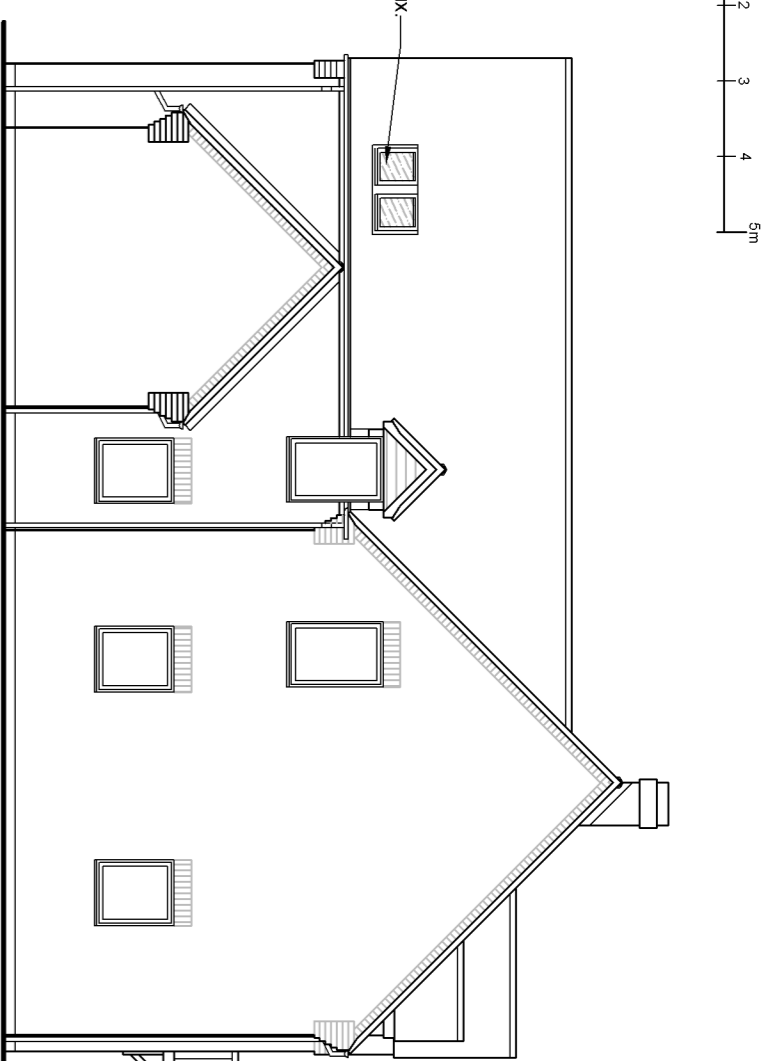
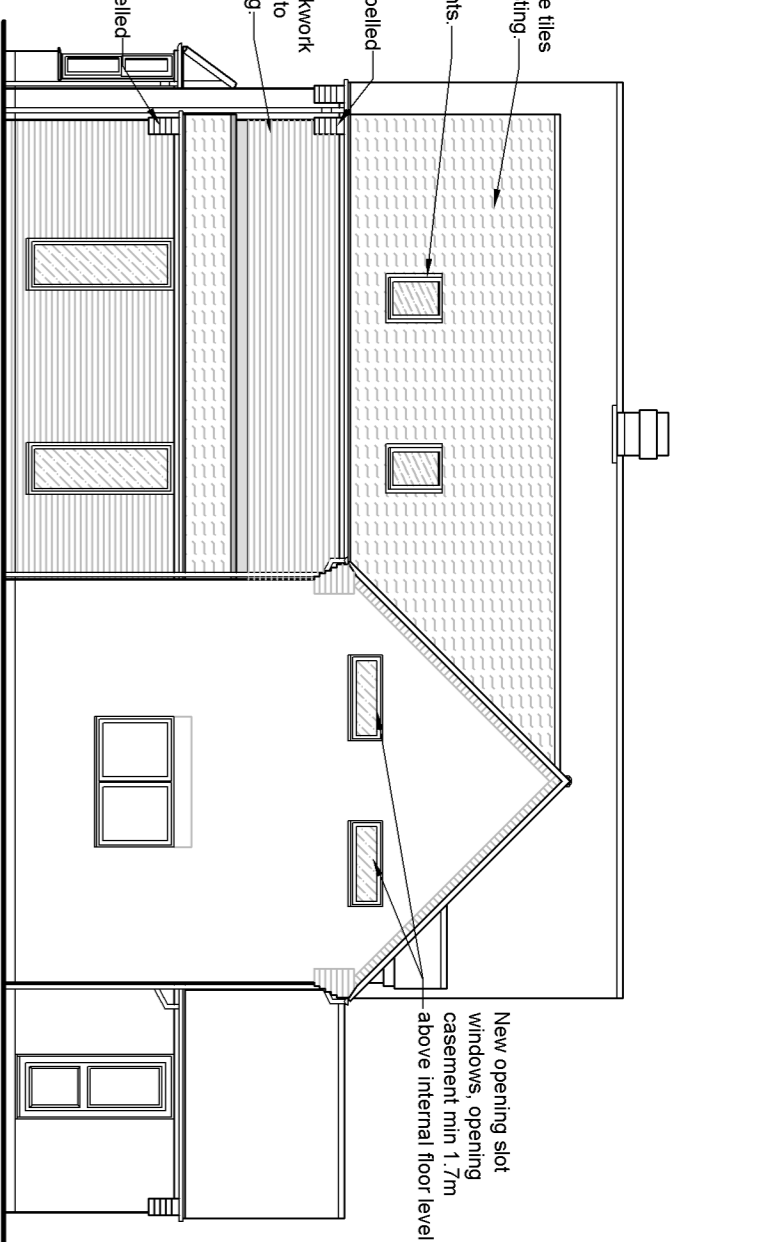


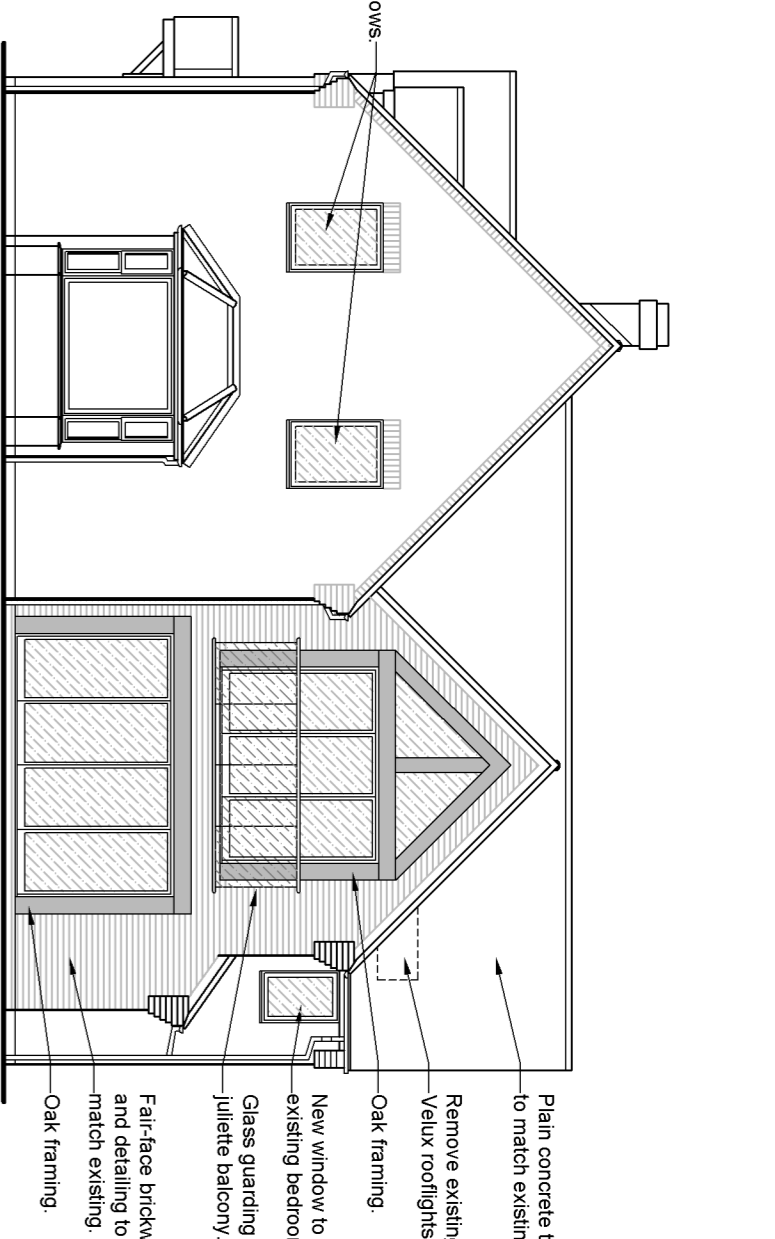
PROPOSED FRONT ELEVATION  
Scale 1:100



PROPOSED LEFT SIDE ELEVATION  
Scale 1:100



PROPOSED REAR ELEVATION  
Scale 1:100



PROPOSED RIGHT SIDE ELEVATION  
Scale 1:100

**NOTES:**

All work, including all demolition work and excavation work, to be carried out in accordance with the relevant Building Regulations, Health & Safety legislation, BS Publications, trade manufacturer literature and any requirements of statute or the local authority.

Note: All existing beams, lintels etc. where appropriate to be opened up and inspected for adequacy to take additional loading and upgraded as necessary to the satisfaction of the building inspector.

**Notes:**

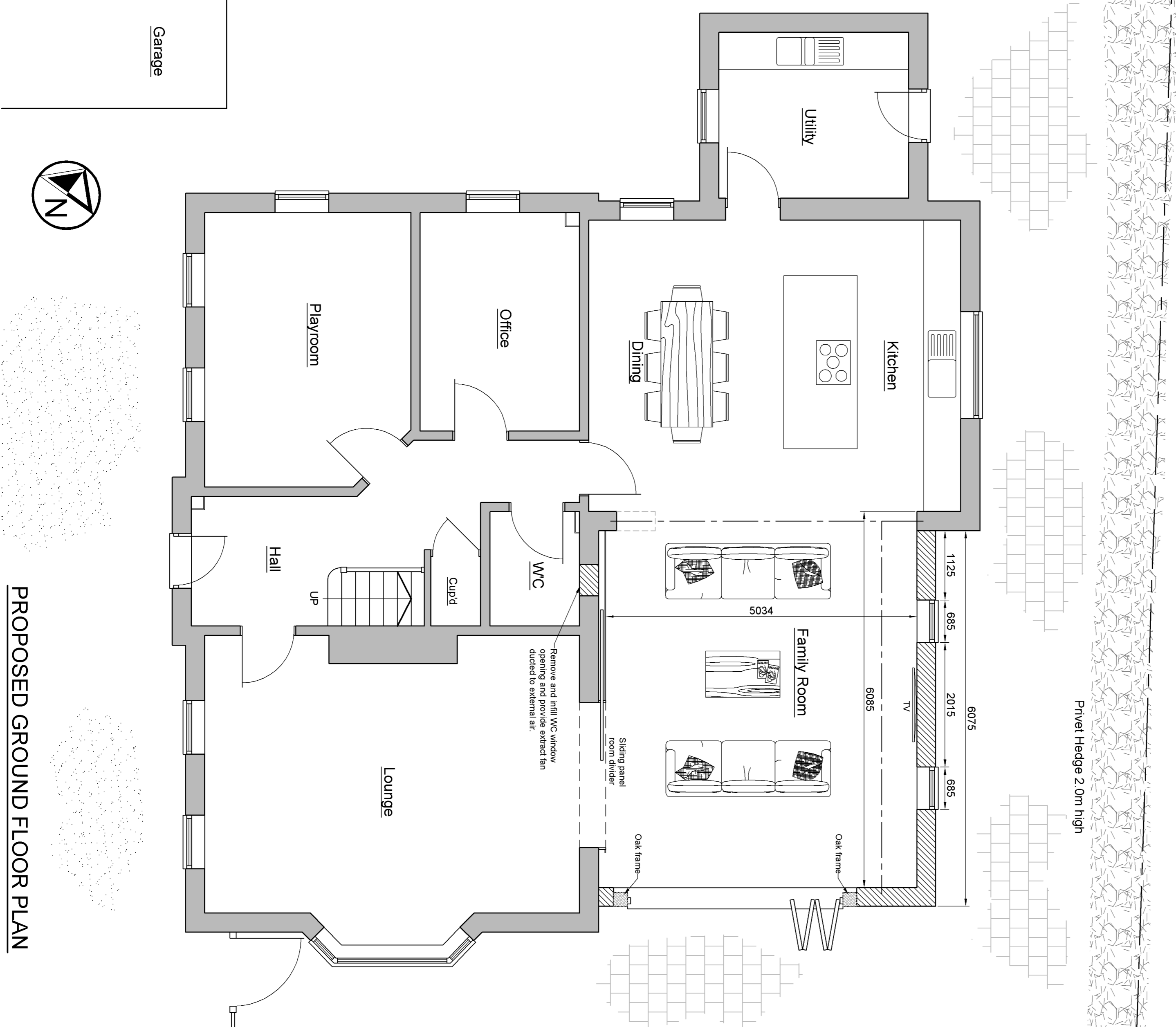
Figure dimensions to be read in preference to scaled dimensions at all times. Dimensions specified (h.o.c.) these are considered critical to setting out of structure and the contractor is to check conditions/levels etc before and as work proceeds.

Dimensions for finishes (unless otherwise stated) are structured, e.g. from brickwork to internal finish, and allowances should be made where necessary for internal finishes.

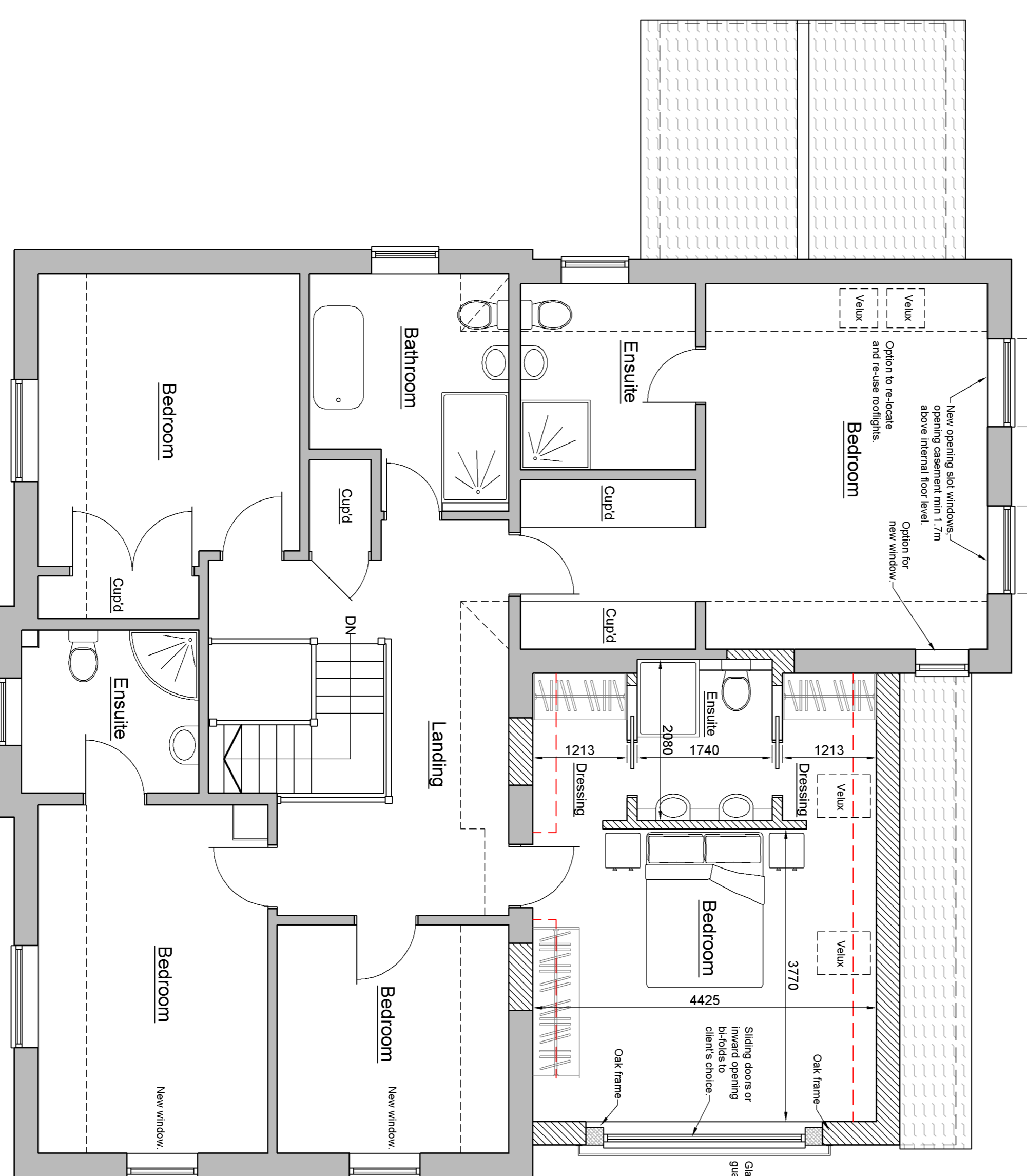
All external materials to match existing unless specified otherwise with samples to be sourced and approved by client prior to commencement of work.

This drawing to be read in conjunction with all other relevant information whether produced by this company or by others.

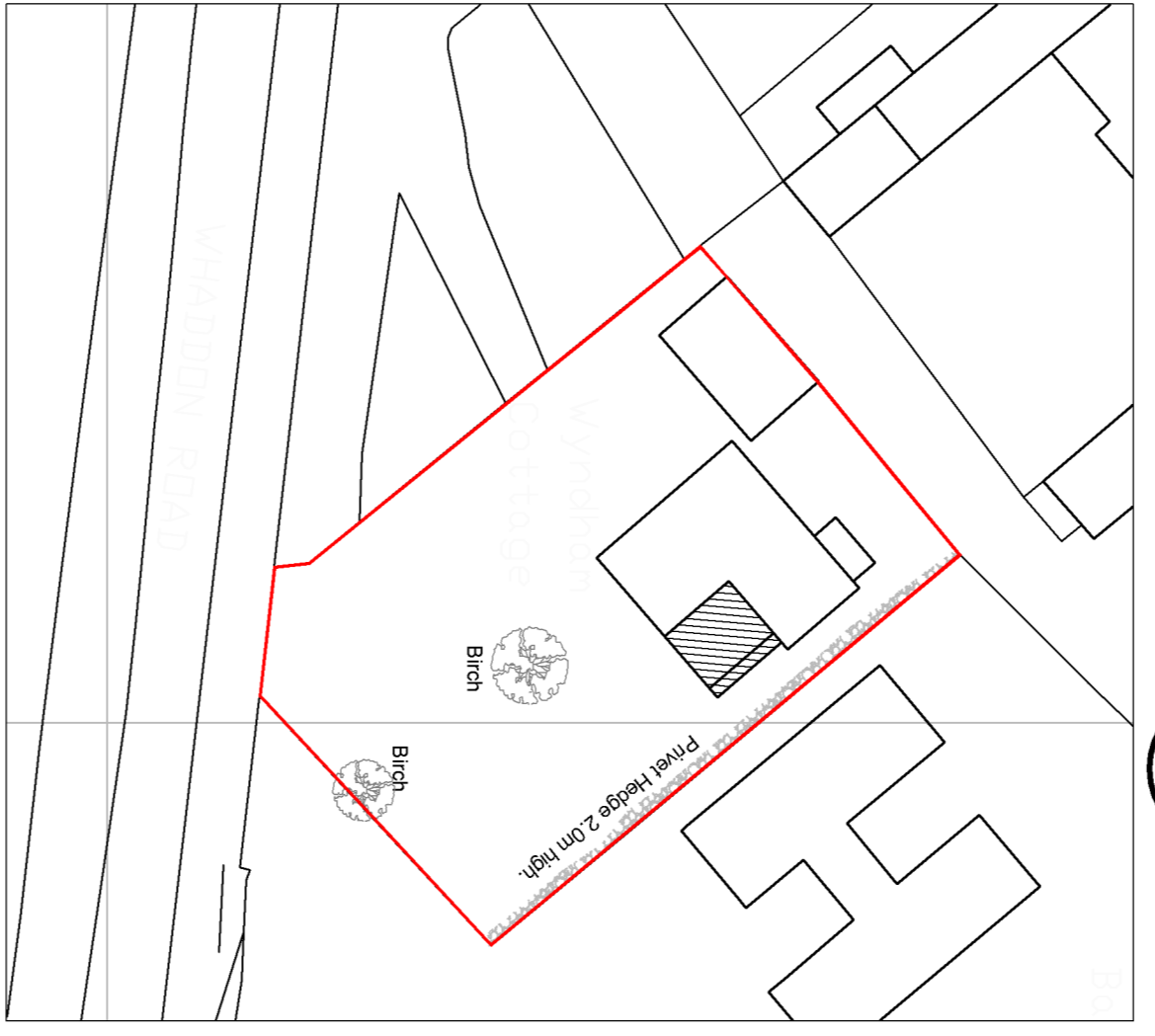
Note: Planning Permission and Building Regulations approval does not constitute an endorsement by the architect of the contractor's work or liability with this act prior to commencement of any building/renovation works and no liability is accepted by this company for the failure of the property owner to meet the requirements or provisions contained therein.



PROPOSED GROUND FLOOR PLAN  
Scale 1:50



PROPOSED FIRST FLOOR PLAN  
Scale 1:50



PROPOSED SITE PLAN  
Scale 1:500

**A1 Drawing**

<b>Project:</b> Two storey extension Wyndham Cottage Whaddon Road Newton Longville MK17 0AU		
<b>Title:</b> Proposed Site Plan, Elevations & Floor Plans		
<b>Scale:</b> 1:50 / 1:1250	<b>Date:</b> Feb 2024	<b>Drawn:</b> MD
<b>Job No.:</b> MD 1979	<b>Rev.:</b>	
<b>Drawing No.:</b> 02 PL		
<b>Mirammar Design Ltd</b> 8 Short Hale Pitstone Bucks LU7 9FF office@miramardesignltd.co.uk 01296 663888 / 07852 278756		