

NOTES:
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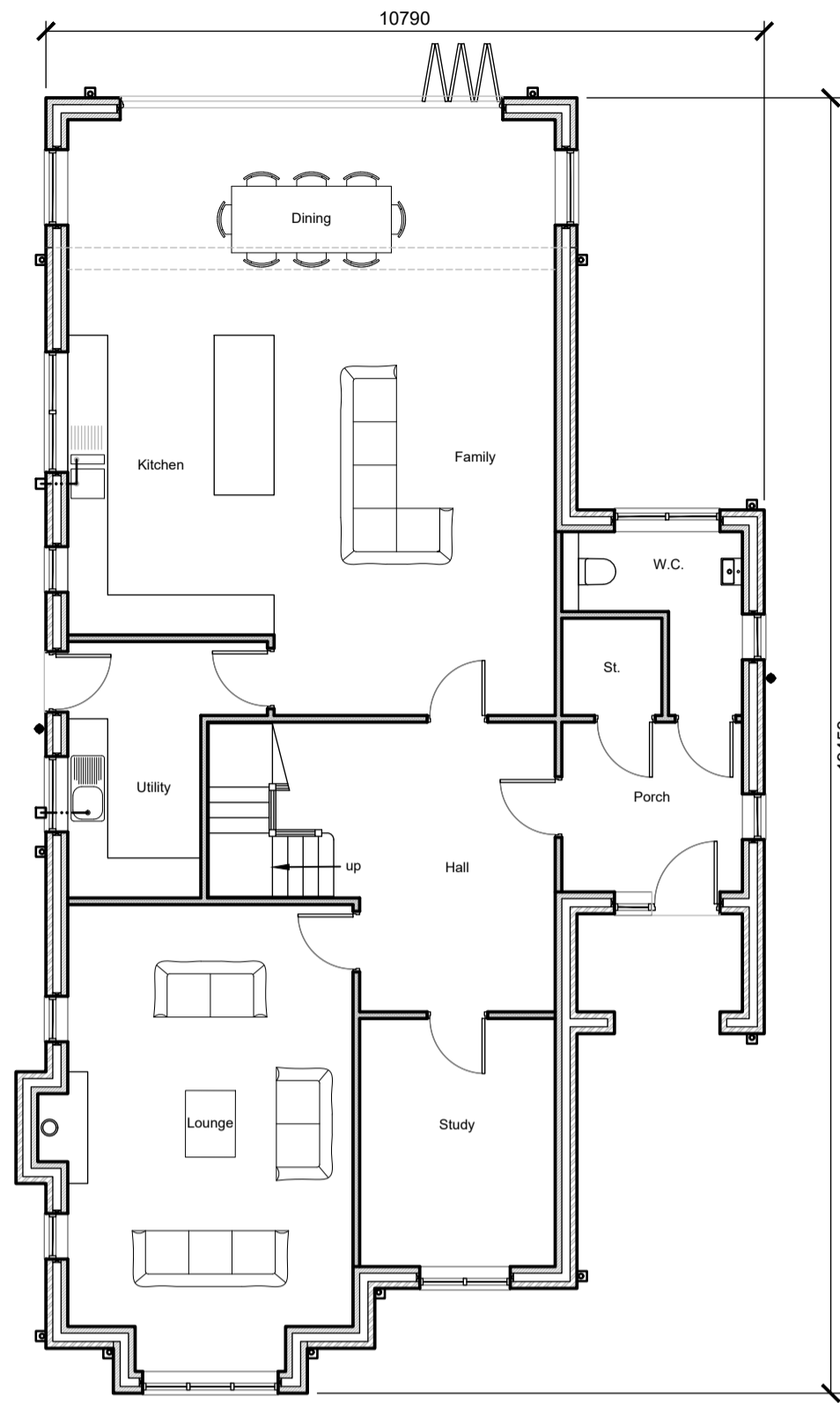
DO NOT SCALE OFF THIS DRAWING.
 All dimensions to be checked on site and any discrepancies to be referred to the architect before proceeding.

ALL LEVELS TO BE CHECKED ON SITE.
 All discrepancies between information shown on the drawings and the information in the specification to be referred to the architect before proceeding.

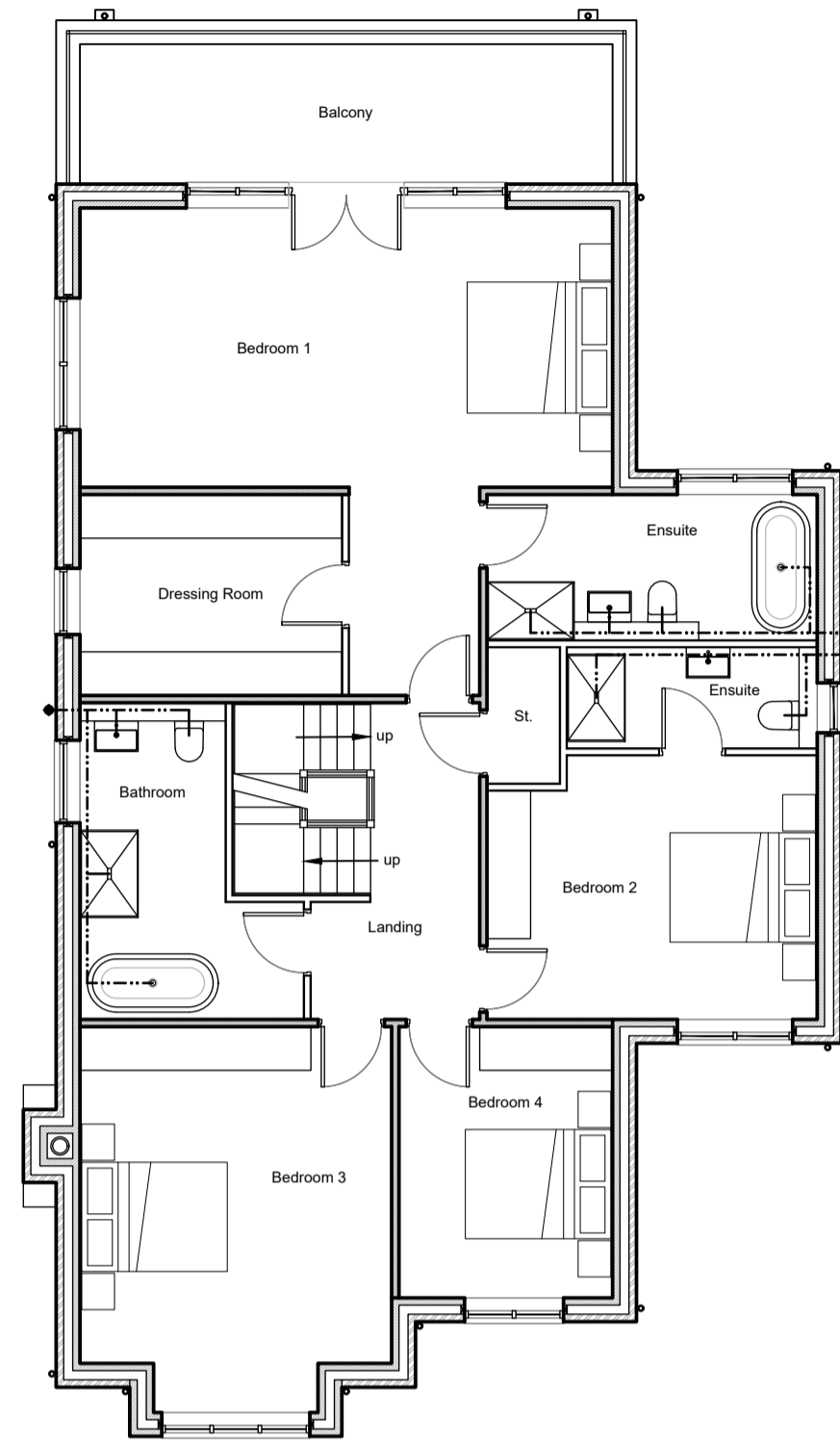
All component sizes and references to be checked prior to the ordering of materials.

Positions and designation (i.e. combined, surface water or foul) of existing drain runs on site are to be checked / confirmed by the building contractor prior to commencement of any drainage works. Any existing drains, to which additional connections are to be made, are also to be checked as necessary to ensure they are suitable to accommodate additional capacity and the type of effluent being connected.

All relevant boundary positions are to be checked prior to proceeding.



Ground Floor Plan
Plot 3



First Floor Plan



Front Elevation (East)



Side Elevation (South)



Rear Elevation (West)

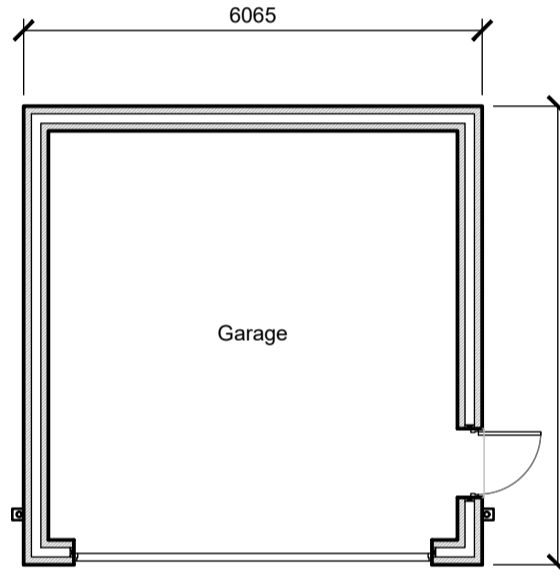
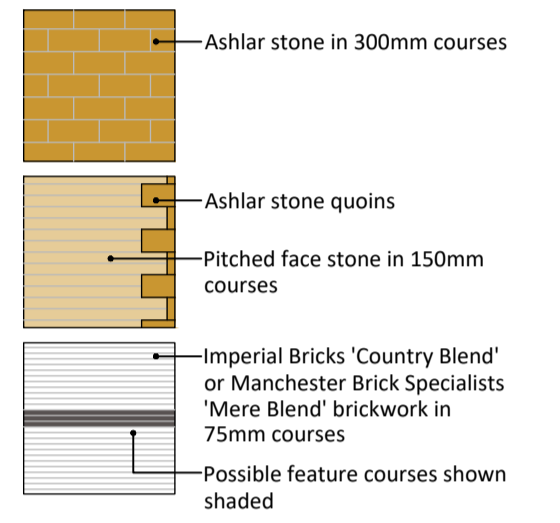


Side Elevation (North)

Key to External Wall Finishes

(Note, all window heads and cills in ashlar stone)

- Window heads to be 215mm high within brickwork walls
- Window heads to be 290mm high within ashlar and pitched face stone walls
- Window cills to be 140mm high within brickwork and pitched face stone walls
- Window cills to be 290mm high within ashlar stone walls



Ground Floor Plan
(Garage)

B External Finishes Clarified / South Elevation Window Amended JLC 20.02.24

A Personnel door added to garage JLC 26.06.23

Rev Revision Int. Date

Client: Lancashire Developments Ltd

Project: Proposed Residential Development

Location: Land at: Green Common Lane Westhoughton Bolton

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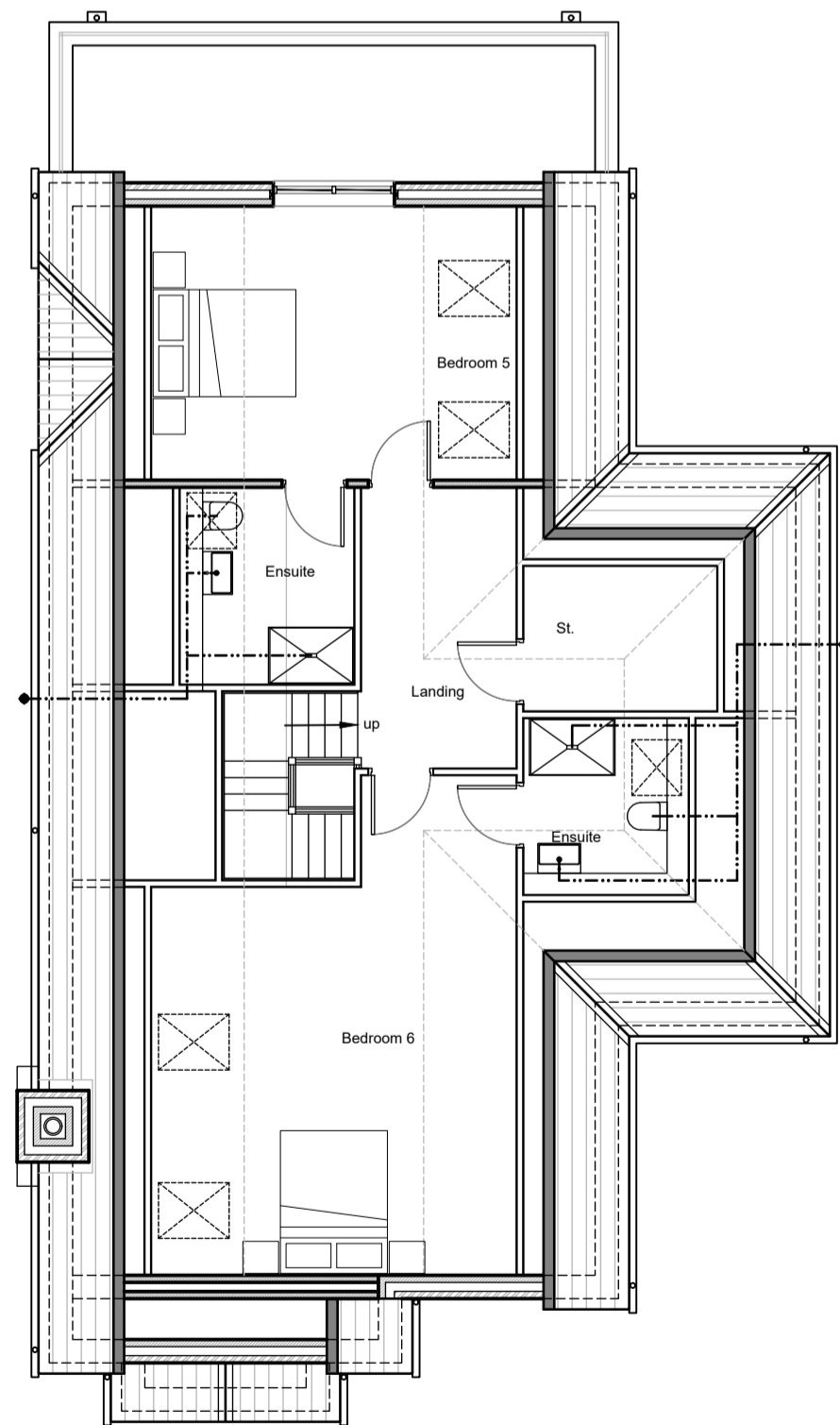
Drawing Title: Proposed Plans & Elevations Plot 3

G&T Job No: 2270 Scale: 1:100 @ A1 Drawn: - Checked: JLC Date: 01.03.23

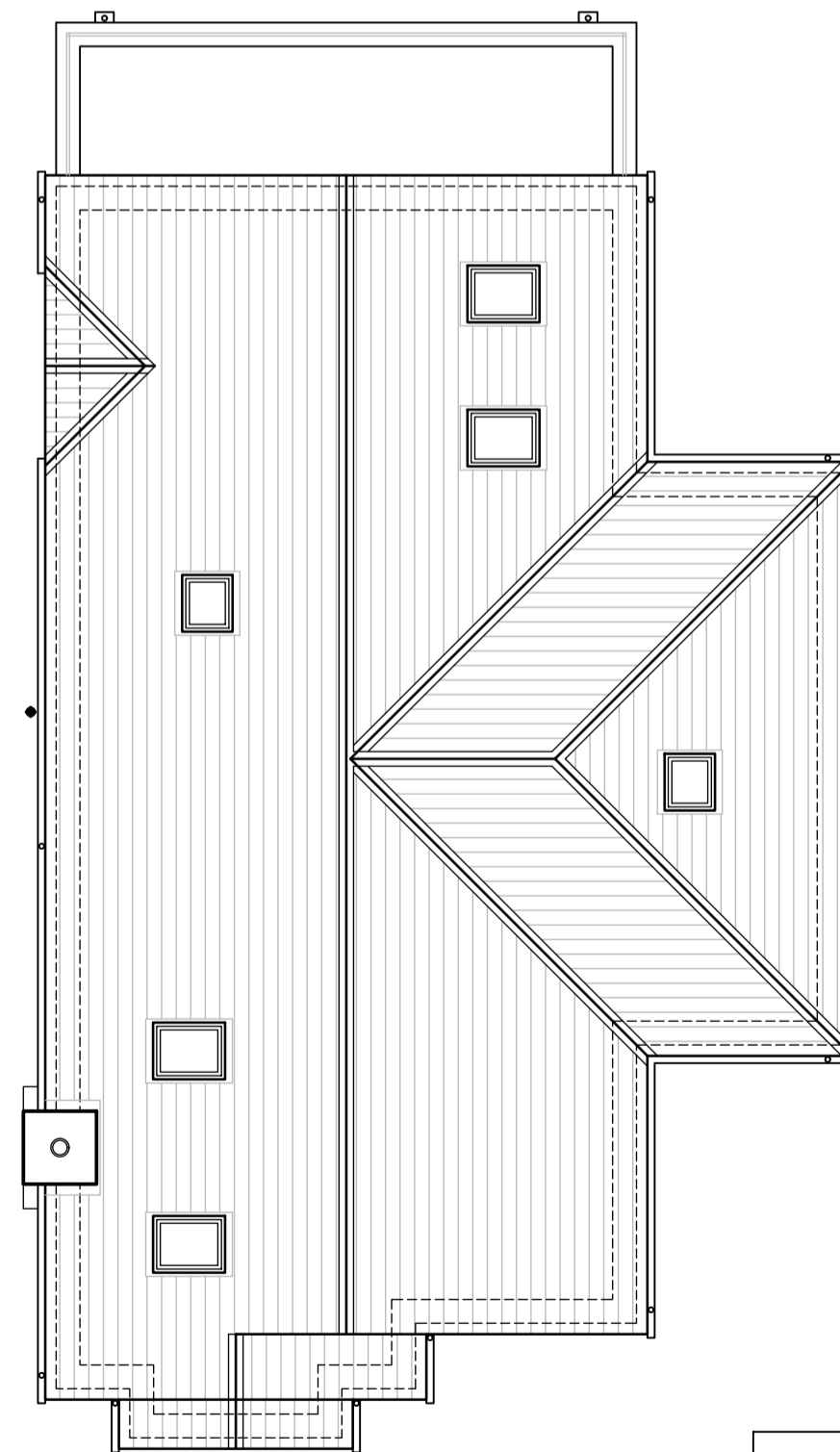
Drawing Purpose: Scheme Drawing Status: S4 Revision: B

BIM Project: Origin: Zone: Level: Type: Role: Dwg No:

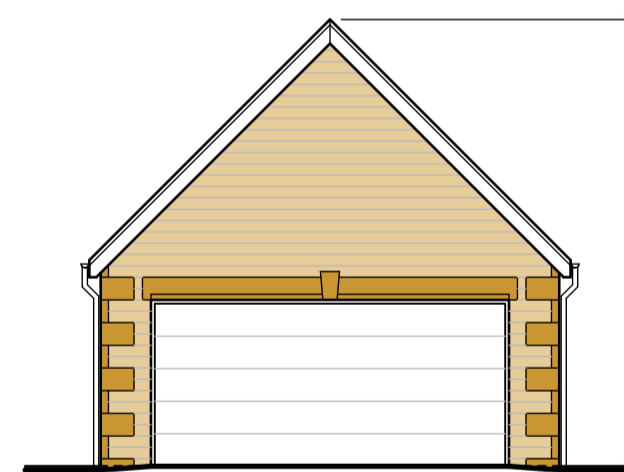
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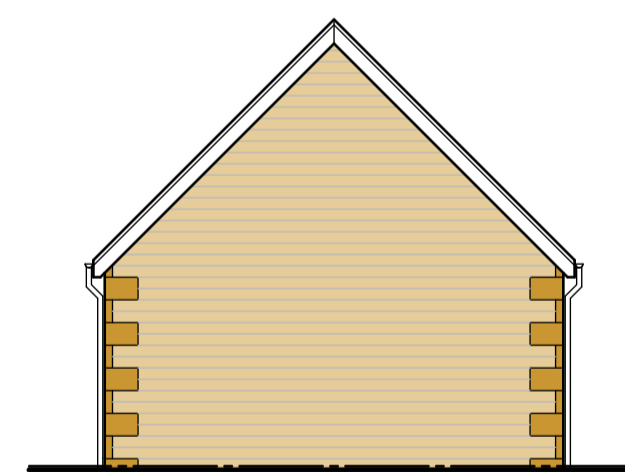
Second Floor Plan



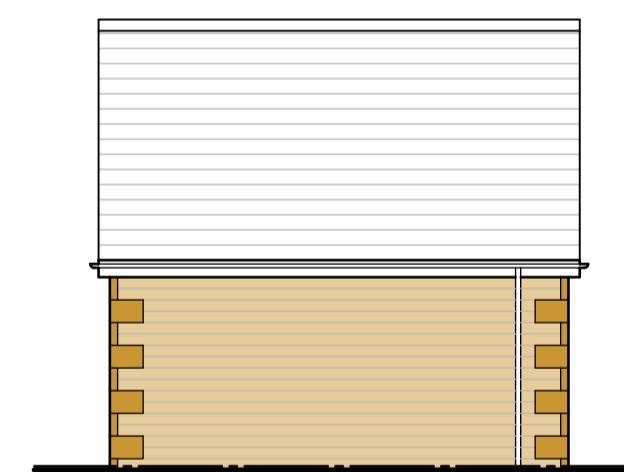
Roof Plan



Front Elevation (North)
(Garage)



Rear Elevation (South)
(Garage)




Side Elevation (East)
(Garage)




Side Elevation (West)
(Garage)


Bird Boxes / Bat Bricks



Schwegler sparrow Terrace 1SP (430 X 245mm) in 'stone' or 'brown' colour to suit surrounding facing material shown thus



Ibstock Swift Brick (327 X 140mm) in 'smooth cream' or 'smooth red' colour to suit surrounding facing material shown thus



Ibstock Bat Brick Type C (215 X 290mm) in 'smooth buff' or 'smooth red' colour to suit surrounding facing material shown thus

Materials	
External walls	Brickwork to be Imperial Bricks 'Country Blend' or Manchester Brick Specialists 'Mere Blend' brickwork in 75mm courses. Natural stone to be in 150mm courses.
Roof	Roof tiles to be Redland 'Richmond 10' in 'Slate Grey' colour. Integrated solar panels by Viridian Solar (or similar).
Windows	UPVC in anthracite colour.
Doors	UPVC in anthracite colour. Bi-fold doors in anthracite colour powder coated aluminium.
Roof windows	Velux GGL roof windows.
Fascias, barge boards & soffits	Upvc in white colour.
Rainwater goods	Upvc in black colour.