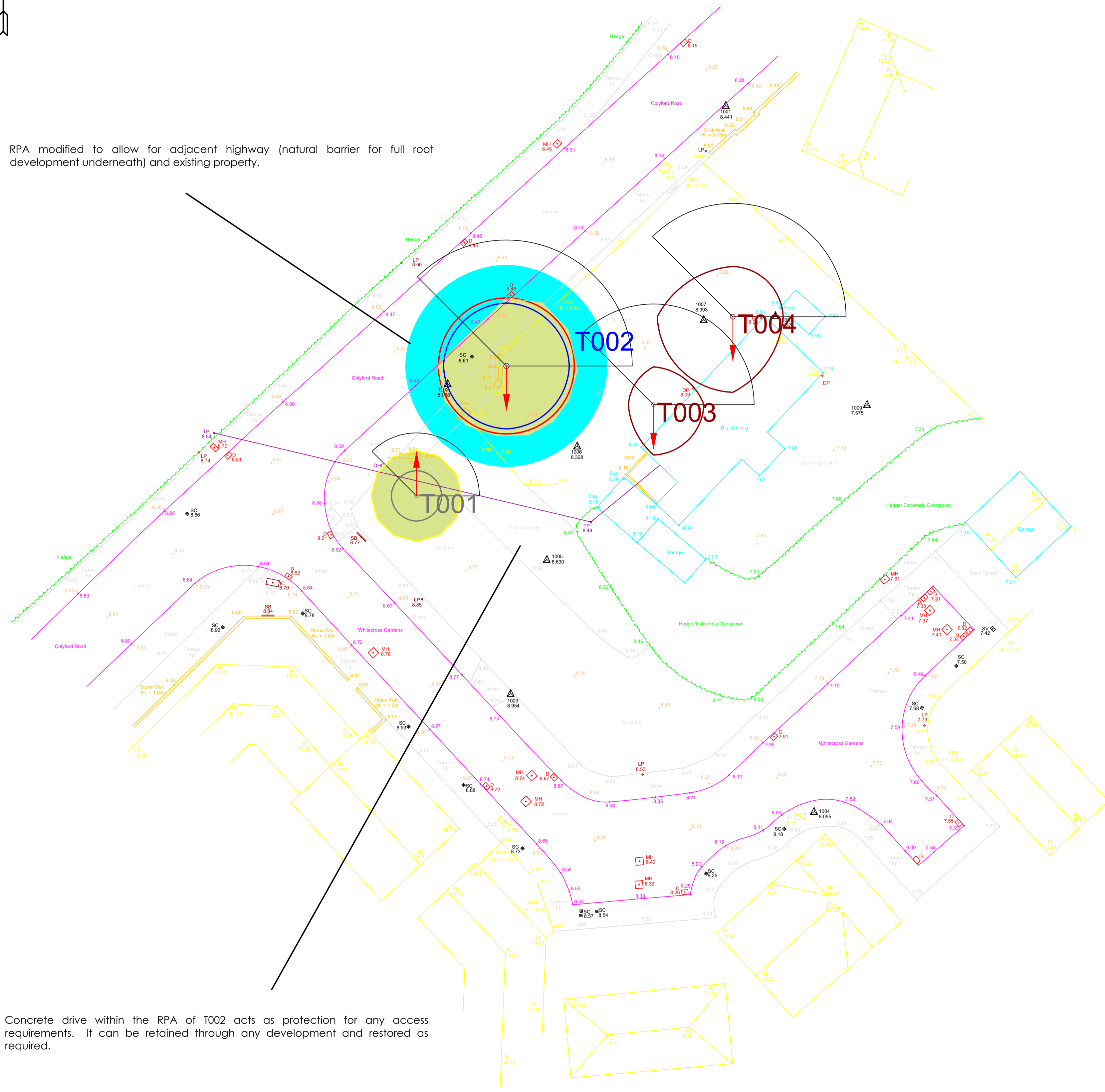


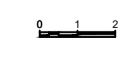
Tree appraisal plan 1 of 1



RPA modified to allow for adjacent highway (natural barrier for full root development underneath) and existing property.



Concrete drive within the RPA of T002 acts as protection for any access requirements. It can be retained through any development and restored as required.



Information for designers

All drawings are subject to Copyright. All dimensions and sizes to be verified by the Contractor on site. No dimensions are to be scaled from this drawing. Contractors must work to figured dimensions only. All dimensions are in metres unless otherwise stated. This drawing is originally in colour and a monochrome copy cannot be relied upon.

Drawing No. 22.10812.1.TAP

Drawn by: SP Checked by: HN
Date: 07.06.23 Date: 07.06.23

Date Revisions

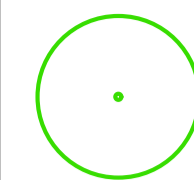
Devon Tree Services Ltd
Little Acre
Ipplepen
Newton Abbot
TQ12 5TR
Tel: 01803 814041

Site/Project
Whitecross

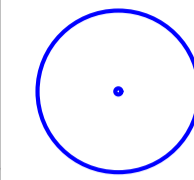
Client
Mrs F Gardner

Drawing Title
Tree appraisal plan

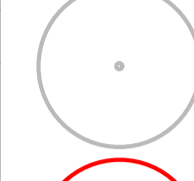
Date 07.06.23 Scale 1/200 at A1



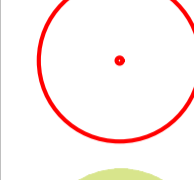
'A' Category: The most important trees considered as a material constraint. This may include veteran or ancient trees which are particularly important. 'A' trees should be retained unless there are no viable options because the LPA will consider them of highest importance when deciding the full application. If removed, very good justification and, substantial well considered mitigation planting is needed.



'B' Category: Important trees also considered as a material constraint. Ideally to be retained but sometimes development will not be possible without their removal but it should be kept to a minimum and well designed mitigation planting provided.



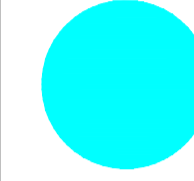
'C' Category: In our opinion, it is reasonable to assume these trees could be removed because they are very small, low/poor quality/health, are causing damage/inconvenience or their removal will provide tree management benefits.



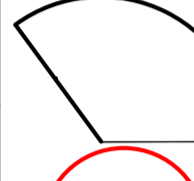
'U' Category: Unsuitable for retention because they are dead, in irreversible decline or have irreparable structural issues.



Default Root Protection Area (RPA). Using stem diameter, this is the default area where roots should be protected. For new development, this area should be avoided as far as possible for retained trees. Excavation is not permitted in this area but it may be possible to use bespoke construction methods in some instances. Contact Devon Tree Services for further information.



Recommended development free zone (no dwellings or buildings in this area but roads and paths may be possible). This area provides space for things like new tree growth or other tree related issues that are likely to be problematic to the construction process or end users of the development.



Predicted shade based on current tree canopy heights and spreads during the main part of the day. We recommend avoiding placing residential dwellings within shaded areas or having substantially shaded gardens as much as possible because it can be considered as a negative impact by the LPA.



Theoretical RPA as recommended within 5837.

General considerations for design

Dwellings and Trees: Orientate plots so tree canopies are well away from dwellings allow 5 metres between the canopy tip and dwelling for mature trees as a minimum. If large tree groups are retained, consider making them part of open space and try to avoid including them into gardens of dwellings.

Construction Process: Provide sufficient space for the construction process. The position of contractor car parking, storage of materials, and provision of adequate working space should fall outside the RPA where possible.

Tree Schedule

BS5837 Report

Mrs F Gardner
Whitecross Gardens



Retention Category	No. trees
B	1
C	1
U	2
Total	4

Ref.	Species	Full Structure	What 3 Words	Measurements	Survey Notes	Retention Category	RPA	Phys. Condition	Str. Condition	Recommendations
T001	Common Walnut (Juglans regia)	Tree	///nightly,ant anxiety, file	Height (m): 5 Stem Diam(mm): 300 Spread (m): 2N, 2E, 2S, 2W Crown Clearance (m): 1 Lowest Branch (m): 1(N) Life Stage: Semi Mature Rem. Contrib.: 10+ Years		C1	Radius: 3.6m, Area: 41 sq m.	Fair	Fair	
T002	Pedunculated Oak (Quercus robur)	Tree	///anchorman, forcing, intere, xtual	Height (m): 10 Stem Diam(mm): 450 Spread (m): 5N, 5E, 5S, 5W Crown Clearance (m): 3 Lowest Branch (m): 2.5(S) Life Stage: Semi Mature Rem. Contrib.: 10+ Years	Minor thinning to canopy with major and minor deadwood visible.	B1	5.4m. RPA. Area: 92 sq m	Fair	Fair	
T003	Common Ash (Fraxinus excelsior)	Tree	///haggles, co, rdinator, soppo	Height (m): 8 Stem Diam(mm): 300 Spread (m): 3N, 4E, 4S, 2W Crown Clearance (m): 3 Lowest Branch (m): 3(S) Life Stage: Young Rem. Contrib.: <10 years	Thinning canopy and die back	U	No RPA due to Retention Category of U.	Poor	Fair	Remove tree.
T004	Common Ash (Fraxinus excelsior)	Tree	///howly, like, st, publistic	Height (m): 9 Stem Diam(mm): 400 Spread (m): 4N, 4E, 4S, 6W Crown Clearance (m): 3 Lowest Branch (m): 3(S) Life Stage: Young Rem. Contrib.: <10 years	Thinning canopy and die back	U	No RPA due to Retention Category of U.	Poor	Fair	Remove tree.

Purpose and Limitations

Purpose: This appraisal is the first phase of tree related input and provides an overview of tree quality on site. It is designed to provide general guidance on how layout design and trees can work together. The tree survey method makes reference to BS5837:2012 (Trees in relation to design, demolition and construction - Recommendations).

Tree constraints: This is subjective so the LPA may disagree with elements of our assessment.

Assessment of the potential influence of trees upon buildings or other structures resulting from interaction with shrinkable soils is excluded and soil type is not assessed. **All dimensions including the crown spread and tree heights have been estimated.** Please bear in mind that the condition of trees can change following severe weather conditions, the effects of diseases or pests, and other abiotic factors so the accuracy of this report decreases as time passes. This is valid for 12 months from the date of site inspection. **No trees have been tagged.**