

NOTES:
 Copyright in all documents prepared by the architect and any works executed from these documents and drawings, shall unless otherwise agreed, remain the property of the architect and must not be reproduced by, lent or disclosed to, a third party without the written consent of Good and Tillotson.

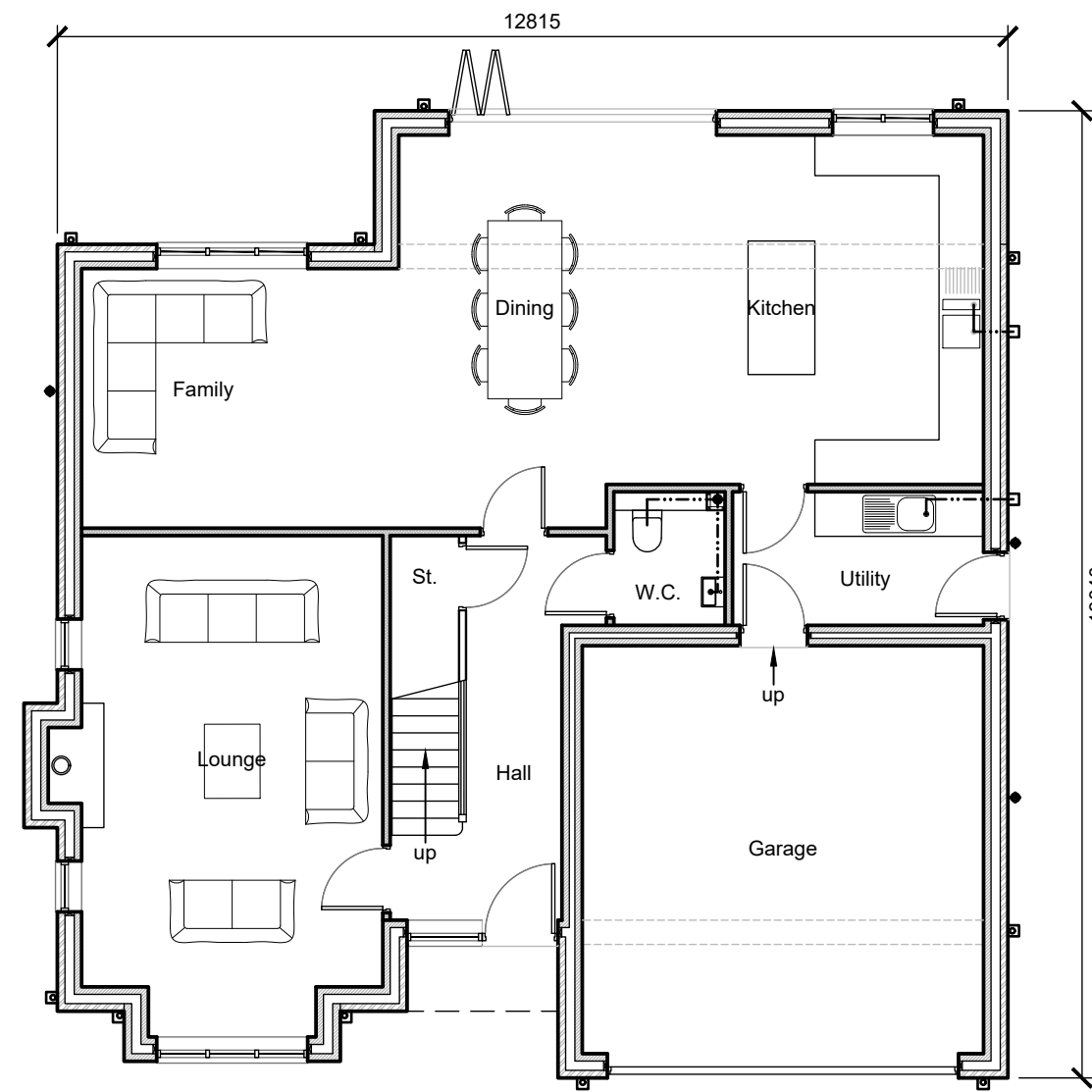
DO NOT SCALE OFF THIS DRAWING.
 All dimensions to be checked on site and any discrepancies to be referred to the architect before proceeding.

ALL LEVELS TO BE CHECKED ON SITE.
 All discrepancies between information shown on the drawings and the information in the specification to be referred to the architect before proceeding.

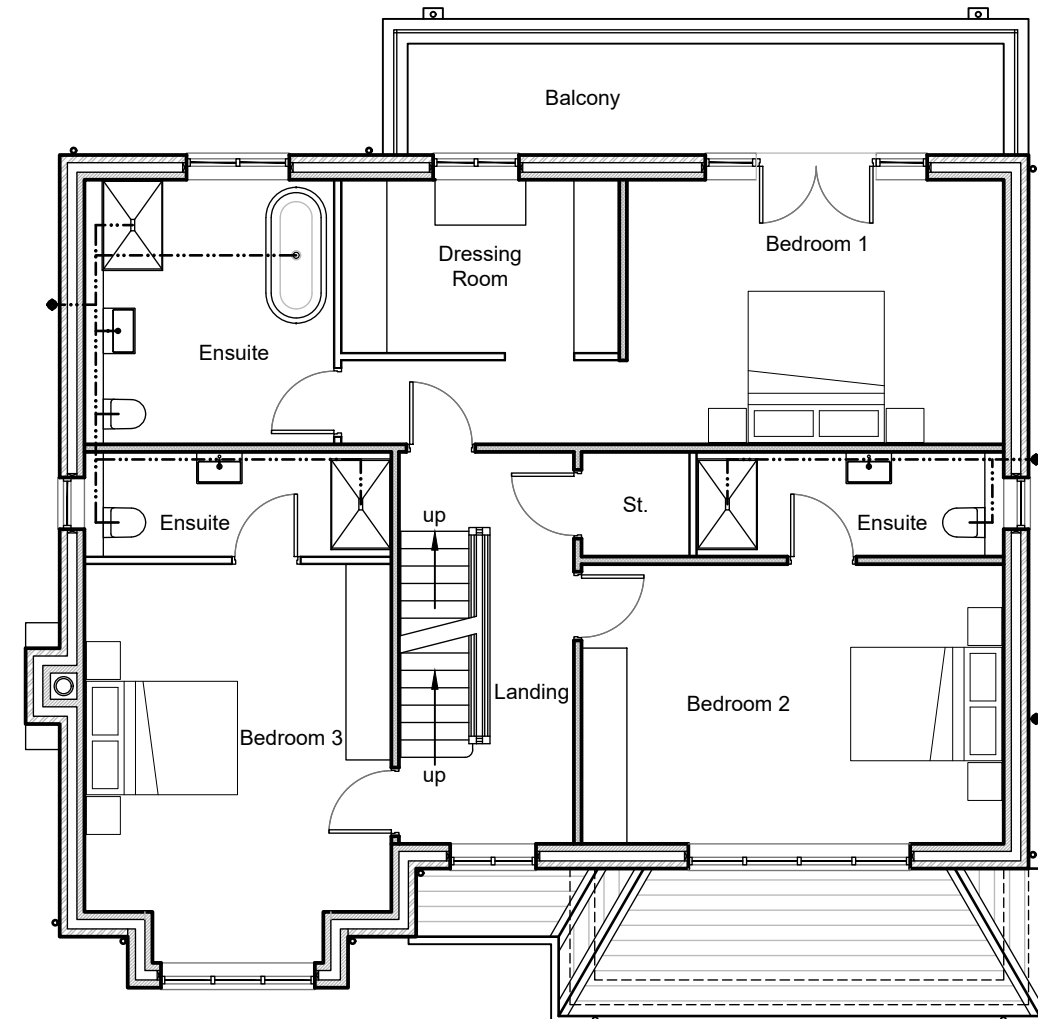
All component sizes and references to be checked prior to the ordering of materials.

Positions and designation (i.e. combined, surface water or foul) of existing drain runs on site are to be checked / confirmed by the building contractor prior to commencement of any drainage works. Any existing drains, to which additional connections are to be made, are also to be checked as necessary to ensure they are suitable to accommodate additional capacity and the type of effluent being connected.

All relevant boundary positions are to be checked prior to proceeding.



Ground Floor Plan
Plot 1



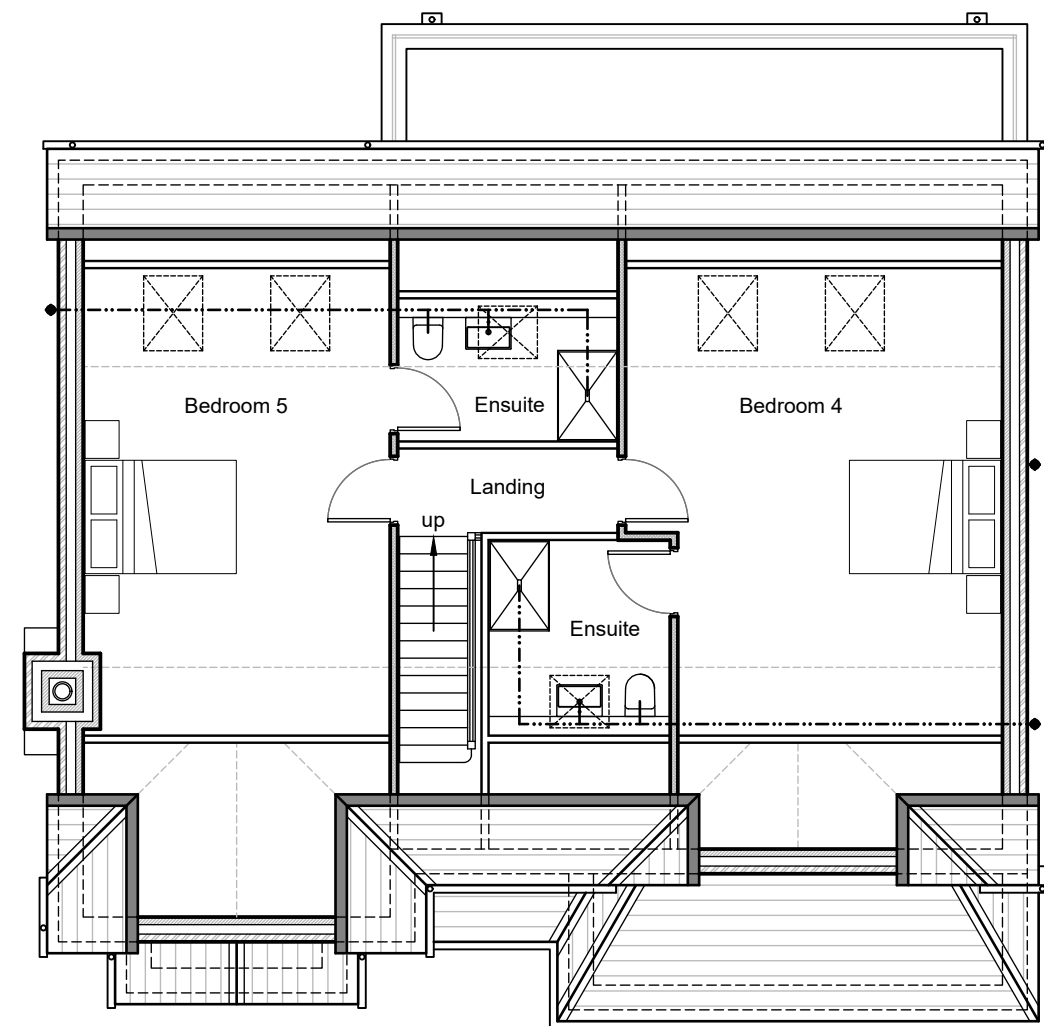
First Floor Plan



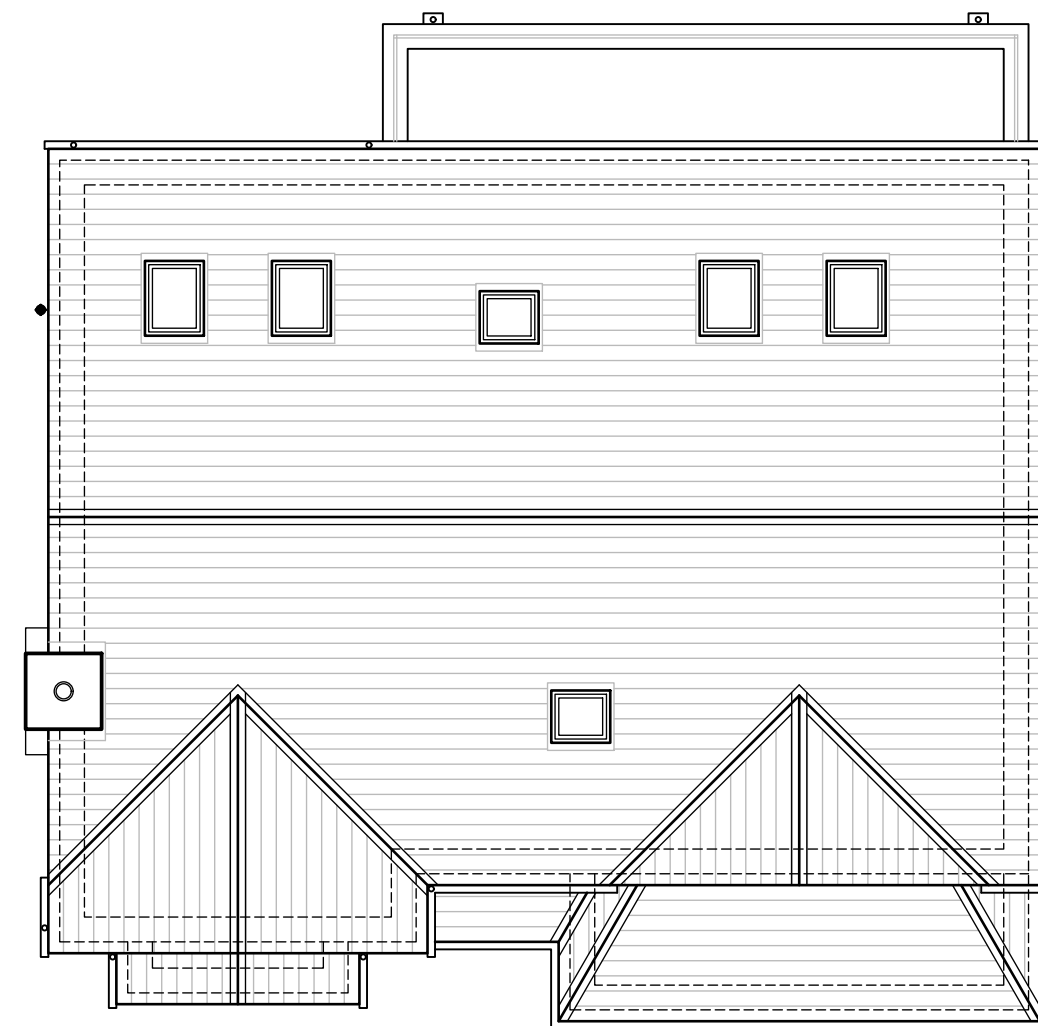
Front Elevation (South West)



Side Elevation (South East)



Second Floor Plan



Roof Plan



Rear Elevation (North East)



Side Elevation (North West)

A External Finishes Clarified / Garage Personnel Door Omitted JLC 20.02.24

Rev Revision Int. Date

Client

Lancashire Developments Ltd

Project

Proposed Residential Development

Location

Land at:
Green Common Lane
Westhoughton
Bolton

Good & Tillotson Chartered Architects

2 The Studios,
318 Chorley Old Road,
Bolton,
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Drawing Title

Proposed Plans & Elevations
Plot 1

G&T Job No: Scale: Drawn: Checked: Date:

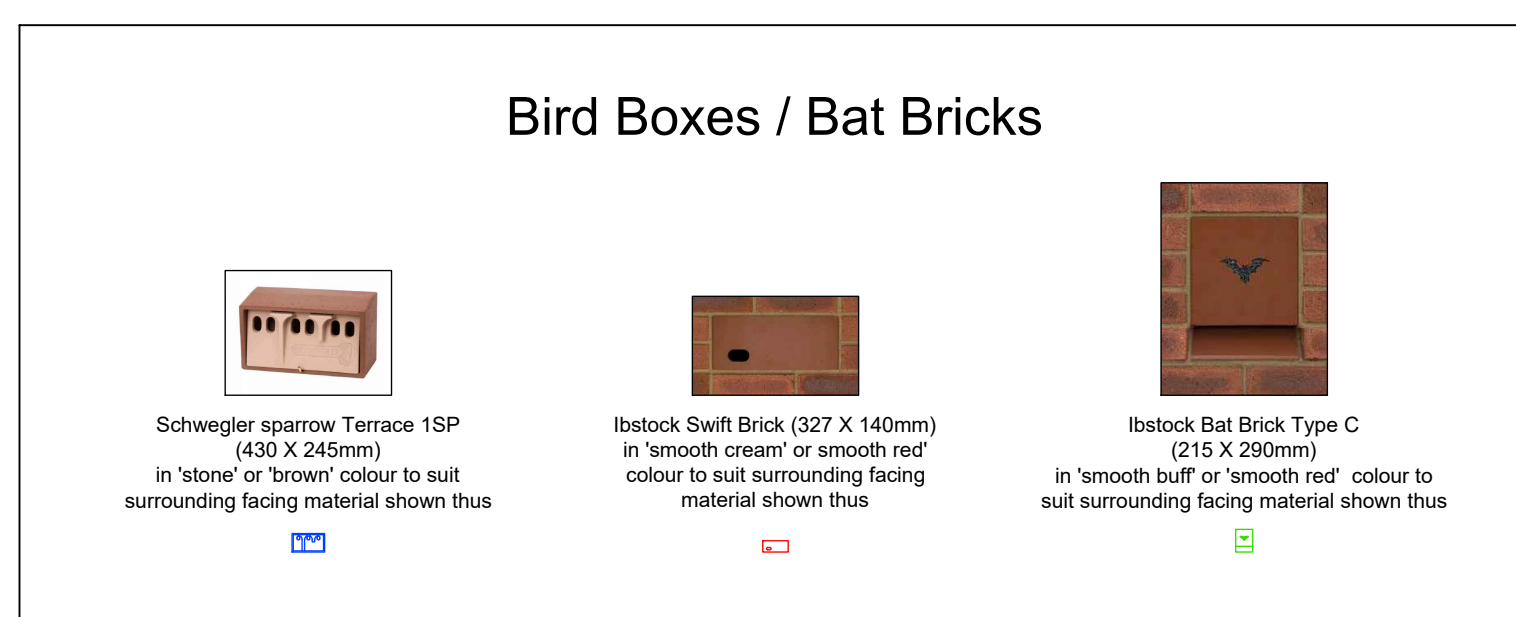
2270 1:100 @ A1 - JLC 01.03.23

Drawing Purpose: Status: Revision:

Scheme Drawing S4 A

BIM Project: Origin: Zone: Level: Type: Role: Dwg No:

2270-GTA-00-00-DR-A-1004



Materials	
External walls	Brickwork to be Imperial Bricks 'Country Blend' or Manchester Brick Specialists 'Mere Blend' brickwork in 75mm courses. Natural stone to be in 150mm courses.
Roof	Roof tiles to be Redland 'Richmond 10' in 'Slate Grey' colour. Integrated solar panels by Viridian Solar (or similar).
Windows	UPVC in anthracite colour.
Doors	UPVC in anthracite colour. Bi-fold doors in anthracite colour powder coated aluminium.
Roof windows	Velux GGL roof windows.
Fascias, barge boards & soffits	Upvc in white colour.
Rainwater goods	Upvc in black colour.

- Key to External Wall Finishes**
 (Note, all window heads and cills in ashlar stone)
- Window heads to be 215mm high within brickwork walls
 - Window heads to be 290mm high within ashlar and pitched face stone walls
 - Window cills to be 140mm high within brickwork and pitched face stone walls
 - Window cills to be 290mm high within ashlar stone walls

