

ABSOLUTE ARCHITECTURE



Design, Access and Heritage Statement

Project: Burnies House, Ashmansworth, Newbury, Hampshire, RG20 9SW
Alteration works

Date: 15th February 2024

Authority: Basingstoke & Deane Borough Council

1 Introduction

1.1 This Design, Access and Heritage Statement has been prepared by Absolute Architecture on behalf of the Applicant to accompany the submission of a Householder Planning Application for the alteration works to Burnies House, Ashmansworth.

1.2 This is a combined Design, Access and Heritage Statement, in accordance with para 194 of the National Planning Policy Framework (NPPF) 2021 which states:

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.

1.3 The purpose of this Design, Access and Planning Statement is to explain the principles and concepts that have been applied to the proposed alterations and how it sits against current planning policy.

1.4 Burnies House is believed to date from the 18th century, sitting in the grounds of 1.04 acres of land, a secluded site enjoying views across fields. The 5-bedroom dwelling is not Listed but is noted as a Building of Local Interest. It lies within the Ashmansworth Conservation Area and within the North Wessex Downs Area of Outstanding Natural Beauty (AONB).

1.5 The existing house is occupied by the applicants as their long-term home. The intention is to create a desirable home that is responsive to the setting, makes a positive enhancement to the site and takes into consideration the character and context of the area. The applicants love the character of the property and wish to enhance and reinstate some of the property's former aesthetic and architectural detail. At the same time the intention is to mitigate harm resulting from previous, poorly considered alterations and additions. Some interior alterations will be completed in conjunction with the proposals to enhance the quality and layout of the accommodation.

1.6 The proposed application is for alterations to the cottage, including alterations to windows and doors, addition of cladding, removal of render, new porch canopy to front door, new side door with canopy. Internal alterations include the reconfiguration of the ground floor and master-suite at first floor. Taking into consideration the character of the site and context of the area, it will deliver a long-lasting and desirable home that is responsive to the setting and making a positive enhancement to the site.

1.7 This statement should be read in conjunction with the plans and supporting documents that have been submitted with the planning application.

2 Planning Policy - NPPF

2.1 The National Planning Policy Framework (NPPF) was published in December 2023 and provides the Government's framework for delivering sustainable development and facilitating economic growth through the planning process. The NPPF is a material consideration in the determination of planning applications.

2.2 The NPPF is underpinned by a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision-taking, and should, unless there are extreme adverse implications to doing so, supersede conflicting or absent Local Plan policies.

2.3 In developing the proposals on behalf of the Applicants, we have drawn on the following principles set out in the National Planning Policy Framework (NPPF):

- To seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings
- That good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people
- To respond to local character and history and reflect the identity of local surroundings and materials

Planning Policy - Local

2.4 Basingstoke and Deane Local Plan (2011-2029, Adopted 2016), in particular:

Policy SD1: Presumption in favour of Sustainable Development

Policy EM1: Landscape

Policy EM4: Biodiversity, Geodiversity and Nature Conservation

Policy EM7: Managing Flood Risk

Policy EM10: Delivering High Quality Development

Other material considerations are:

The National Planning Policy Framework (NPPF) 2023.

Ashmansworth Parish Council Planning Policy (2022-2023)

Ashmansworth Conservation Area Appraisal (2004)

Design and Sustainability SPD (2018)

Landscape, Biodiversity and Trees SPD (2018)

North Wessex Downs AONB Management Plan 2019-2024.

It is anticipated that the key planning considerations will be:

Impact on the character and appearance of the Conservation Area.

The impact on amenity to neighbouring properties including Listed Buildings.

Arboricultural considerations

Ecological considerations

Flood risk considerations



Aerial view of Burnies House.

3. Site and Character of the Conservation Area

- 3.1 Burnies House is located in Ashmansworth, which lies approximately midway between Newbury and Andover. Ashmansworth is the highest village in Hampshire. The application site falls within Ashmansworth Conservation Area and within the North Wessex Downs Area of Outstanding Natural Beauty (AONB). Neighbouring Steeles Farmhouse is a Grade II Listed building.
- 3.2 The Ashmansworth Conservation Area was designated in 1989 by Hampshire Country Council. The area features a variety of farm complexes, barns, and curtilage structures, all contributing to the historic and architectural significance of the Conservation Area. The buildings are constructed using a combination of red brick, flint, and other traditional materials, reflecting the rural character of the village.
- 3.3 The village occupies an elevated position in the North Hampshire Downs, with outstanding views of deciduous woodland and undulating downland countryside. The approaches to the Conservation Area are along rural lanes with wide grassed verges or narrow lanes enclosed by high banks and mixed hedges. The settlement pattern reflects slow evolution, with a central core concentrated around the main thoroughfare and ribbon development.
- 3.4 The Ashmansworth Conservation Area Appraisal includes eight Listed Buildings, most dating back to the 17th, 18th and 19th centuries and are two storey, red brick properties with flint and clay or thatched roofs. Burnies, again in red brick and flint, has a tiled roof with catslide roof to its single storey extension. Burnies is mentioned in the Conservation Area Appraisal as a Building of Local Interest.

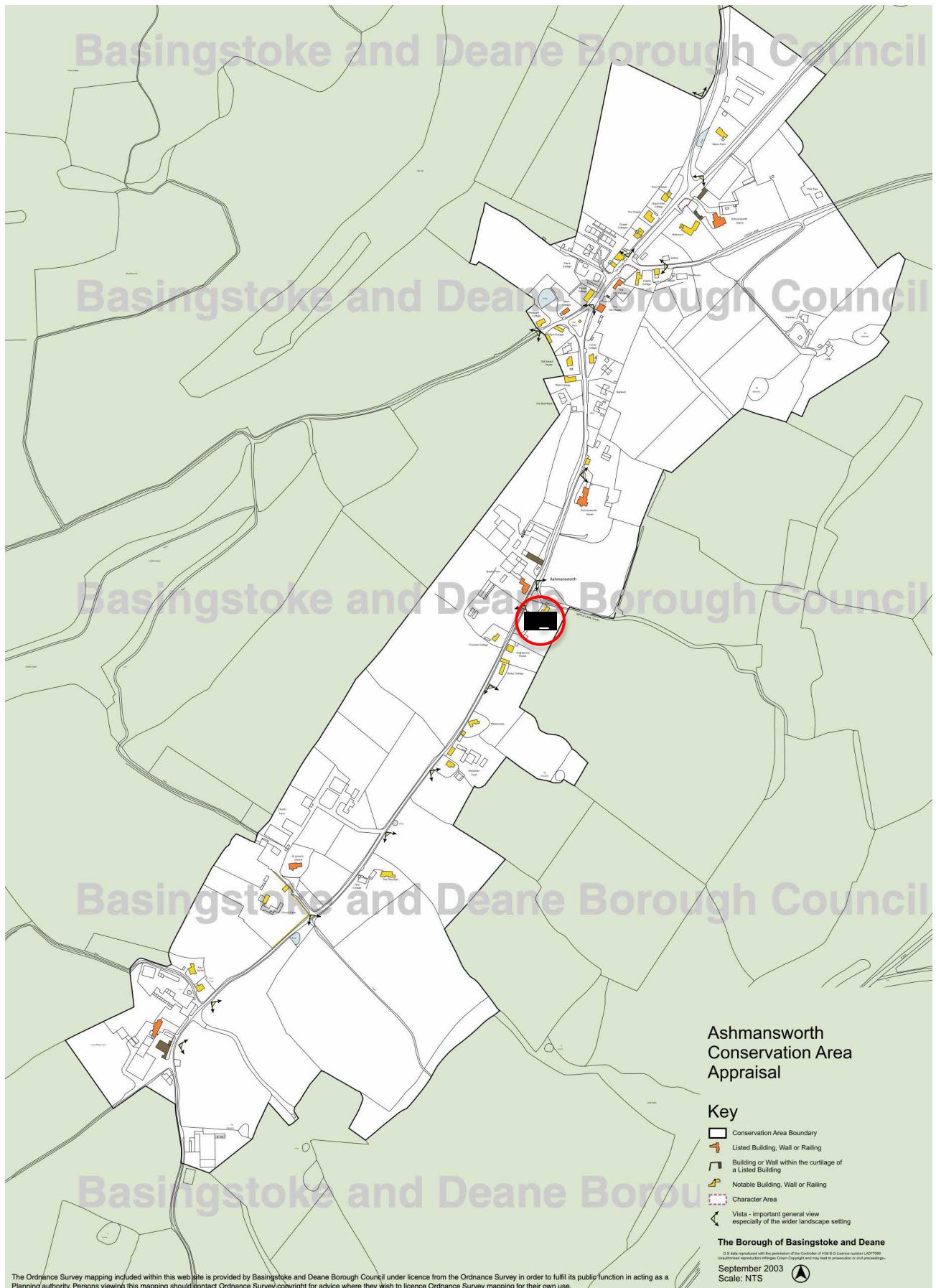


Image: Ashmansworth Conservation Area map with Burnies House ringed in red

3.5 One of these Listed Building is Steeles Farmhouse, located across the road from Burnies House. The Grade II Listed Building is dated from the 17th century with alterations made throughout the 19th century. The associated brick and flint, weatherboarded barn, and the roadside wall to the front of the farmhouse are protected as curtilage structure.

4. The existing cottage

4.1 The application site contains a detached two-storey house built in the 18th century with a detached garage on a large plot of 1.04 acres. Fields surround the site with neighbouring Hughbourne House to the Southwest and Steeles Farm to the North, across the road. The site is accessed via the main road, it is well screened by trees and hedges around the boundary. The site gently slopes from West to East.

4.2 The existing dwelling comprises of 5 bedrooms, plus two principal reception rooms, a kitchen and a dining room. To the North end, the garage has previously been converted to an office with a utility room and stores to the end.

4.3 The existing cottage is believed to date from the 18th century, it was constructed in bricks with flint details and a clay roof. Many of the original features remain on the frontage of the original house.

4.4 Additions have been made to the house overtime. A two-storey brick extension was created to the rear to allow for an additional bedroom to the first floor and a covered open space at ground floor.

4.5 In 1990, the existing detached garage has been replaced with a timber framed garage.

4.6 In 2007, further alterations were undertaken at Burnies House. At ground floor, the open covered area to the rear has been closed and extended to allow for a kitchen and a dining room at ground floor and a bedroom at first floor. In an attempt to unify the façade, the rear (east) and south elevations have been rendered. Also, following the garage conversion, the northwest elevation has been patched up with bricks of poor quality.

4.7 The applicants wish to preserve and reinstate the original character and charm of the building.



Rear Elevation – late 1990's



Rear Elevation – Pre 2007 works



Rear Elevation – 2024



Front of House (West) - 2024

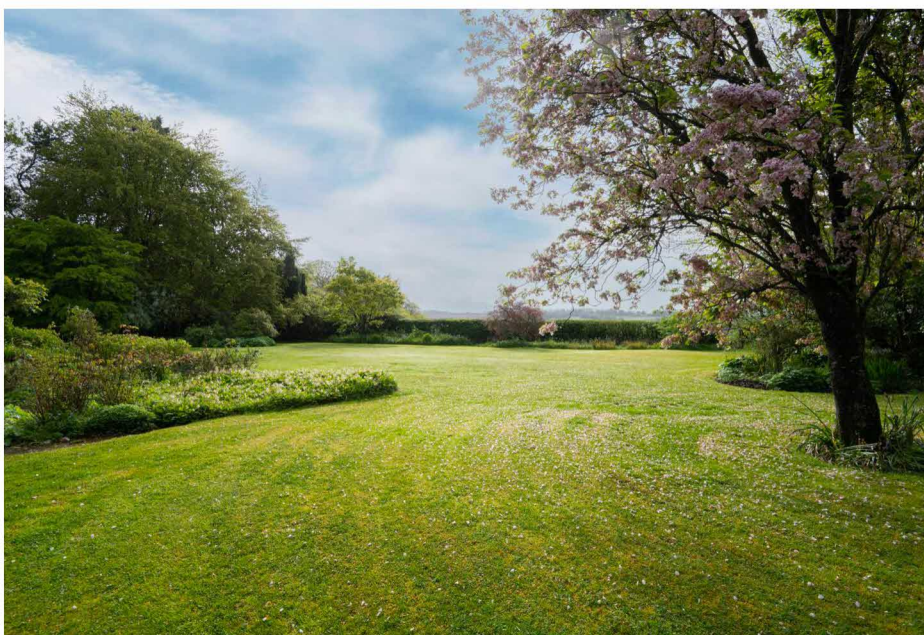
North West Extension – 2024



Drawing room extension (South) - 2024



Detached garage -2024



Garden - 2024

5 Planning History

5.1 The property has been subject to a number of tree removals / reductions, and minor alteration projects over time. Basingstoke & Dean planning website records show the following:

BDB/29718 - Demolition of existing garage & erection of new garage. Granted on the 14.11.1990.

BDB/66886 - Erection a part two storey, part single storey infill front extension. Erection of a detached garage and construction of a pitched roof over existing. Demolition of existing car port and external alterations. Granted on the 23.10.2007.

T/00210/23/TCA - T1 Maple (Field) - Fell and treat stump with eco plugs - To combat subsidence
T3 Ash - Fell and treat stump with eco plugs - To combat subsidence. Decision unknown
3.07.2023.

6 Proposed Layout, Massing & Appearance

6.1 Planning permission is sought for the:

‘Alterations to the cottage, including alterations to windows and doors, addition of cladding, removal of render, new porch canopy to front door, new side door with canopy.’

6.2 The concept for the house has evolved from a detailed understanding of the site and its constraints, and of the heritage context within the conservation area. The alterations are designed to reinstate and enhance the property’s former aesthetic and to mitigate harm resulting from previous, poorly considered alterations and additions.

6.3 The rear elevation has been badly compromised with the various extensions added overtime. Brick and flint details have been covered with render, compromising the original aesthetic of the property.

6.4 The render will be removed from the original part of the house and its oldest brick extensions either side (drawing room and utility room). The bricks and flint will be cleaned and repointed to reveal original details from the 18th century.



Rear elevation – Late 1990’s

- 6.5 The most recent kitchen / dining extension is proposed to be clad with timber. The external walls are believed to be of blockwork. Timber cladding will contrast with the existing bricks and flint on the oldest parts of the house, creating architectural hierarchy by differentiating the old parts of the house from the most recent extensions.
- 6.6 On the kitchen extension, the current window arrangement appears unbalanced. The proposed replacement of the kitchen window with French doors will enhance the overall aesthetic of the rear extension and connect the kitchen with the garden.
- 6.7 To the North, the internal reconfiguration of the previously converted garage will allow for a bootroom, a utility room, a multipurpose room and a shower room. Along with the proposed internal arrangement, alterations are proposed to the existing openings to suit the proposed layout and create views and access to the garden.
- 6.8 To the rear, arched lintels will be added to existing and proposed openings, as shown on the elevation to replicate the original arched lintels over the windows to the front elevation. Additionally, in conjunction with the proposed work to the rear extension, existing gutters and fascia are proposed to be replaced.



Proposed rear elevation

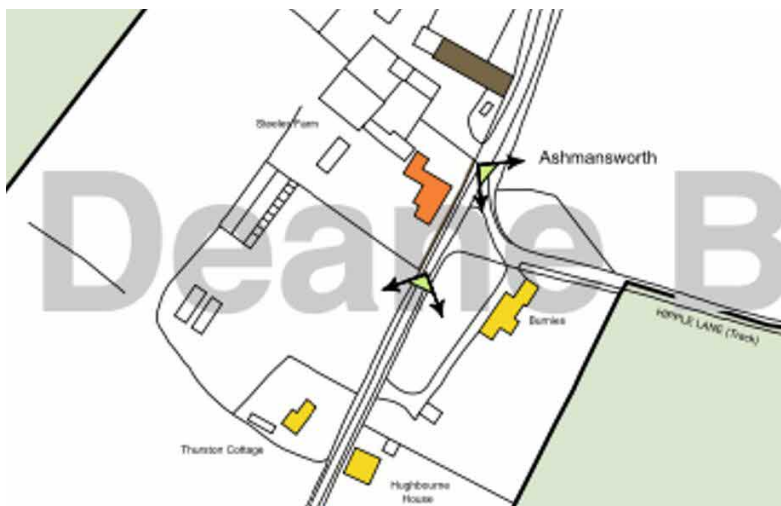
- 6.9 To the northwest, during the conversion of the garage into an office, the garage door opening has been infilled with poor quality red bricks and replaced with 2no. windows. As shown on the photo of the northwest elevation page 8, this has led to the elevation having an unsatisfactory appearance, disappointing compared to the adjacent house frontage. The proposal is for the addition of timber cladding to the northwest elevation, covering the miss-match of bricks. The proposed timber cladding will differentiate the original cottage from the side extension and will improve the appearance of the building when approached from the Northwest.
- 6.10 To the front, the existing poor quality single ply canopy above the entrance door will be replaced with a high-quality metal canopy, enhancing the overall appearance of the entrance to the cottage.

Impact on Conservation Area and Listed Buildings adjacent

The site is well-screened from trees and hedges around the boundaries. Moreover, it is considered that the proposed alterations will enhance the appearance of the building and are unlikely to cause adverse impact to the Steeles Farmhouse or Ashmansworth Conservation Area.

Heritage Asset	Heritage Significance	Impact of Proposal
Composition and setting of the High Street	High Grouping and position in the street scene is an important part of its listing.	Preserved The setting and street scene remains unaffected by the proposals.
Character of the Conservation Area	High The site is well-screened from the road.	Preserved The proposed works to the rear and side elevations will improve the appearance of the building by reinstating original architectural features. The proposed addition of timber cladding to the Northwest elevation will enhance the appearance of the building by hiding poorly executed garage conversion. The proposed work to the rear of the building is not visible from public vantage points. The character of the Conservation Area is preserved.

The Ashmansworth Conservation Area Appraisal identifies two important long-distance views (see image below). The proposed alterations to the rear and side elevations won't be visible. The alterations to the Northwest elevations are considered to improve the long distance view from the road towards Burnies House.



8 Amenity

The application site is secluded and well screened from neighbouring properties by trees and hedging, plus the distance between dwellings is substantial. The proposed alterations will not result in loss of amenity to neighbouring properties.

9 Flood risk

The Environment Agency Flood Map identifies the application site as being in Flood zone 1, low probability of flooding.

10 Ecology

No ecological habitats are identified as being impacted by the proposals.

11 Arboriculture

There are no proposed works that impact trees or hedging on or adjacent to the site.

12 Access & Highways

The property is accessed via the main road leading to Ashmansworth. The approach to the property will be unchanged.

Arrangements for waste and recycling collection will remain unchanged.

13 Conclusions

13.1 The proposed alterations to the existing elevations will be of high-quality architectural design that respects the character of the setting and aim to reinstate the original character of the Burnies House.

13.2 The proposed alterations are unlikely to cause any detrimental impact to the Conservation Area, to the setting of adjacent listed buildings or to neighbouring properties.

13.3 The proposed alterations are modest and will mitigate adverse impacts of previous modern additions. The proposed works provide the opportunity to improve the appearance of the house providing a long-term family home. As such, it is respectfully requested that the application for planning approval is granted.