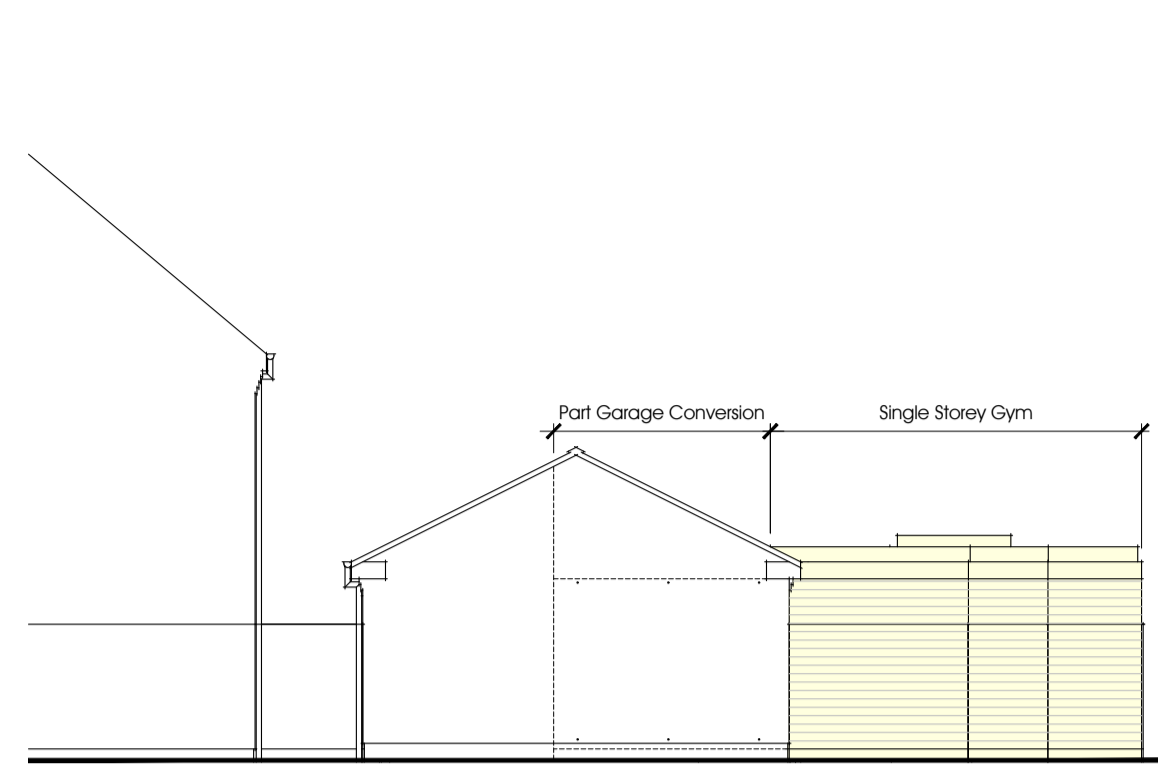
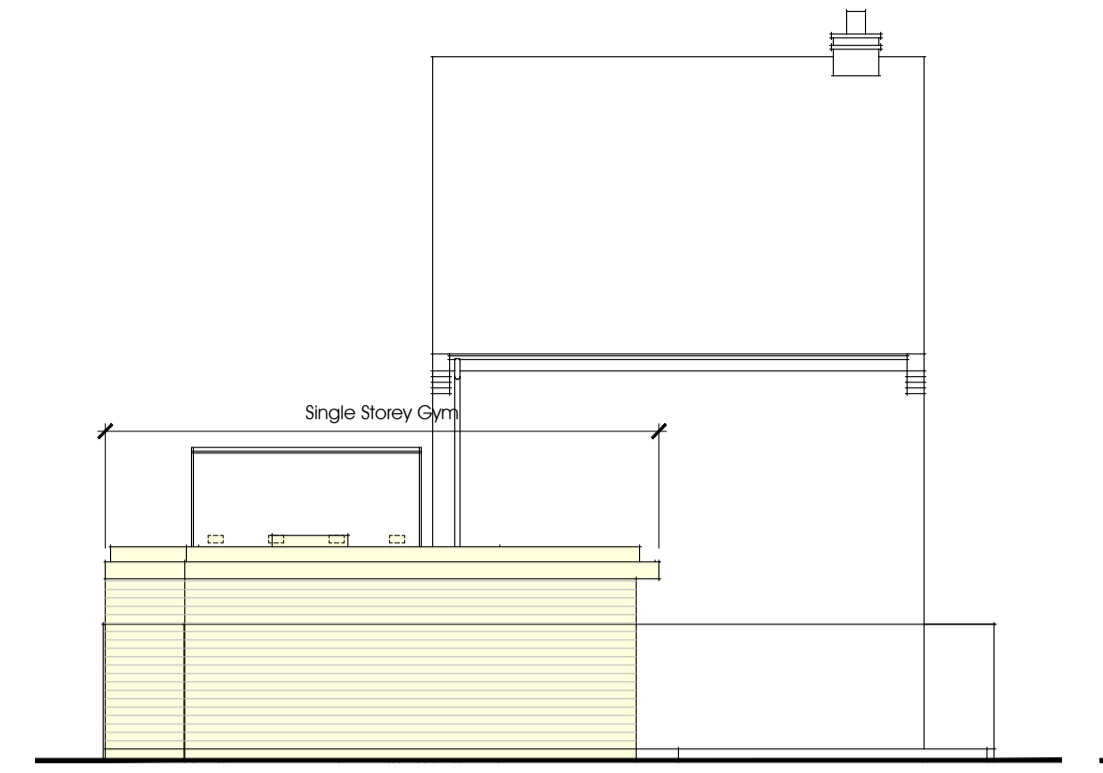


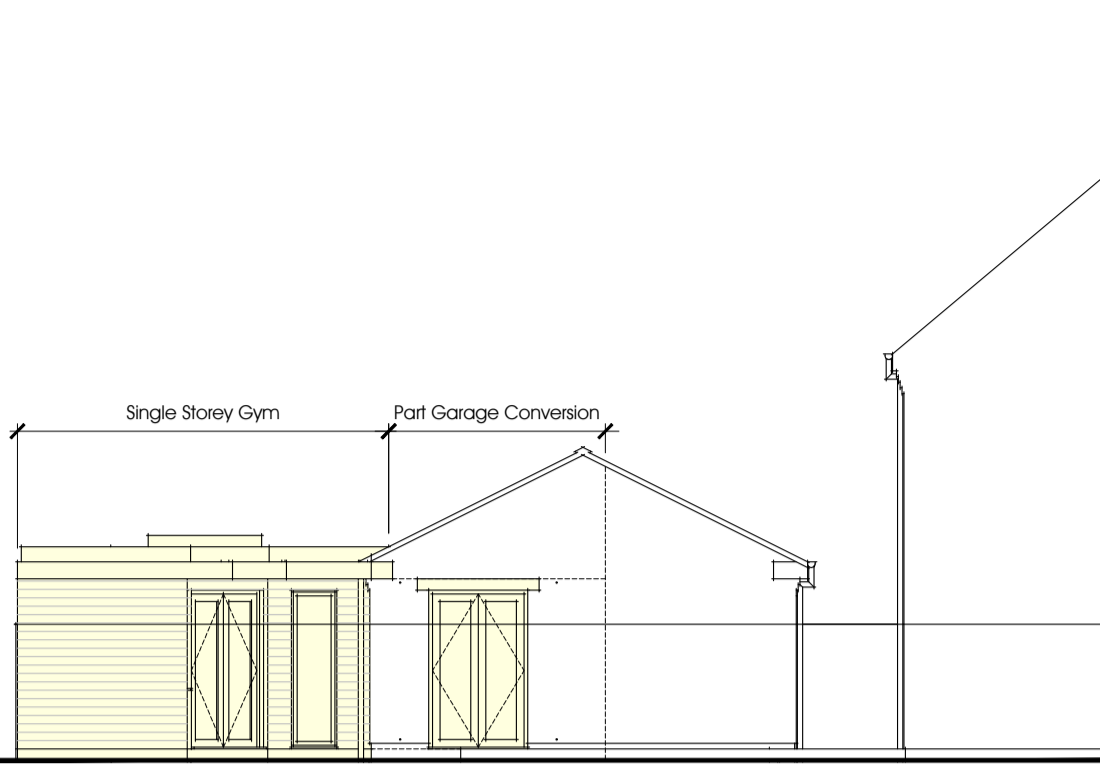
Proposed North West Elevation | 1:100



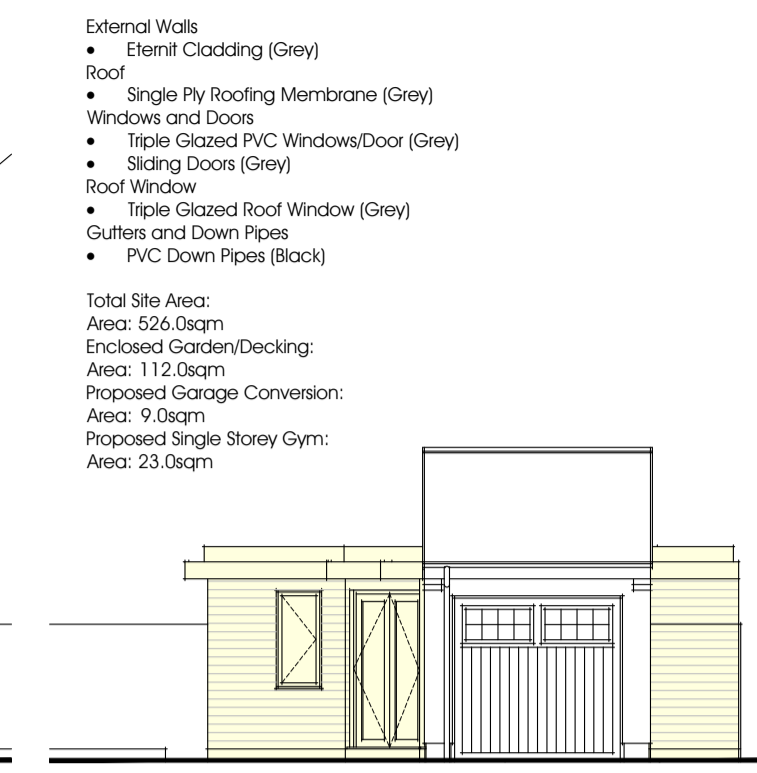
Proposed South West Elevation | 1:100



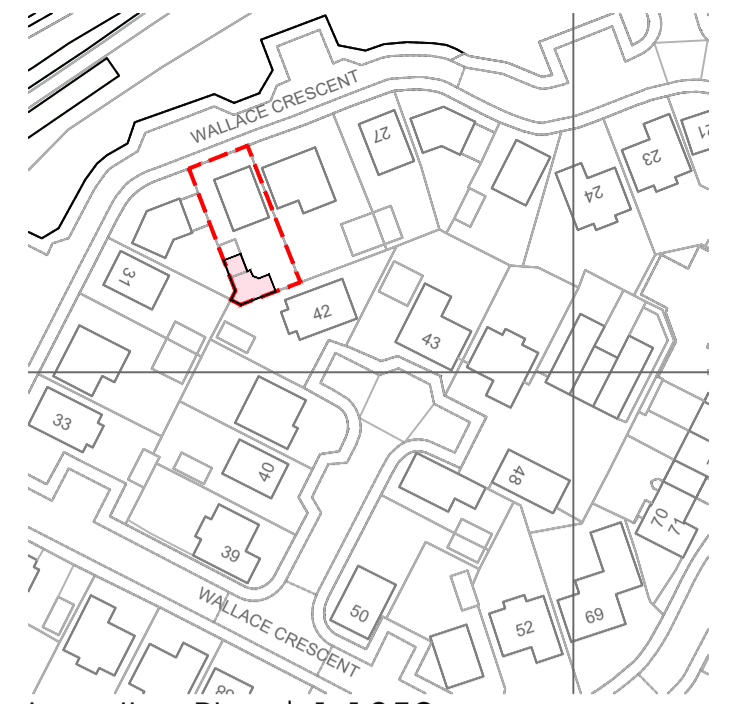
Proposed South East Elevation | 1:100



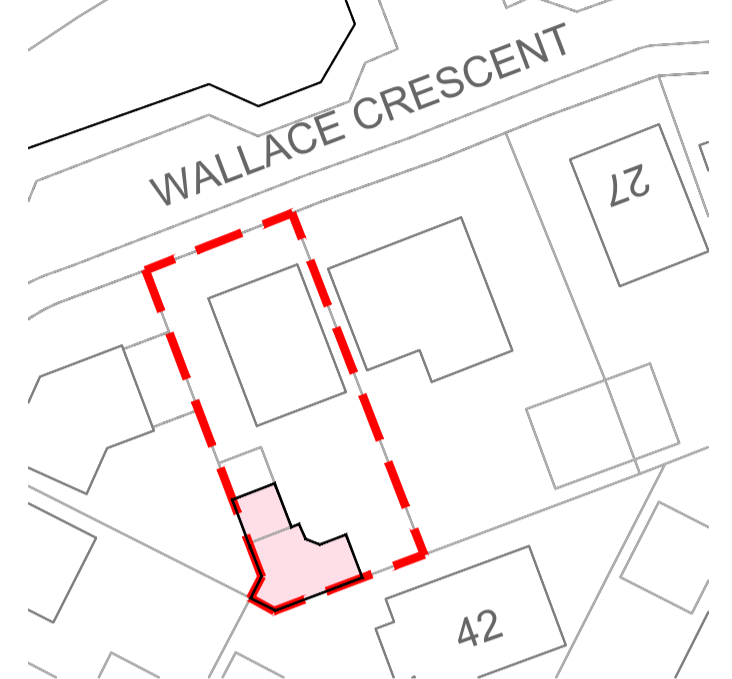
Proposed North East Elevation | 1:100



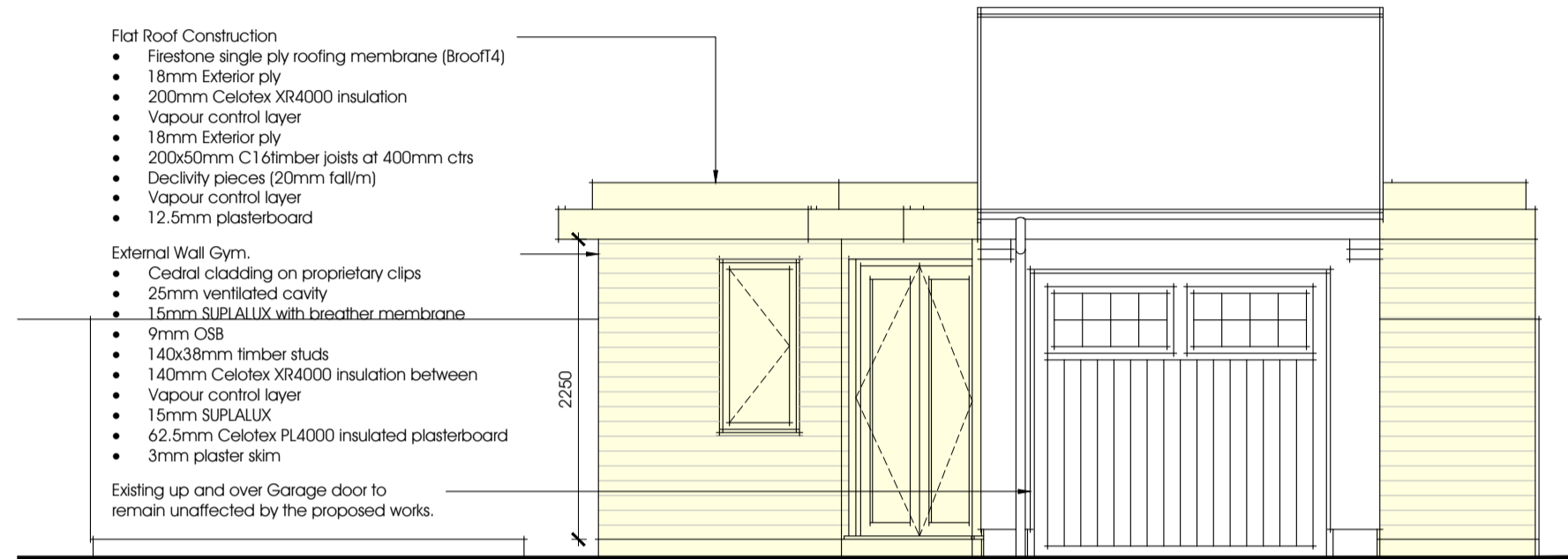
Proposed North West Elevation | 1:100



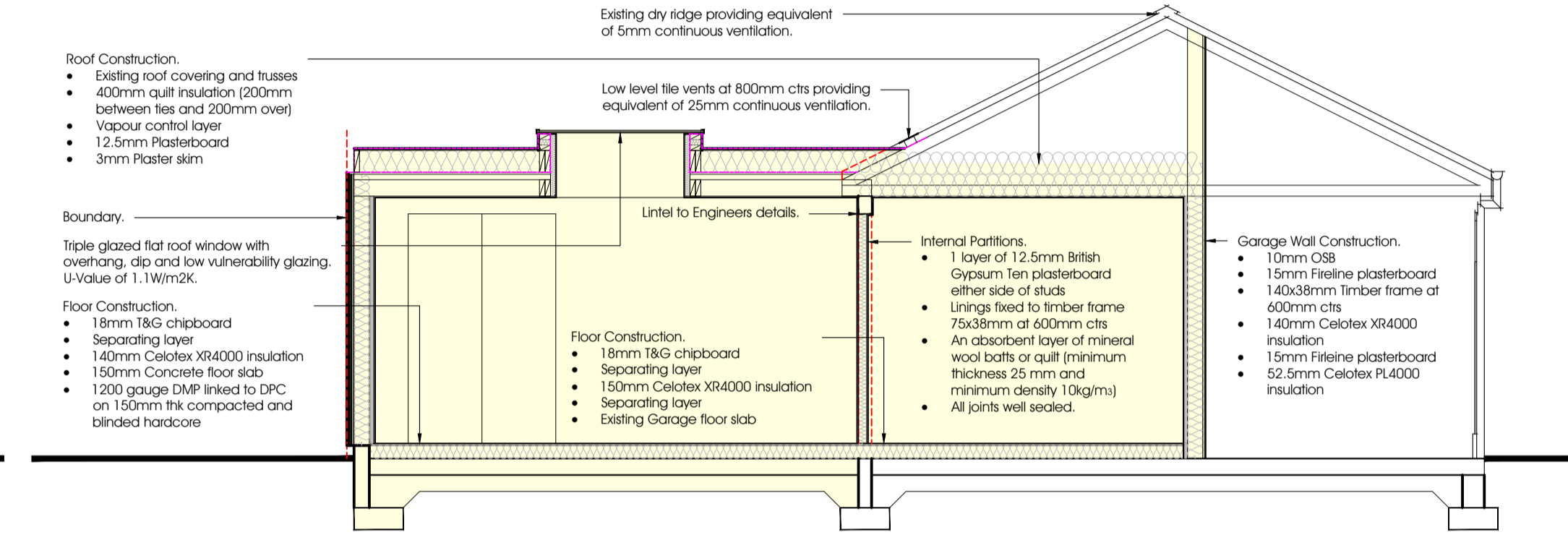
Location Plan | 1:1250



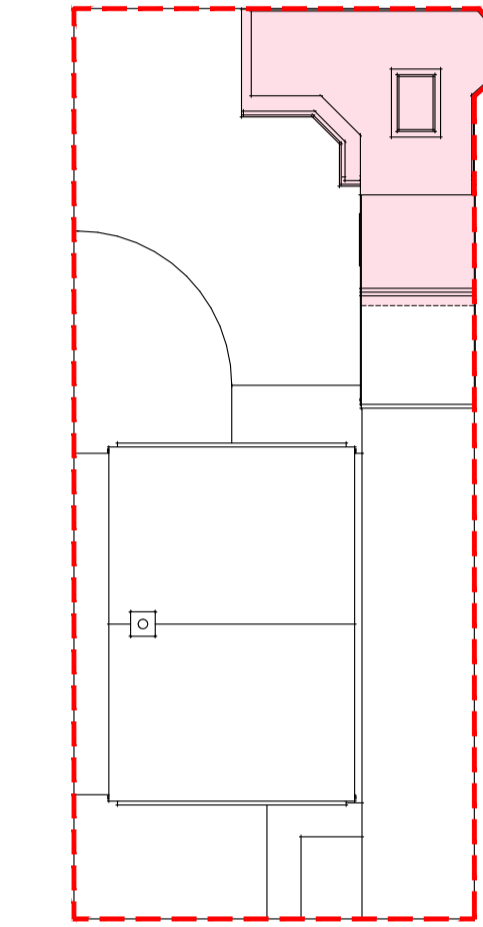
Block Plan | 1:500



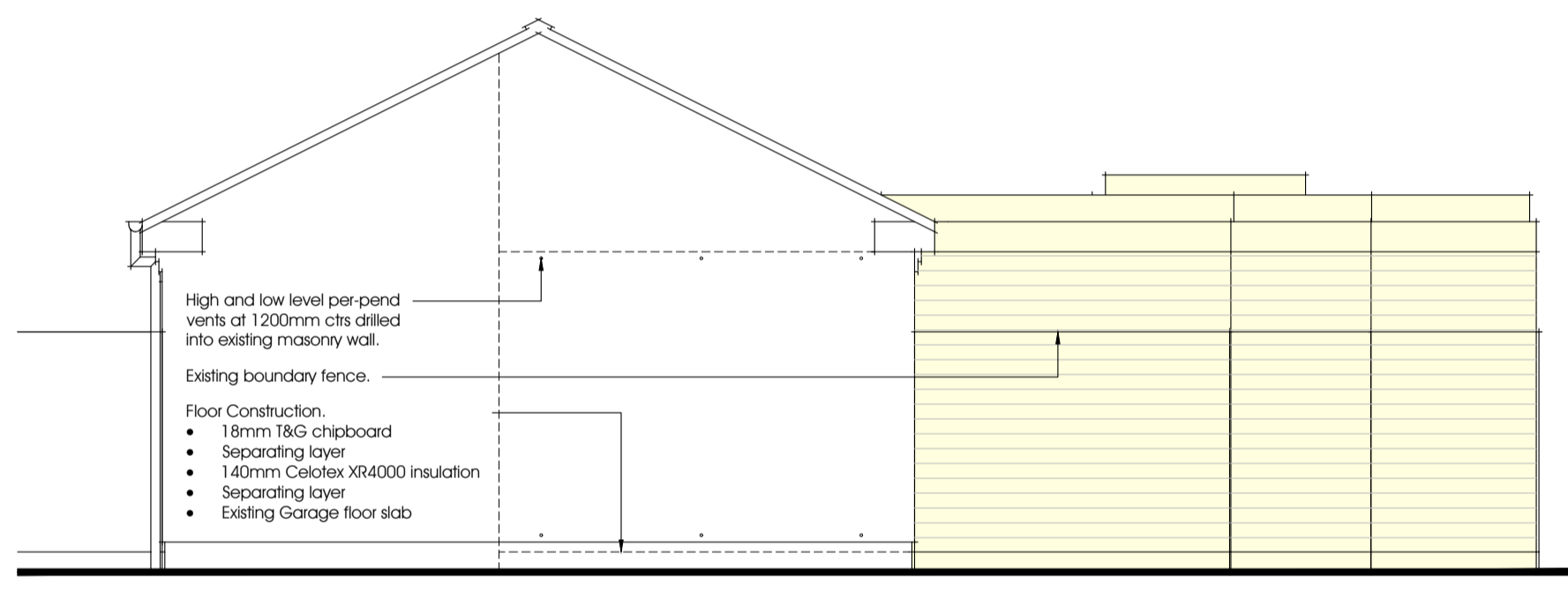
Proposed North West Elevation | 1:50



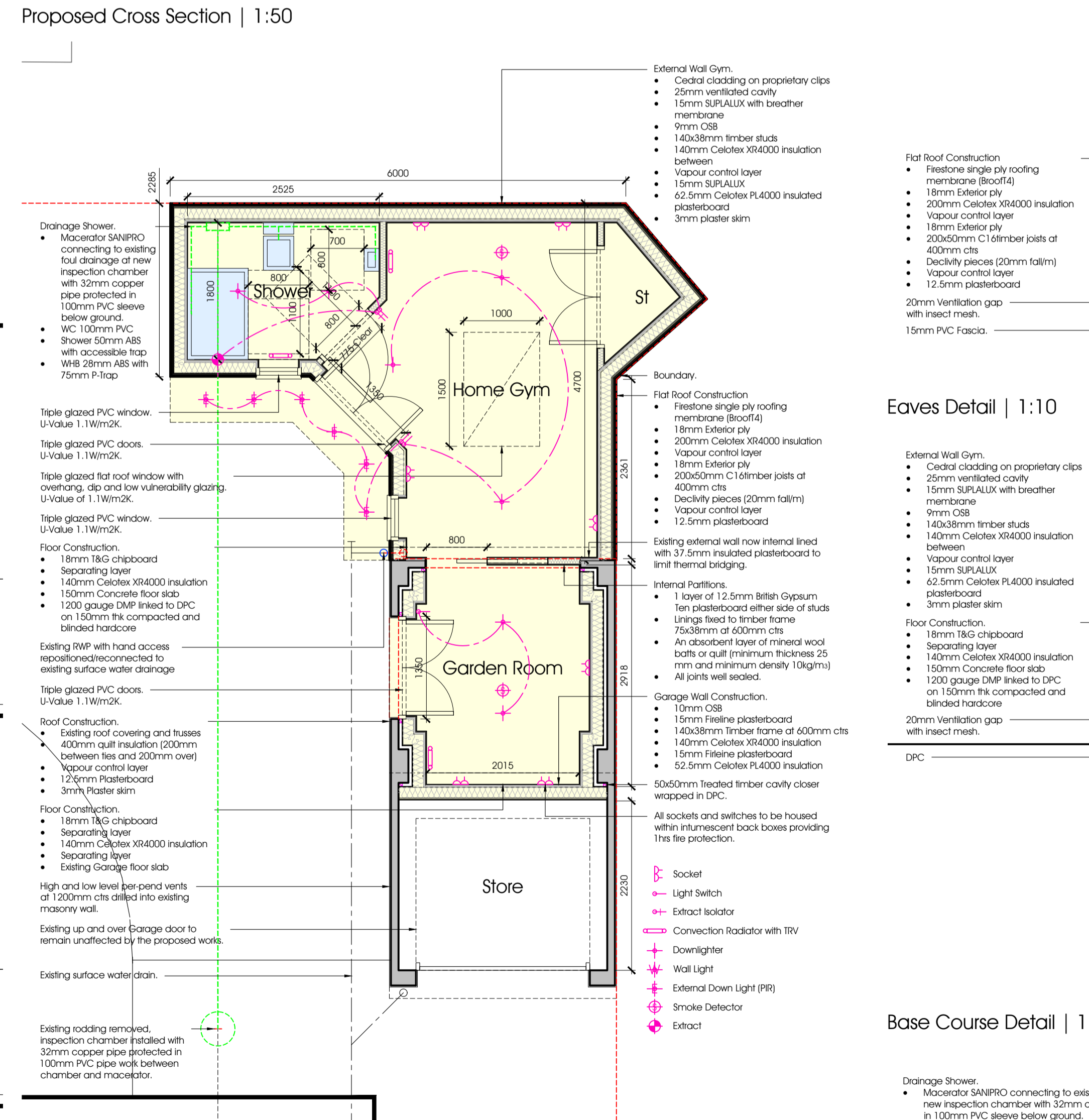
Proposed Cross Section | 1:50



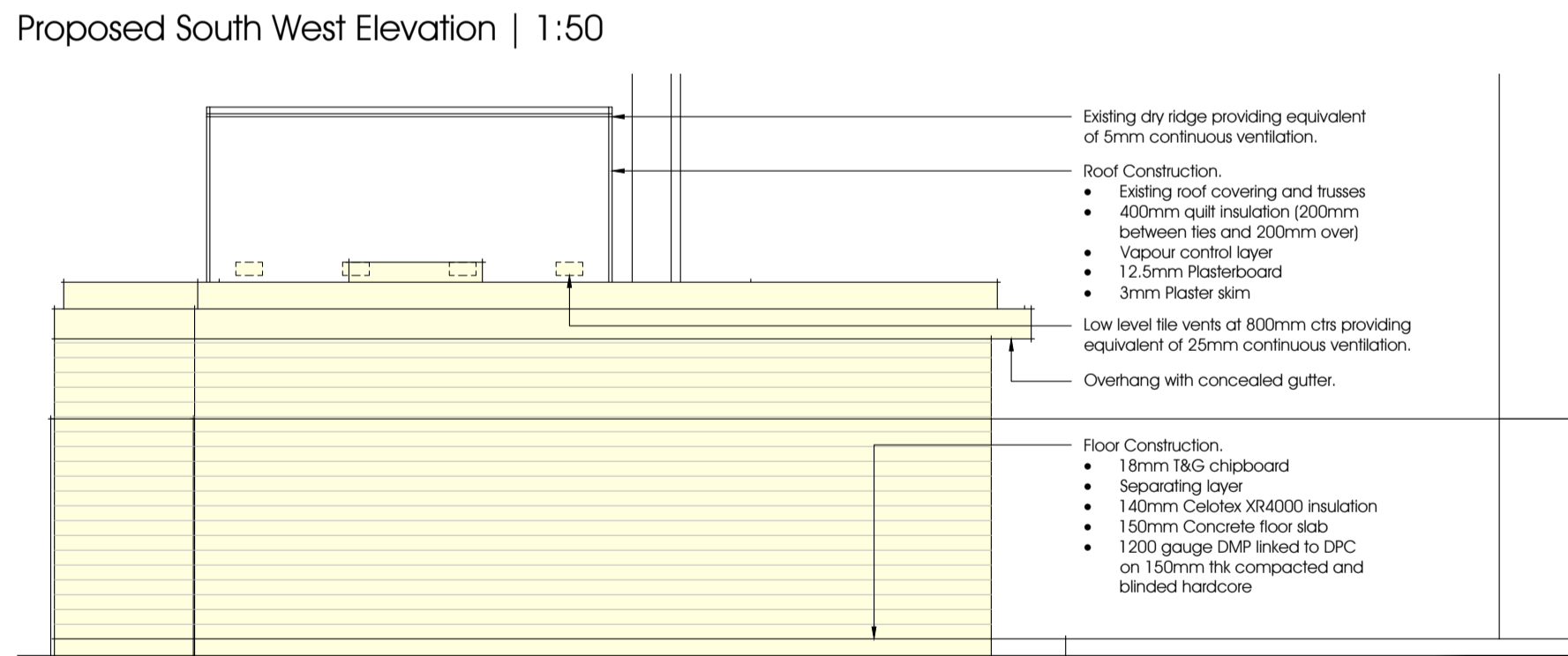
Proposed Site Plan | 1:200



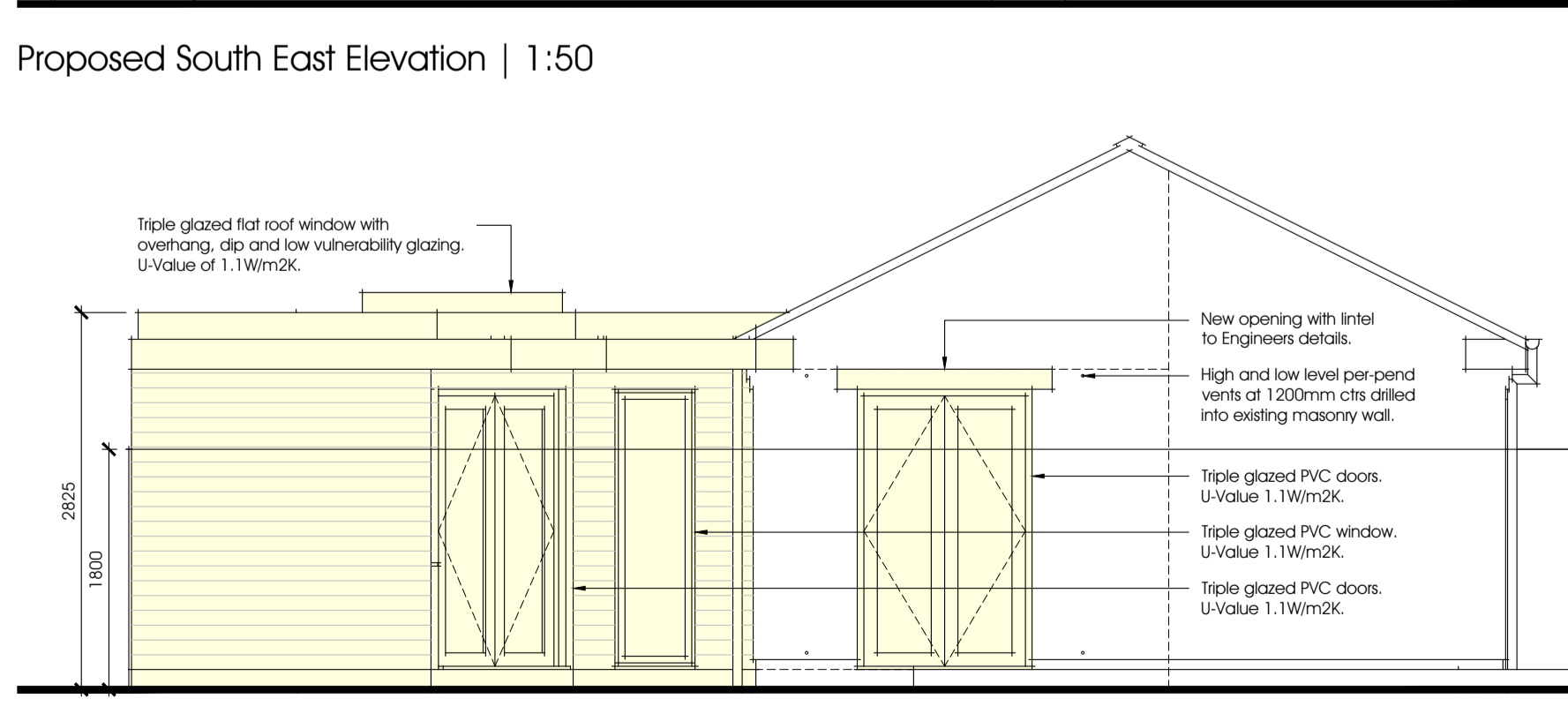
Proposed South West Elevation | 1:50



Proposed Ground Floor Plan | 1:50



Proposed South East Elevation | 1:50



Proposed North East Elevation | 1:50

Material Specification:

- External Walls
 - Eternit Cladding (Grey)
- Roof
 - Single Ply Roofing Membrane (Broof4)
- Windows and Doors
 - Triple Glazed PVC Windows/Door (Grey)
 - Sliding Doors (Grey)
- Roof Windows
 - Triple Glazed Roof Window (Grey)
- Gutters and Down Pipes
 - PVC Down Pipes (Black)

Total Site Area:

- Area: 526.0sqm
- Enclosed Garden/Decking: Area: 112.0sqm
- Proposed Garage Conversion: Area: 9.0sqm
- Proposed Single Storey Gym: Area: 23.0sqm

Safety: Access & Facilities for Dwellings

- The minimum glazed areas for windows to new rooms to be minimum 1/15th of the floor area.
- Radiators to be fitted with Thermostatic Control Valves.
- Space heating electric connection radiators to all rooms. The system is designed to achieve a minimum internal temperature of 21 Deg C in one apartment and 18 Deg C elsewhere whilst outside temperature is -1 Deg C.
- All hot water and heating pipes are to be insulated to be compliant with BS427: 2009.
- Electric shower to be provided.
- Instantaneous water heater to be provided as WHB.

Environment: Drainage & Sanitary Facilities

- The existing drainage system is a separate system.
- The proposed gutter concealed 100x100mm gutter connecting to new 68mm RWP with hand access at the base of gable elevation.
- Internal drainage: WC 100mm PVC, Shower 50mm ABS with accessible trap, WHB 28mm ABS with 25mm P-trap. Pipe work connecting separately to SANIFLO with 32mm copper pipe taken below ground within 1000mm uPVC pipe connecting to new inspection chamber.
- All drainage is to be installed in accordance with this part of the Building Regulations and Standards, and complying with BS EN752-3:1997 (amendment 2), BS EN752-4:1998 and BS EN610:1998 for external drainage.
- Access points to be fitted to all drainage, at changes of direction.
- New drainage to be laid to fall no less than 1 in 40.
- Two Flush WC Cisterns - an average flush volume of not more than 4.5l.
- Single Flush WC Cisterns - a flush volume of not more than 4.5l.
- 9 taps serving washhand basin basins - a flow rate of not more than 6l/min.
- Gutter and rainwater pipes should be constructed and installed in accordance with BS EN 1256-3: 2000.
- The temperature of hot water, at point of delivery to the bath/shower should not exceed 48deg C, a thermostatic mixing valve to BS EN 1111: 1999 or BS EN 1287: 1999 to be provided.

Safety: Electrical Fixtures

- Electrical installation should be designed, constructed, installed and tested in accordance with the recommendations of BS 7671:2008, as amended and submitted only by a person or company having membership of S.E.E.C or N.I.C.E.C or similar electrical schemes recognised by the Scottish Building Standards Agency.
- 75% of proposed fixed lighting points to be low energy using dedicated fittings and separate control gear or standard fittings with lamps with integrated control gear each with the luminous efficiency of at least 45 lumens/circuit watt.
- Electrical installations within Shower room should be rated IPX4 minimum.
- Down lighters centres to be no less than 750mm and no more than 1 down lighter per 2m2 of ceiling.
- Down lighters to have a max. opening of 100mm x 100mm.
- Proposed down lighters to be fire rated providing 30min protection.

Safety: Miscellaneous Hazards

- All glazing part of a door leaf, within 300mm of a door leaf and within 800mm of floor level should be designed to resist human impact as set out in BS6262: Part 4: 2005.
- New windows and doors to be Secured by Design compliant.
- Windows to meet the standards of BS 5975: 1997.
- PVC windows to meet the standards of BS 7412: 2007.
- Doors to meet the standards of PAS 2016.
- Windows and Doors to be designed and installed to prevent unlawful entry.

Energy: Building Insulation Envelope

- Flat Roof: U-Value 0.12 W/m2K.
 - Feltstone single ply roofing membrane (Broof4) on 18mm Exterior ply with 200mm Celotex XR4000 insulation on vapour control layer on 18mm Exterior ply, 120x50mm C1 timber joists at 400mm cts with decalys pieces (20mm fall) and Vapour control layer.
- Pitched Roof: U-Value 0.15 W/m2K.
 - Existing roof covering and fuses with 350mm Quilt insulation between ceiling ties, vapour control layer and 12.5mm Plasterboard internally.
- External Walls (Garage): U-Value 0.15 W/m2K.
 - Existing roughcast on block external roof: 50mm Cavity, 10mm OSB with weather membrane on 140x38mm timber studs, 140mm Celotex XR4000 insulation between with vapour control layer and 52.5mm Celotex PL4025 insulated plasterboard internally.
- External Walls (Gym): U-Value 0.17 W/m2K.
 - Eternit composite cladding on proprietary clips on 10mm OSB with weather membrane and 15mm SUPALUX fire rated board on 140x38mm timber studs with 140mm Celotex XR4000 insulation between. 15mm Supalux fire rated board with vapour control layer and 62.5mm Celotex PL4025 insulated plasterboard internally.
- Ground Floor (Garage): U-Value 0.14 W/m2K.
 - 22mm Chipboard flooring on 500 Gauge separating layer with 140mm Celotex XR4000 insulation on existing Garage floor slab on DMP, and compacted/blinded hardcore.
- Ground Floor (Gym): U-Value 0.14 W/m2K.
 - 22mm Chipboard flooring on 500 Gauge separating layer with 140mm Celotex XR4000 insulation on concrete slab on Engineers details over 1200 Gauge DMP linked to DPC and 150mm thick compacted and blinded hardcore.
- Triple glazed PVC windows/doors U-Value 1.1 W/m2K.
- Triple glazed PVC windows U-Value 1.1 W/m2K.

Additional Notes

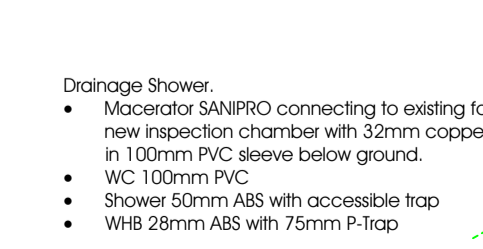
- Outlets and controls of electrical fixtures and systems should be positioned at least 350 mm from any internal corner, projecting wall or similar obstruction and, unless the need for a higher location can be demonstrated, not more than 1.2m above floor level. This would include fixtures such as sockets, switches, fire alarm call points and timer controls or programmes. Within this height range:
 - light switches should be positioned at a height of between 900mm and 1.1m above floor level.
 - standard switched or unswitched socket outlets and outlets for other services such as telephone or television should be positioned at least 400mm above floor level. Above an obstruction such as a worktop, fixtures should be at least 150mm above the projecting surface.
- In accommodation specifically intended for wheel chair users, such as accessible bedrooms, operable controls should be located at a height of not more than 1.0m above floor level. Where sockets are concealed, such as to the rear of built-in appliances, or obstructed by built-in furniture, separate switching should be provided in an accessible position, to allow appliances to be isolated.
- A doorset should include a single-point locking device to BS 3621: 2017 (for keyed egress) or to BS 8621: A2: 2012 (for keyless egress) or a multi-point locking system. A deadlocking facility should be provided. Any lock cylinder should be in accordance with BS EN 1303: 2015, grade 5 key security and grade 2 attack resistance as a minimum.
- A doorset with more than one door leaf should include a means of securing any secondary leaf of head and foot to allow the primary leaf to be securely locked.

Eaves Detail | 1:10



Eaves Detail | 1:10

Base Course Detail | 1:10



Base Course Detail | 1:10

- Drainage Shower:
 - Macerator SANIPRO connecting to existing foul drainage of new inspection chamber with 32mm copper pipe protected in 100mm PVC sleeve below ground.
 - WC 100mm PVC.
 - Shower 50mm ABS with accessible trap.
 - WHB 28mm ABS with 75mm P-trap.

Drainage Isometric | NTS

Drainage Isometric | NTS

Architectural Render | NTS

Architectural Render | NTS

- Specification:
- All new works are to be in accordance with the Building (Scotland) Regulations 2004 and all current amendments.
 - All materials are to be fire rated and/or applied strictly in accordance with the Building (Scotland) Regulations 2004 and all current amendments.
 - All new works, products and processes are to be in accordance with the relevant British Standards and manufacturers guidance.
 - All dimensions to be checked on site prior to the commencement of works.
 - Topsoil/vegetable matter to be removed from the footprint of extension.
 - All removals denoted by broken red dashed line.
 - No new works to encroach the boundary.

Site Notes:

- Regulation 13 requires the building site be fenced off in such a way as to protect the public.
- Regulation 14 requires the keeping free from mud or dust footpaths adjacent to building sites.
- Regulation 15 requires that all building sites where there are unfinished or partially complete works are kept safe and secure.

Structure: Structure

- All drawings and specifications provided by the Consulting Structural Engineer constitute part of the warrant application.

Fire: Structural Protection

- Treated timber cavity barriers, 50x50mm wrapped in DPC, to be installed at wall headings, floor/wall junctions and at the corners of the proposed dwelling including the ground floor level, intermediate floor/ceiling level and upper level. Cavity barrier (38mm min) to provide 30min fire resistance in accordance with BS 9991 and Approved Document A2.
- External wall lining 15mm SUPALUX board externally and internally providing the fire protection to the structure on the boundary.

Fire: Means of Escape

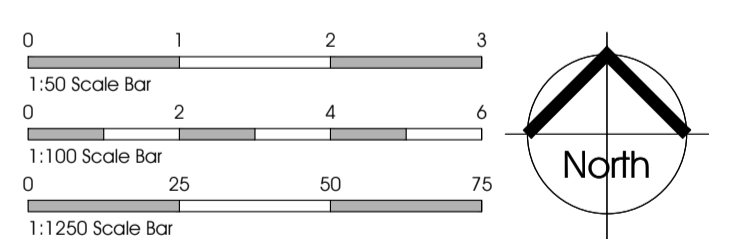
- Windows to have openings of at least 0.33 sq m in area and of least 450 wide by 750 high, the bottom edge of which is not more than 1100 from the floor.
- Every part of an escape route has to have a minimum headroom of 2m, apart from doors in an escape route, which can be not less than 1.9m.
- Each level of the escape route is to be fitted with a smoke detector, wired into the mains, and to be interlinked. In a circulation area which will be used as a route along which to escape, not more than 15 m long, not more than 7.5 m from another smoke alarm on the same story, at least 300 mm away from any wall or fitting, heater or air conditioning outlet and on a surface which is normally at the ambient temperature of the rest.
- Interlinked smoke detectors to the Gym and Garden Room to be Multi sensor alarms conforming to BS EN 14604 + AC: 2008.
- Smoke detectors to be hard wired. The standby supply for all smoke and heat alarms to be by primary battery lasting at least 72hrs. Detectors to be installed in accordance with BS 5839 Part 6.

Environment: Environment

- DPC and 1200 gauge DPM to be linked and continuous with existing.
- DPC to be 150mm (min) above finished ground level.
- ERP floor covering to be dressed under Garage roof ties 225mm.

Environment: Ventilation

- Tickle ventilation of 1200sqmm to be placed at the head of all opening windows, of more than the minimum of 1750mm from the floor.
- The windows to all new apartments to have a minimum opening area in excess of 1/20th of the floor area of the apartment served.
- The external doors to all new apartments to have a minimum opening area in excess of 1/20th of the floor area of the apartment served.
- Shower with mechanical extract to achieve an extract rate of 15 l/sec.
- High and low level ventilation to cladding with insect mesh.



Revision: Description: Date:

Scott Francis Allan
Architectural Design

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Planning and Building Warrant

Project:
Proposed Single Storey Garden Room
and Part Garage Conversion
29 Wallace Crescent, Walford, EH21 8DD

Client:
Dr Daniel Benson

Drawing:
Proposed Site Plan, Floor Plan, Elevations and Specification

Drawing No. 2024-08-002 Scale: As Noted Date: Feb 2024 Name: SFIlan Sheet Size: A1