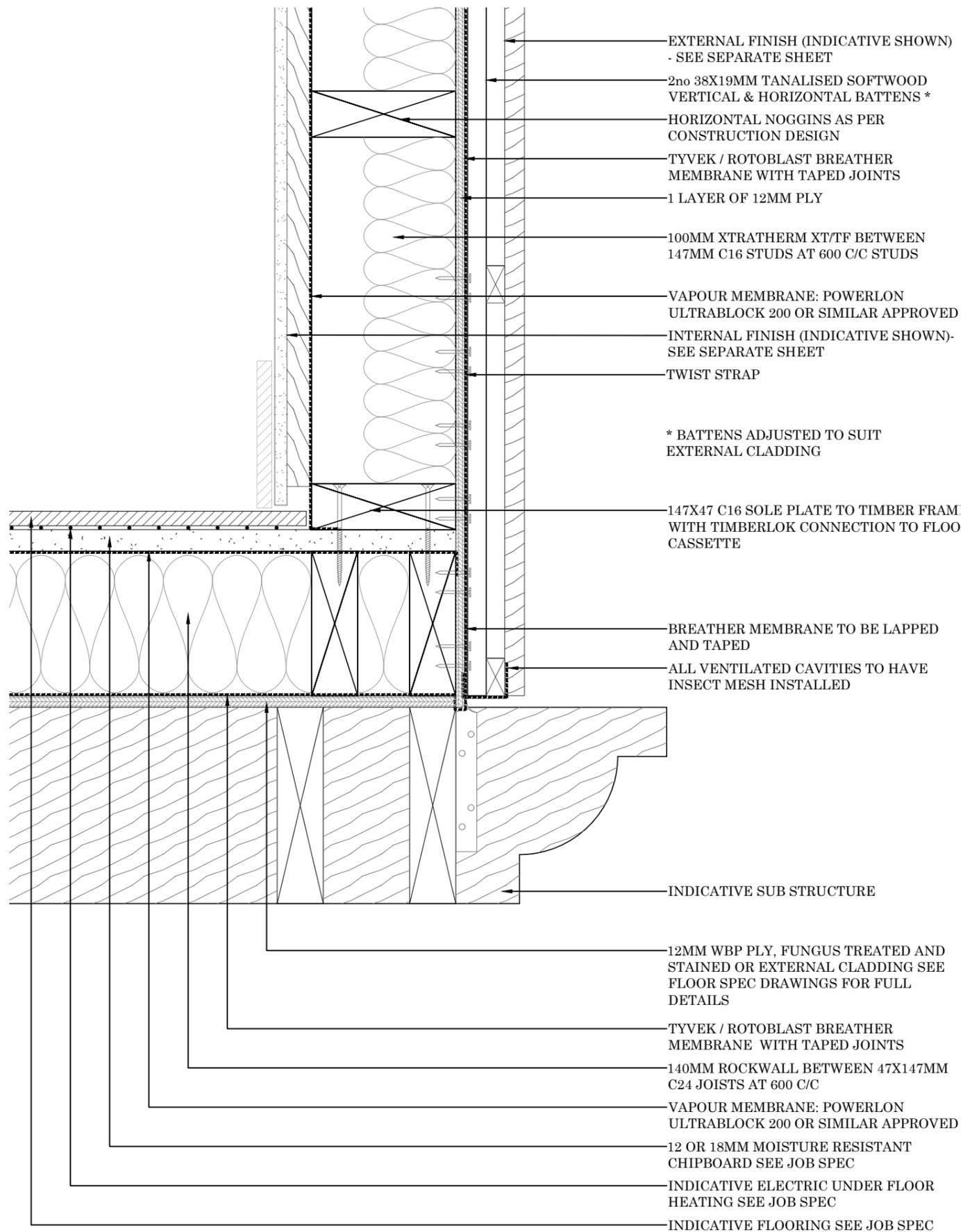
- See section for details including pitch, birds-mouth and eaves detail.
- Follow section details for positioning if insulation, VCL roof membrane etc. Note:VCL position varies with roof build up and insulation and an insulation with integrated roof membrane is specified on many wall/roof build ups.
- All products to be installed in accordance with manufacturer's instructions and recommendations.
- All loose timbers used in the construction of the roof shall be vacuum impregnated to the manufacturer's specification with Tanalith E or similar approved preservative. Where timber is cut on site, exposed ends to receive a liberal application of preservative.
- All straight valleys to be GRP, curved/rounded to be single ply membrane.
- Contractor is responsible for ensuring adequate roof ventilation on all cold roofs.
- Tile battens by contractor to suit choice of roof tiles.
- All roof construction is to be confirmed by BCB.

**Building Reg. B - Fire Protection**

- To be discussed on a case by case basis with the BCB
- Refer to separate Blue Forest Fire Strategy as required.
- All structural elements to achieve a ½ hour fire resistance.
- Provide interlinked smoke detectors to circulation areas on ground and first floors in accordance with BS5446 Pt1. Detectors to be mains operated with battery back-up.
- All first floor rooms should have an alternative means of escape - egress windows - to have an unobstructed openable window of at least 0.33m<sup>2</sup> and will be at least 450mm high x 450mm wide (450mm wide opening would need to be 750mm high). The bottom of the openable area will be between a max of 1100mm and min of 800mm above the floor.
- Buildings within 1m of a boundary will need to be suitably treated so it is substantially non combustible.
- Access for a fire appliance to be allowed for within exterior landscaping where required.
- Alternative sprinkler system to be discussed with BCB.

**Building Reg. E - Resistance to the Passage of Sound**

- All internal studwork and area between floors to be fitted with 100mm thick acoustic insulation.
- On 2 storey properties, new ceilings to achieve a mass of 10kg/m<sup>2</sup> via 15mm plasterboard or sound resistant board.



**Building Reg F - Ventilation**

- Background ventilation to comply with Approved Document F. and be provided, as follows, to all areas by means of a Mechanical Ventilation and/or Heat Recovery System:
 

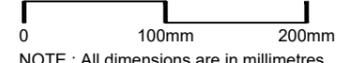
Kitchen	30 l/s extractor hood over hob
Utility	30 l/s extract fan
Bathroom	15 l/s extract fan
Ensuite	15 l/s extract fan
- Trickle vents are required on all windows and doors unless a MVHR system is installed.
- Back ground ventilation to achieve a minimum ventilation area not less than 8000mm<sup>2</sup> for habitable rooms.
- For public space such as schools and educational buildings, ventilation to comply with table 6.3 of Approved Document F.
- All extractor fans to "wet" rooms to have isolation switches in adjacent area and to have 15min overrun.
- Purge ventilation is to be via operable windows and doors.

**Building Reg. G - Bathrooms and WC's**

- Sanitary Pipework: Above ground drainage will comply with BS5572: 1978 Code of Practice for Sanitary Pipework. All pipe runs should be adequately sized in accordance with ADH1 Table 2 Diag. 3.
- The basins and bath wastes to be 40mm with 75mm deep seal traps, the shower waste is to be 50mm.
- WC wastes will be 100mm swept in direction of flow. Rodding points should be provided to access any discharge pipes which cannot be reached by removing traps.
- WCs to be connected to new soil and vent pipes or stub stack via 100mm branch pipe.
- SVP/SS to have rodding access at base and where pipework terminates within vented casing or roof void derogant air admittance valves, or similar approved, are to be fitted.
- SVP/SS pipework to be enclosed in 38 x 38mm sw framing with 2 layers of 12.5mm plasterboard and 25mm thick mineral wool insulation throughout the length.
- Where SVP/SS extends through roof it must extend 900mm above eaves level and any adjacent roof lights or windows and be fitted with a bird guard. Where an in-line tile vent is fitted the outlet is to be coursed into roof tiles.
- Door opening to ground floor WC to be a min of 750mm clear width to allow for disabled access in accordance with ADM.

**Heating And Hotwater**

- Heating and hot water to be provided by new boiler and /or wood burner.
- Boiler to be specified by client/contractor and installed in accordance with manufacturer's instructions.
- All hot water supplies are to be restricted to 48°C via Thermostatic Mixing Valves (TMV's) to prevent scalding in accordance with ADG.
- Any rooms to be heated with radiators to be fitted with Thermostatic Radiator Valves (TRV's).



NOTE : All dimensions are in millimetres.



Blue Forest (UK) Limited  
The Studio  
Bensfield Farm  
Beech Hill  
Wadhurst  
East Sussex  
TN5 6JR, UK  
t: +44 (0)1892 75 00 90  
e: info@blueforest.com  
w: www.blueforest.com

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences. Figured dimensions are only to be taken from this drawing. This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences. Copyright © Blue Forest (UK) Limited.

Rev	Date	Description
-	121021	First Issue

Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Floor To Wall Section

Drawn by:	SN	Client Number:	958	Drawing Number:	601
Checked By:	XXX	Drawing status:	C	Revision:	-
Date:	12.10.21	Scale:	1:5	Format:	A3

**CDM 2015**

The 2015 Construction (Design and Management) Regulations require that domestic works now require the production of Pre-Construction information, so that the Principal Contractor can prepare their Construction Phase plan. In most cases Blue Forest will be the Principle Contractor. The following will be carefully considered during the course of works, and whilst every effort has been made to determine and include areas of risk below, this list is not exhaustive. Further details can be found under the HSE CDM regulations 2015.

1. Planning and managing the construction works in a clean and tidy manner, so as not to cause any undue risks to the occupants, adjoining and surrounding neighbours, and the general public.
2. Communication with the adjoining and surrounding neighbours, which may include letter drops.
3. Considering the security of the area affected by the works, which includes any site hoarding and signage warning of the works, and wearing of the correct PPE for the task in hand.
4. Any site parking for contractors vehicles, so as not to cause any undue risks to adjoining, and surrounding neighbours, and the general public.
5. Any permit to work systems.
6. Support any existing structures that are remaining with appropriate props, ensuring these are installed by a competent person.
7. Fire precautions and reduction of risk to both to the adjoining / surrounding neighbours and the general public. Method statements should be obtained from any sub contractors who are using open flame.
8. Emergency precautions and means of escape should there be a fire, or other accident on site.
9. Working in confined spaces, ie loft spaces, and foundations if greater than 1m.
10. Boundaries and access to the site, ensuring that the site is left safe at the end of the working day.
11. Restrictions on deliveries, ie is the road narrow, or lifting of materials from the public highway to a safe area on the site, as well as any overhead obstructions.
12. Adjacent land uses, and will these cause any concerns to the project.
13. Existing services both below ground and overhead - a survey has not been carried out to determine any service runs, please CAT scan if you are unsure. Do not use excavators or power tools near suspected buried services.
14. Shore excavations; cover or barrier excavations to prevent people or vehicles from falling in.
15. Existing drainage - indicative positions are shown on the plans, there may be additional drains that are not shown, if you are in doubt, then please check before digging.
16. Ensure and appropriate Site Investigation has been undertaken to enable assessment of ground conditions as appropriate for proposed building.
17. Lifting and handling of structural timber and steelwork in position must be undertaken with great care, and in line with current manual handling regulations.
18. Do not start work if it is suspected that asbestos may be present in any area. If in doubt obtain advice from a specialist.

**Building Reg. H - Foul Drainage**

H1 Foul Water Drainage - Foul water will be discharged from the building to existing re-routed facilities via new adequately sized pipework.

1. Below ground drainage will comply with BS8301 1985 Code of Practice for Building Drainage.
2. All existing drainage to be surveyed on site. Contractor to liaise with the Building Control Body on all matters relating to the new drainage after the survey has been carried out.
3. Adequately sized pipes should be laid with an even gradient (fall of 1:60 for 100mm Ø and 1:150 for 150mm Ø pipes), they are to have flexible joints and be bedded and backfilled as stipulated in diagram 10 of ADH2. Sufficient access points (inspection chambers or rodding eyes) should be incorporated at junctions and bends to ensure blockages can be cleared. The access points should be fitted with removable non-ventilating covers of durable material and of suitable strength for location.
4. Where new drains pass through walls provide 75mm deep precast concrete lintels and masking to both sides of wall with rigid sheet material to prevent entry of fill or vermin as detailed in diagram 7 of ADH1. Where new drains run under the building provide at least 100mm granular or other flexible filling to protect from settlement. Refer to tables 8, 9 & 10 for minimum recommended coverage of pipes.
5. All new foul drainage is to connect to existing foul water drainage on site. Any layouts/routes shown are indicative only, exact runs are to be confirmed on site and will comply with diagram 8 of ADH1 where adjacent to foundations to approval of BCB.
6. Sewage treatment plant to be to clients/contractors specification. To be installed all in accordance with manufacturers instruction and Building Regulations Part H2.
7. All connection points to be of appropriate depth and in positions agreed between contractor and BCB.
8. A new manhole is to be constructed in 215mm engineering brick covered with a galvanised steel cover or p.c.c suitable for new location.
9. All new drainage runs are to be inspected and approved by the Building Control Body

**Building Reg. H - Storm Water Drainage**

1. Storm water drainage design and routes to be agreed between the main contractor and BCB. All rain water positions shown are indicative only and the exact number required and their positions are to be established on site by the builder and approved by the BCB.
2. Should a new soakaway be required it should be a min. of 5m from building(s) and designed in accordance with BRE digest 365 and to BCB approval.
3. If required by BCB, provide percolation test prior to excavation.
4. All new storm water products to clients specification and approved by the local authority.
5. Suitably sized drains to be laid at min. falls of 1:100 if 100mm dia. (1:150mm if 150mmØ/1:225 if 225mm Ø).
6. Hard landscaping to call away from buildings for at least 500m and minimum 1:60 fall.

**Building Reg. J - Free Standing Stove and Flue**

1. Free standing solid fuel fire is to be installed in accordance with manufacturer's details and fixed to a non combustible hearth.
2. The hearth is to be constructed as detailed in Section 2 of ADJ diagram 27.
3. The stove is to be positioned with clearances as specified in ADJ diagram 30 and the hearth should allow for at least 150mm to the sides and rear of the appliance and 300mm in front of the openable door as detailed in ADJ diagram 26.
4. The Flue to be constructed straight and vertical with no more than a 90° bend (2 x 45°) with cleaning access where the flue connects to the appliance see ADJ paragraphs 1.48 and 1.49 for more detail.
5. Appliance and flue to be tested by suitable qualified person and certificate to be provided to client and BCB.

**Building Reg. K - Staircase:**

1. Minimum headroom above pitch line to be 2m.
2. Maximum pitch to be 42°.
3. Maximum rise to be:  
220mm on a private building  
170mm on a public building
4. Minimum going to be 220mm to be:  
220mm on a private building  
250mm on a public building
5. Minimum going to tapered treads to be 50mm.
6. Step construction to comply with diagram 1.1 of Approved Document K.
7. For stairs up to 1m wide, provide handrail to one side at 950mm above pitch line. Stairs 1m or wider to have 2 hand rails.
8. Buildings other than dwellings to have hand rail that can be gripped easily and complied with section 1.36 of Approved Document K.
9. Balustrade to be a minimum of 900mm above floor level on private treehouses, 1100mm on public buildings.
10. All guarding to the new stairs/balustrade on private treehouses to be non-climbable and constructed so that a 100mm sphere will not pass through.
11. All guarding to the new stairs/balustrade on public treehouses designed as a play area for children to be non-climbable and constructed so that a 90mm sphere will not pass through.
12. Stairs to be measured up on site prior to manufacture.
13. All stairs to meet Approved Document K.
14. All balustrades to meet BS 6180 Minimum Horizontal Loads For Balustrades

**Building Reg. Q - Windows, Doors And Glazing**

1. All new windows to be double glazed units in timber frames to achieve min U-Value set out on previous page, with factory sealed 24mm low-E glass. Type and style to be agreed with client.
2. Trickle vents may be required for background ventilation. No trickle vents are required when MHVR system installed.
3. Doors and windows within critical areas to be safety glass to BS 6205. Critical areas are glazing to doors, sidelights, windows etc. and glass is below a height of 800mm from finished floor at ground level and within 300mm of the side of a door or door handle.
4. All windows and doors at ground floor level to have laminated external glass panels to comply with Building Regulation Part Q (Security) to prevent holes when broken. Internal glass panel to be either standard or toughened dependant on location and clients requirements.
5. All ironmongery to clients specification.
6. Window sill depths are to be specified but a minimum of 50mm from the cladding face.
7. Doors with level thresholds (Part M or FFL level with deck) to adopt NHBC guidelines 7.1.11 'Accessible Thresholds'
8. Egress Windows: All habitable first floor rooms are to have an unobstructed openable area of at least 0.33m² and to be at least 450mm wide and 750mm high. The bottom of the openable area should be between 800 and 1100mm above the finished floor level.
9. Flashing to be formed installed above and below all windows and doors.
10. Where applicable (commercial development) internal fire doors with intumescent seals to be installed as required to reduce spread of fire within hallways and stair wells (at hour rating).

**All New Windows & Doors**

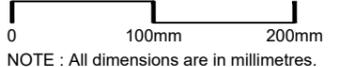
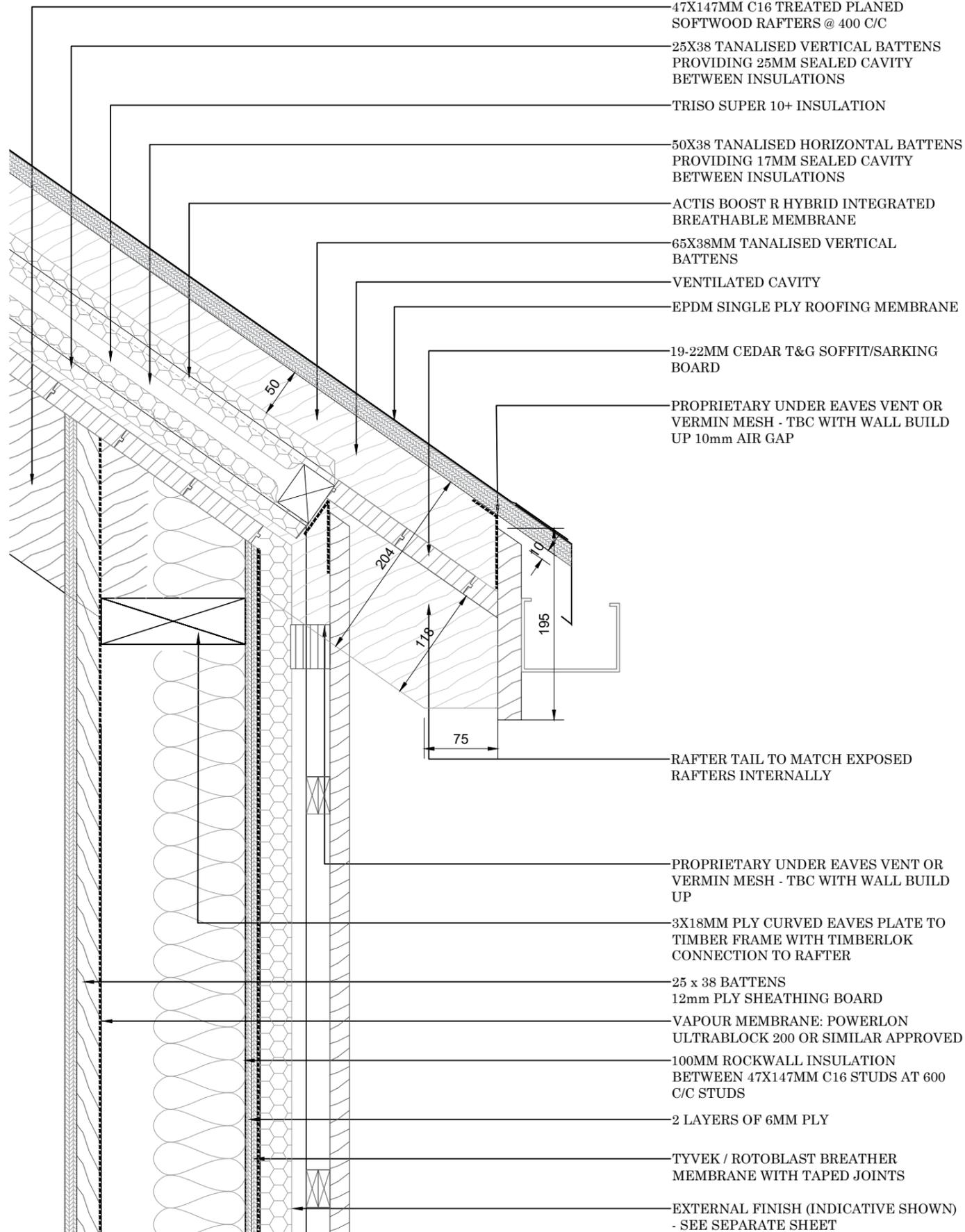
This specification is to be read in conjunction with Blue Forest Window and Door schedule, issued for each project, and will include:

- Location
- Quantity required
- Reference number
- Size
- Threshold
- Handing

1. Exact type and style of window to be agreed for each project.
2. All ironmongery to be agreed for each project but should provide additional security as specified by Building Regulation Part Q (Security) and comply with BS PAS 24:2012

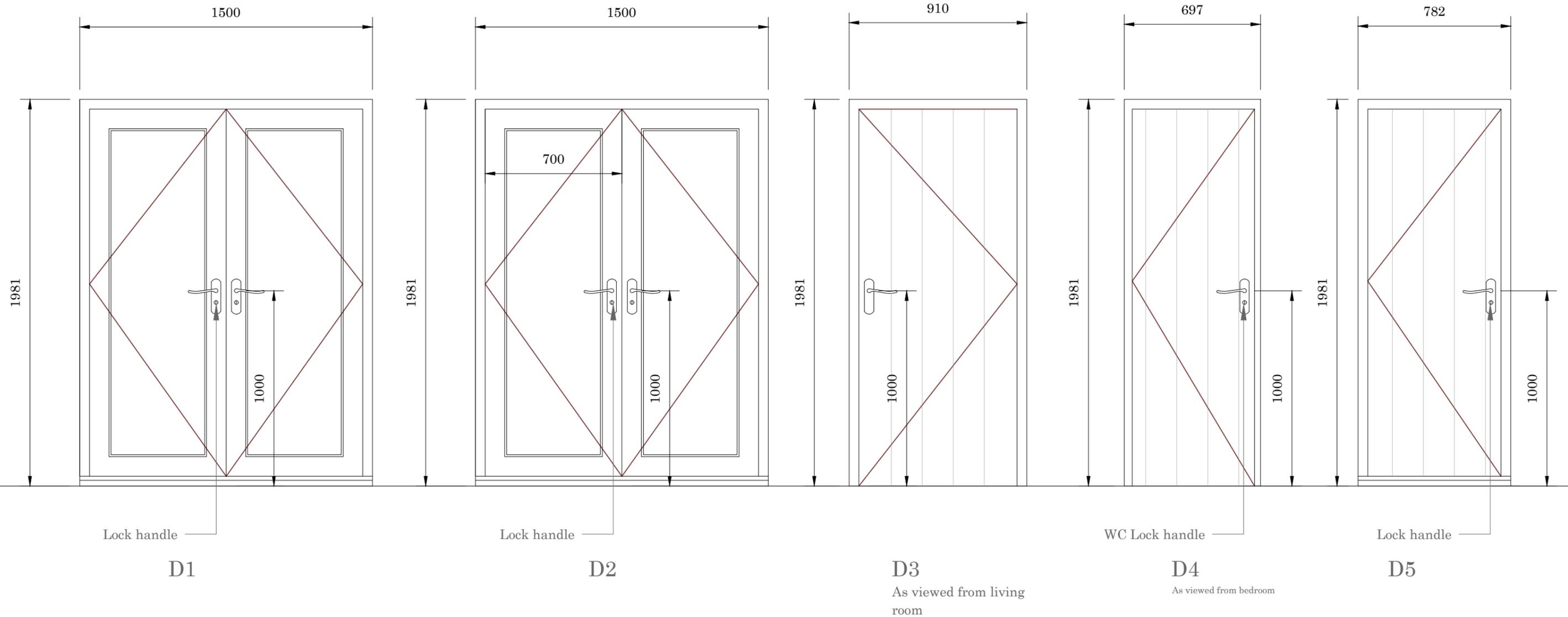
**Building Reg. P - Electrical**

1. All new electrical work is to be designed, installed, inspected and tested in accordance with BS7671:2001 and to current I.E.E regulations.
2. The installation of all electrical components is to be undertaken by a person registered with an electrical self-certification scheme or alternatively by a suitably qualified person. An electrical Installation Certificate is to be issued in accordance with ADP Section 1 parts 1.7-1.15 upon completion of works.
3. Contractor to allow for suitable number of 13amp sockets and lighting points within the new construction.
4. All light switches to be installed at 1200mm above floor level.
5. All power sockets to be installed between 450mm and 1200mm above floor level.
6. Provision for efficient lighting to comply with Part L1 to be 75% of luminaires of low efficacy of 45 watts or below
7. Any external lighting should automatically extinguish in daylight and when not required at night. A maximum of 150 watts per fitting.
8. Provide interlinked smoke detectors to circulation areas on ground and first floors in accordance with BS5446 Pt1. Detectors to be mains operated with battery back-up.



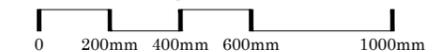
Rev	Date	Description	Client
-	121021	First Issue	JUM
A	180123	Roof finished revised to EDPM	Project Title Accommodation Treehouse
			Drawing Title Ground Floor Plan

Drawn by:	SN	Client Number:	958	Drawing Number:	602
Checked By:	XXX	Drawing status:	C	Revision:	A
Date:	12.10.21	Scale:	1:5	Format:	A3



Door Schedule			
Mark	Type	Level	Operation
D1	1500x2100	FFL	Double Doors (Swing Out)
D2	1500x2100	FFL	Double Doors (Swing Out)
D3	910x2100	FFL	RH hung (Swing Into Bedroom)
D4	697x2100	FFL	LH hung (Swing Into Bathroom)
D5	782x2100	FFL	LH hung (Swing Out)

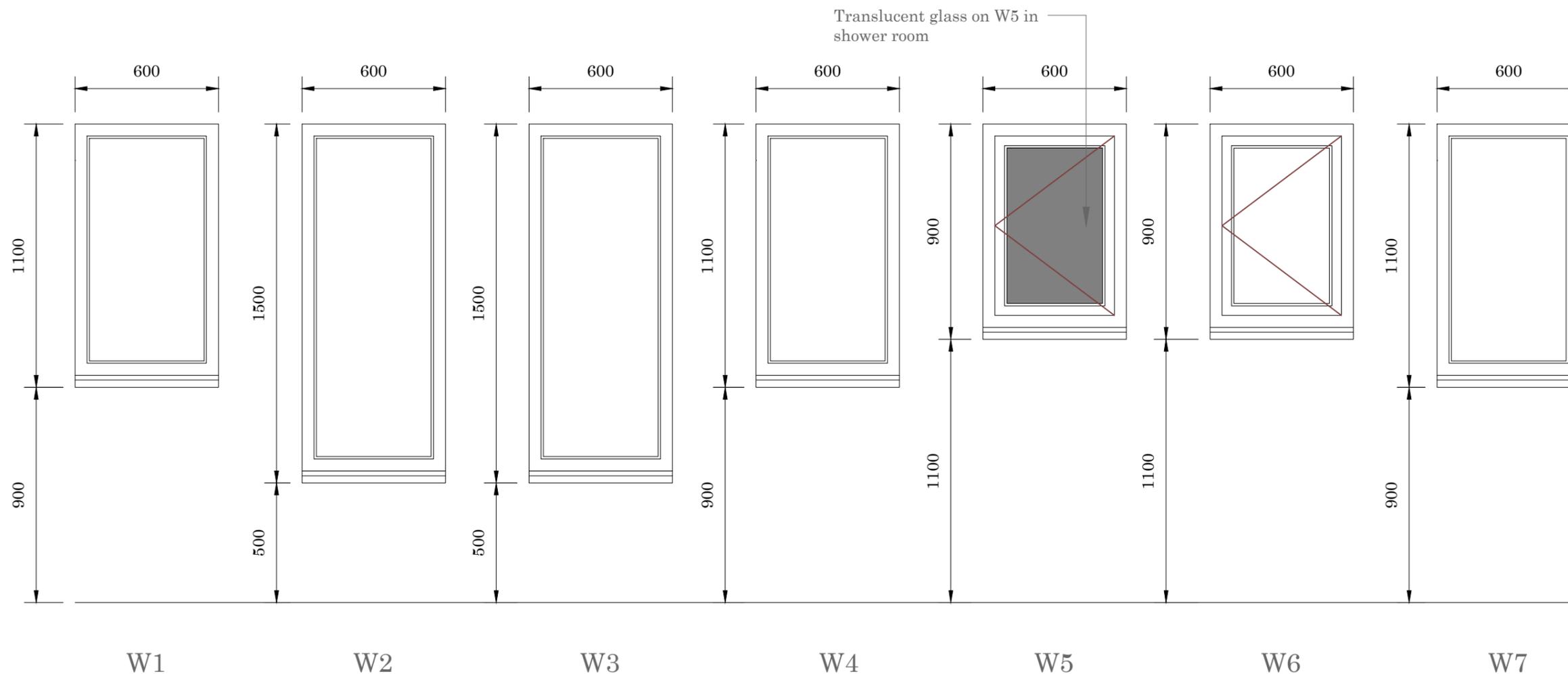
**NOTES:**  
 All dimensions are in millimetres.  
 Doors and windows are as viewed from the outside unless noted otherwise  
 Doors to be solid oak, Osmo oiled  
 D1 and D2 to be double glazed 4/16/4  
 Handles to be antique brass, Bedford V803AT



Rev	Date	Description
-	131021	First Issue
A	230222	D2 and D5 amended, drip sills removed

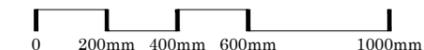
Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Door Schedule

Drawn by:	SN	Client Number:	958	Drawing Number:	801
Checked By:	CK	Drawing status:	T	Revision:	A
Date:	13.10.21	Scale:	1:20	Format:	A3



Window Schedule					
Mark	Type	Level	Sill Height	Head Height	Operation
W1	600x1100	FFL	900mm	2000mm	Non Openable
W2	600x1500	FFL	500mm	2000mm	Non Openable
W3	600x1500	FFL	500mm	2000mm	Non Openable
W4	600x1100	FFL	900mm	2000mm	Non Openable
W5	600x900	FFL	1100mm	2000mm	LH hung (swing out)
W6	600x900	FFL	1100mm	2000mm	LH hung (swing out)
W7	600x1100	FFL	900mm	2000mm	Non Openable

NOTES:  
 All dimensions are in millimetres.  
 Doors and windows are as viewed from the outside unless noted otherwise  
 Windows to be solid oak, Osmo oiled  
 All to be double glazed 4/16/4  
 Window fasteners to be Altro Cast Victorian Casement Hook & Plate - Antique Brass  
 Window stays to be 250mm long Altro Cast Victorian - Antique Brass



Rev	Date	Description
-	131021	First Issue
A	230222	W5 note added

Client	JUM
Project Title	Accommodation Treehouse
Drawing Title	Window Schedule

Drawn by:	SN	Client Number:	958	Drawing Number:	802
Checked By:	CK	Drawing status:	T	Revision:	A
Date:	13.10.21	Scale:	1:20	Format:	A3



External mounted wall lamp - IP rate  
Astro Jura 42007



Floor recessed light - IP rate  
Collingwood domed ground light GL200

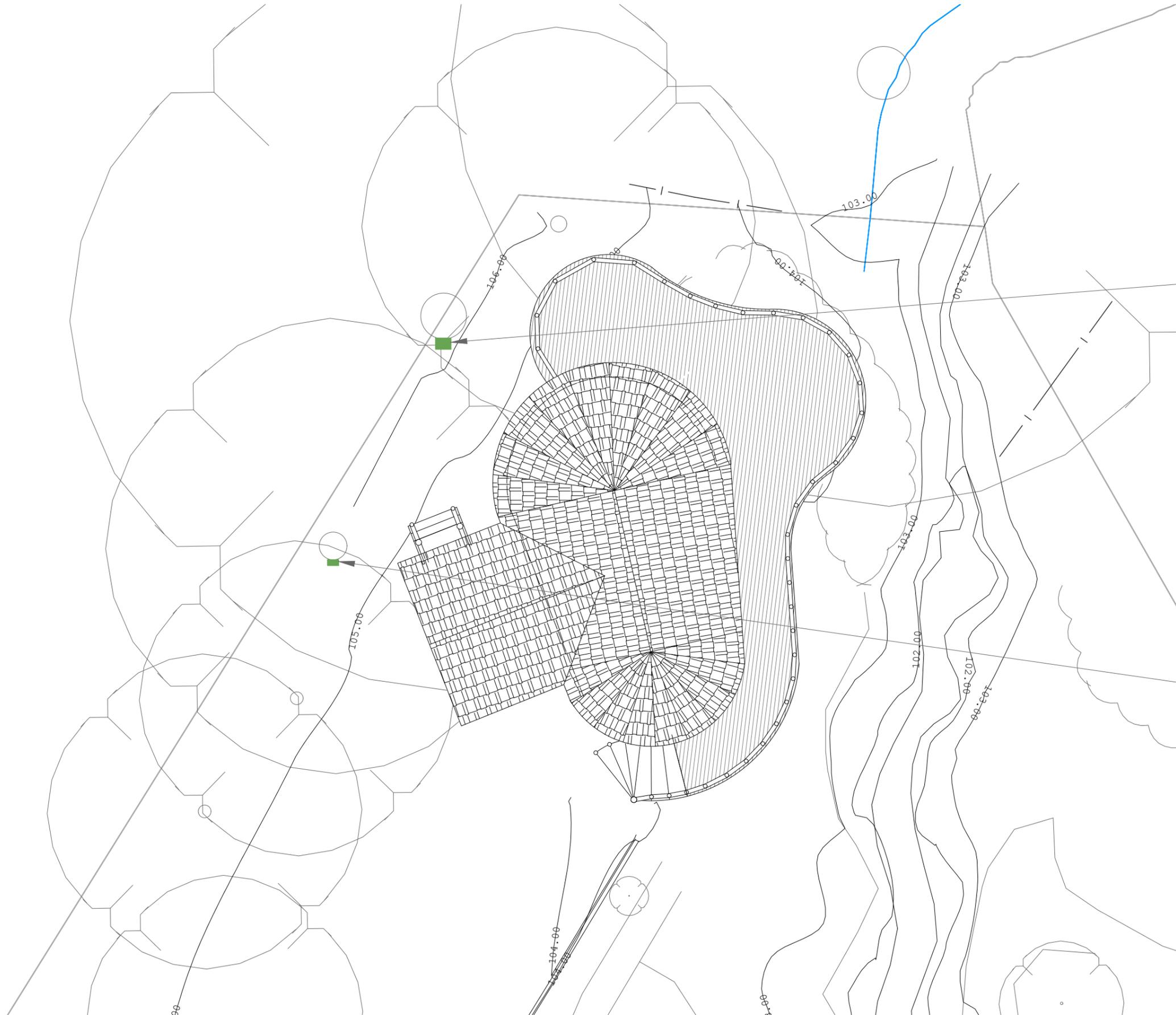


**ELECTRICAL LEGEND:**

-  Light switch
-  Floor recessed light - IP rate
-  External wall mount lamp - IP rate



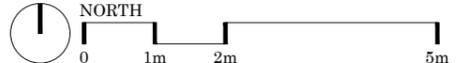
Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
-	080622	First Issue	JUM	SN	958	131
			Project Title	Checked By:	Drawing status:	Revision:
			Accommodation Treehouse	xx	T	.
			Drawing Title	Date:	Scale:	Format:
			External Lighting Plan	08.06.22	1:100	A3



Artificial nest;  
Woodstone Burgos Swift Nest Front Entrance  
5m above ground level on tree



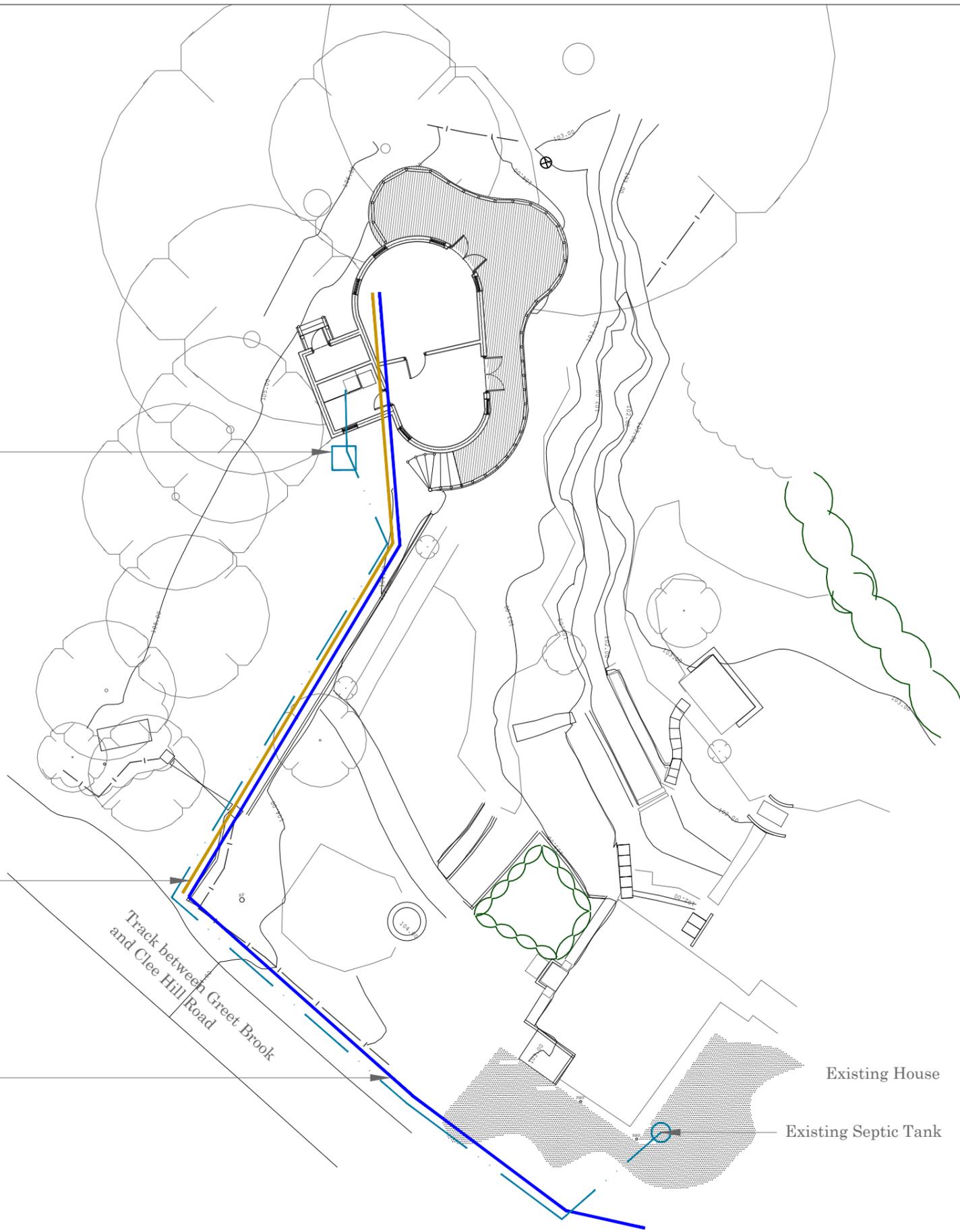
Bat Box;  
Schwegler Woodcrete 1FF Flat Bat Box  
5m above ground level on tree



Rev	Date	Description
-	080622	First Issue

Client	JUM
Project Title	Family Treehouse
Drawing Title	Bat and Bird Boxes plan

Drawn by:	SN	Client Number:	958	Drawing Number:	625
Checked By:	SP	Drawing status:	PL	Revision:	-
Date:	08.06.22	Scale:	1:100	Format:	A3



Inspection chamber and pump  
Assumed size: 1000mm x 600mm

New electrical supply from pole transformer  
to treehouse. 63Amp by network provider.

New MDPE water supply connected to house  
incoming main routed to treehouse plant room.  
Supply to run along ditch at the side of the house.

Existing House

Existing Septic Tank

Track between Greet Brook  
and Clee Hill Road

**NOTES**  
 — Proposed water supply  
 — Proposed sewage pipes  
 — Proposed electrical supply  
 All dimensions are in millimetres.

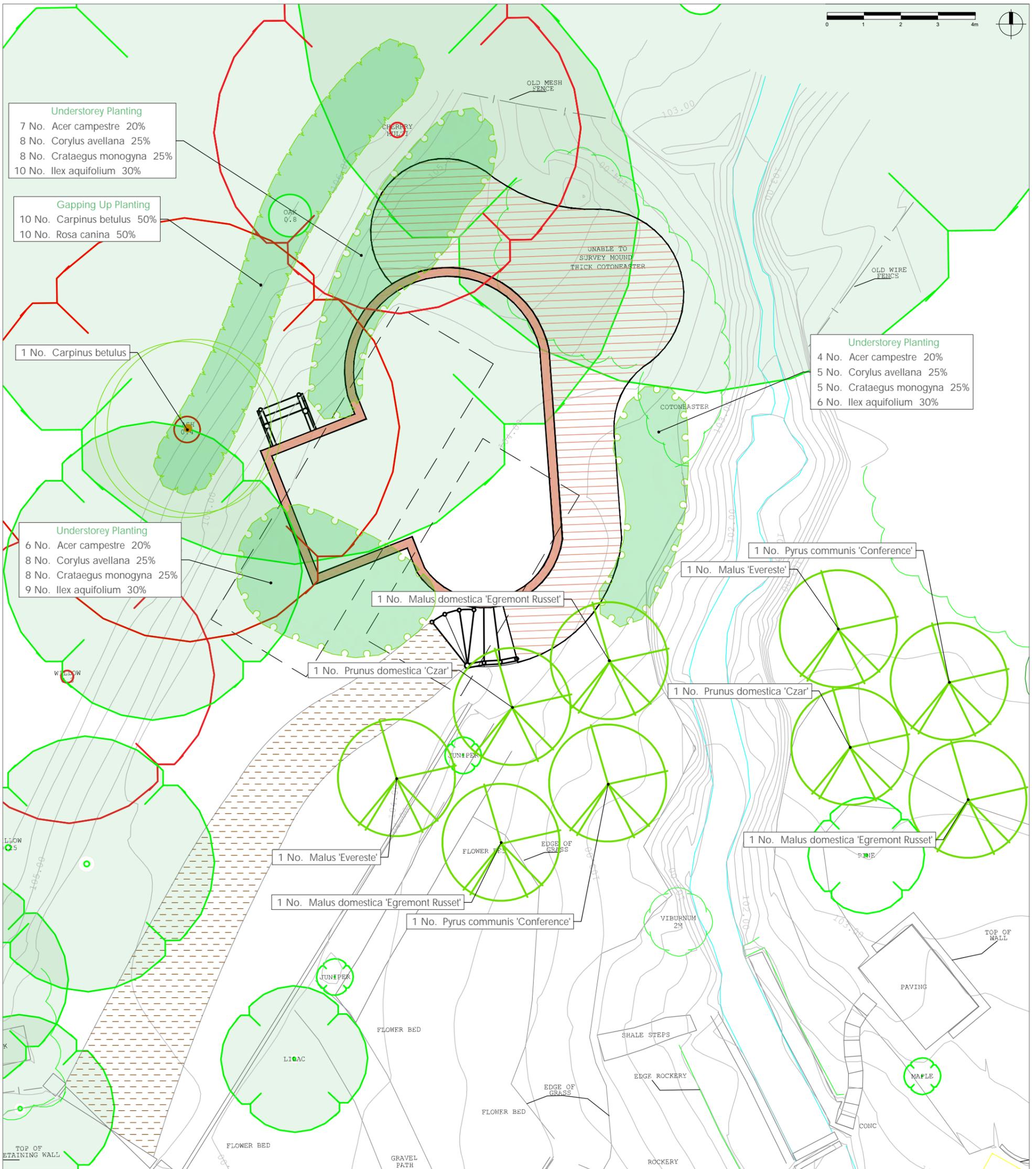
**NORTH**



Blue Forest (UK) Limited  
 The Studio t: +44 (0)1892 75 00 90  
 Bensfield Farm e: info@blueforest.com  
 Beech Hill Wadhurst  
 East Sussex w: www.blueforest.com  
 TN5 6JR, UK

All dimensions are to be checked on site. Any discrepancies or variations are to be reported to Blue Forest (UK) Limited before work commences.  
 Figured dimensions are only to be taken from this drawing.  
 This drawing is to be read in conjunctions with all relevant consultants' and/or specialists drawings/documents and any discrepancies or variations are to be notified to Blue Forest (UK) Limited before the affected work commences.  
 Copyright © Blue Forest (UK) Limited.

Rev	Date	Description	Client	Drawn by:	Client Number:	Drawing Number:
-	080322	First Issue	JUM	SN	958	181
A	080422	Plant room amended	Project Title	Checked By:	Drawing status:	Revision:
B	080622	Drainage details added	Accommodation Treehouse	BL	T	C
C	241022	Existing septic tank added	Drawing Title	Date:	Scale:	Format:
			Site Services Plan	08.03.22	1:100	A3



**Plant Schedule**

**Trees**

Number	Species	Height	Girth	Specification	Density
17	Acer campestre	60-80cm		1+1 :Transplant :B	0.75Ctr
1	Carpinus betulus	350-400cm	12-14 cm	Heavy Standard :Clear Stem 175-200 :3x :RB	Counted
10	Carpinus betulus	40-60cm		1u1 :Seedlings :B	No.
21	Crataegus monogyna	60-80cm		1+1 :Transplant :4 brks :B	0.75Ctr
2	Malus 'Evereste'	250-300cm	6-8cm	Standard (Light) :Clear Stem 150-175 :3 brks :2x :RB	Counted
3	Malus domestica 'Egremont Russet'	250-300cm	6-8cm	Standard (Light) :Clear Stem 150-175 :3 brks :2x :RB	Counted
2	Prunus domestica 'Czar'	250-300cm	6-8cm	Standard (Light) :Clear Stem 150-175 :3 brks :2x :RB	Counted
2	Pyrus communis 'Conference'	250-300cm	6-8cm	Standard (Light) :Clear Stem 150-175 :3 brks :2x :RB	Counted

**Shrubs**

Number	Species	Pot Size	Specification	Density
21	Corylus avellana		1+2 :Branched :3 brks :RB	0.75Ctr
25	Ilex aquifolium	3L	Leader With Laterals :C	0.75Ctr
10	Rosa canina		1+0 :Branched :RB	No.

**Key:**

- Existing trees to be retained
- Existing trees to be removed
- Proposed Heavy Standard trees
- Proposed Light Standard trees
- Proposed native shrub planting
- Proposed gapping up planting to existing hedgerow

**Notes:**

To be read in conjunction with HBA Planting Specification Notes

20:01:23	ER	Soft landscape plan	NB	NB
Rev. Date	By	Description	Ckd	Aprd
Drawing Status: <b>DISCHARGE OF CONDITIONS</b>				



landscape architecture ■ urban design  
expert witness ■ environmental planning

Huskisson Brown is the trading name of David Huskisson Associates Limited  
29-31 Monson Road Tunbridge Wells Kent TN11 1LS  
tel: 01892 527828 email: office@huskissonbrown.co.uk www.huskissonbrown.co.uk

All dimensions to be checked on site

Client  
**Blue Forest**  
Project  
**Gatmoor Cottage, Nash, Ludlow**  
Drawing  
**Soft Landscape Plan**  
Sheet  
**1 of 1** Scale:  
**1:100@ A3**  
Date  
**20:01:23** Drawing No.  
**HBA-915-001** Rev.  
File location:  
P:\915\Drawings\HBA\Current Drawings