

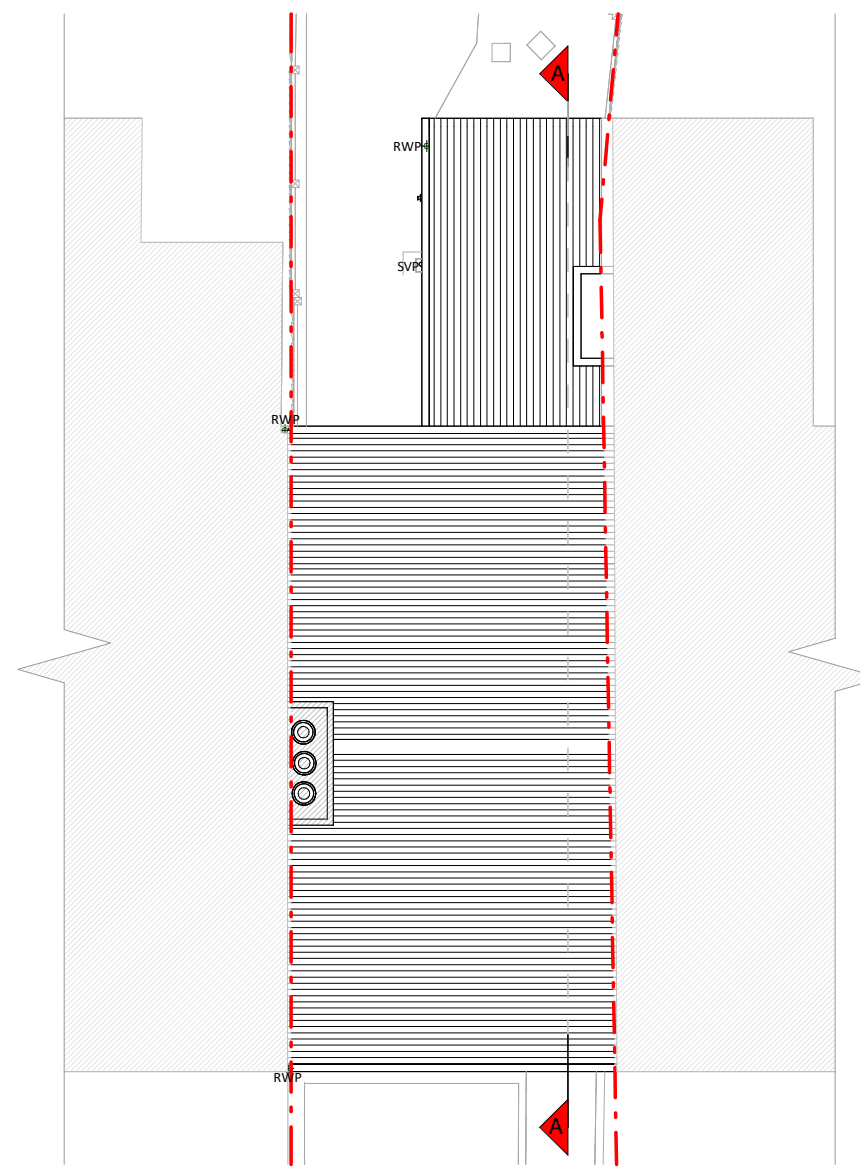
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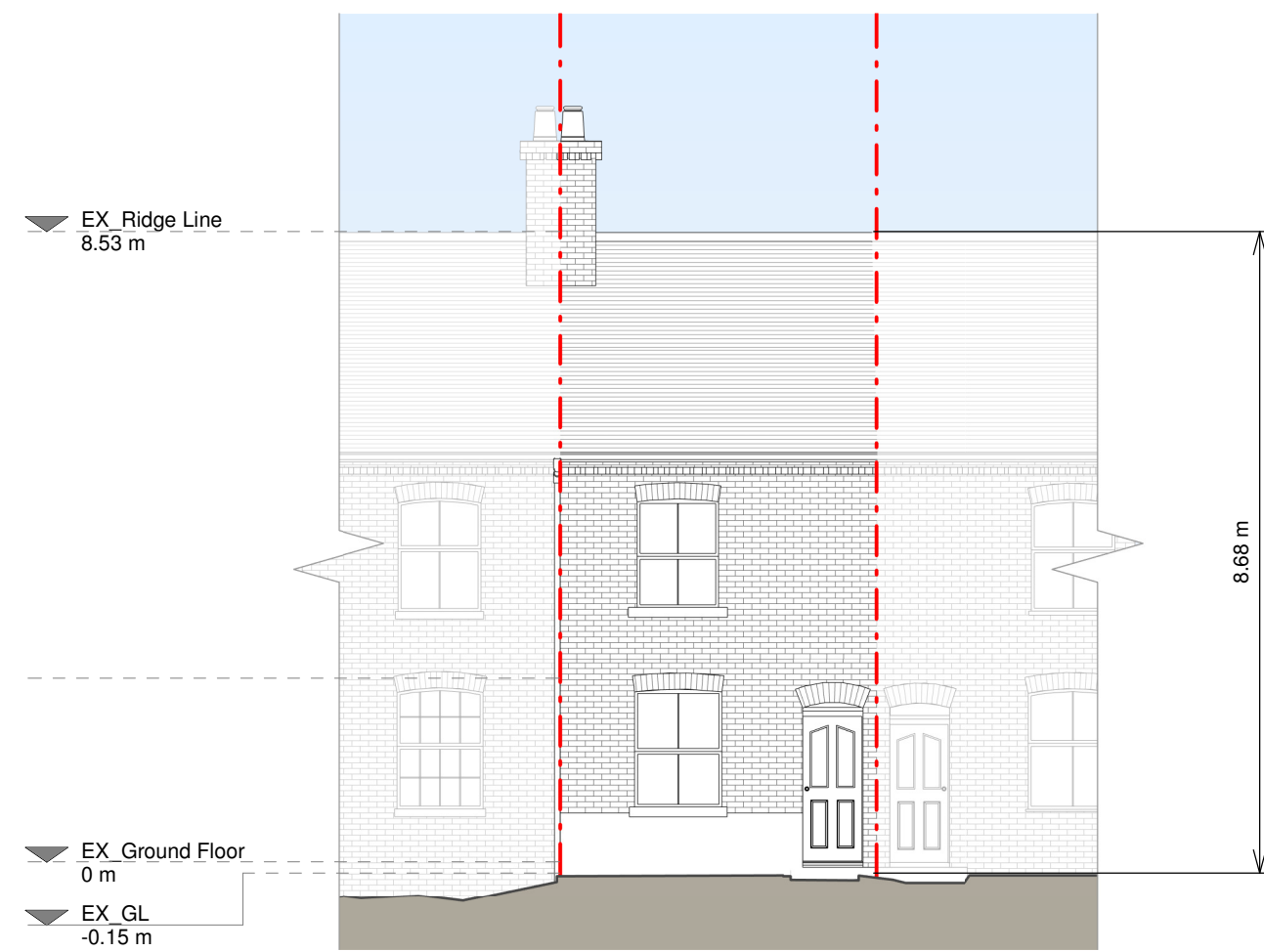
Read all advice using planning drawings for the construction stages. All construction to be carried out in accordance with the specifications and construction. Any discrepancies to be reported to RESI immediately.



Ground Floor Plan



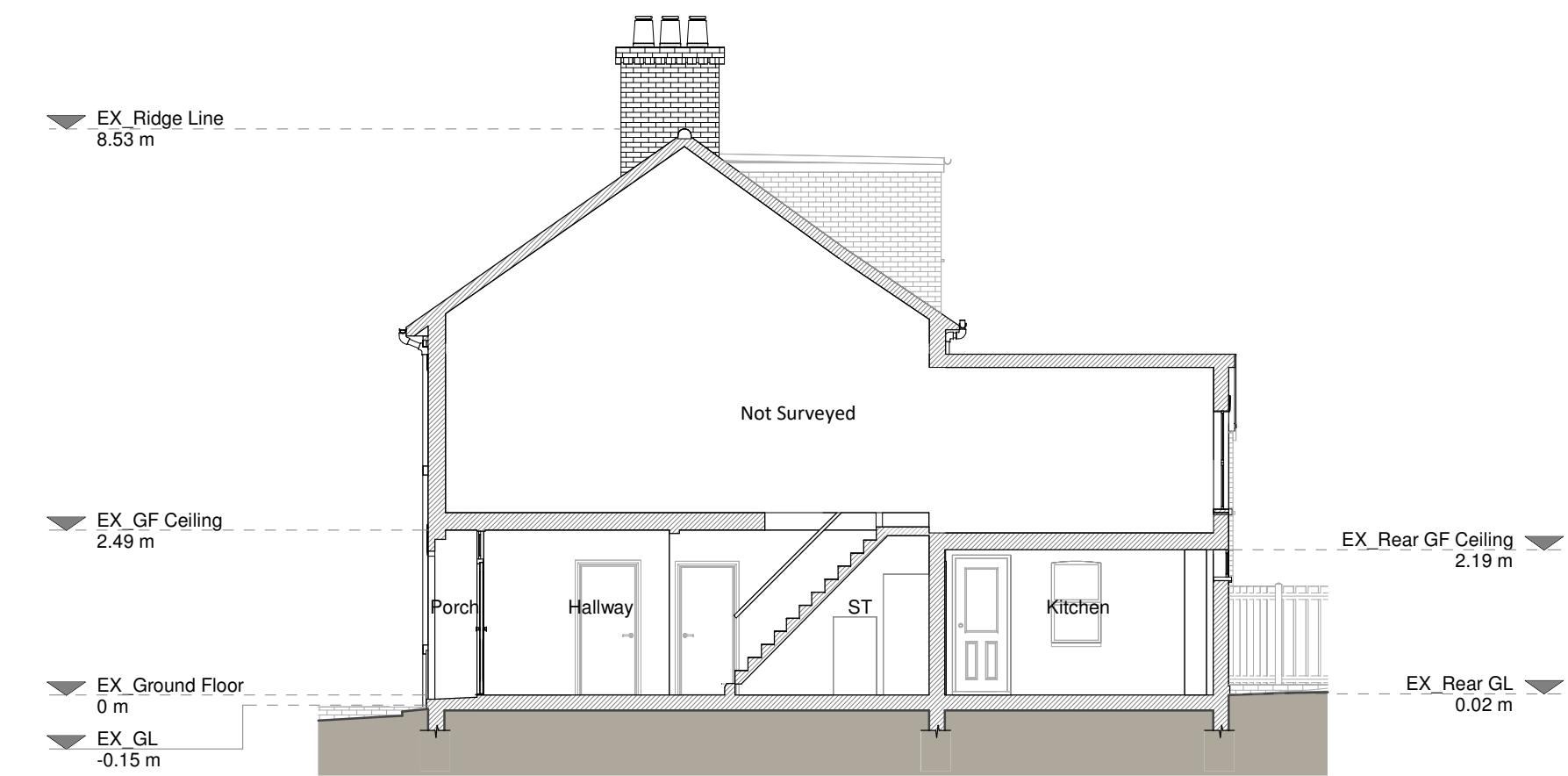
Roof Plan



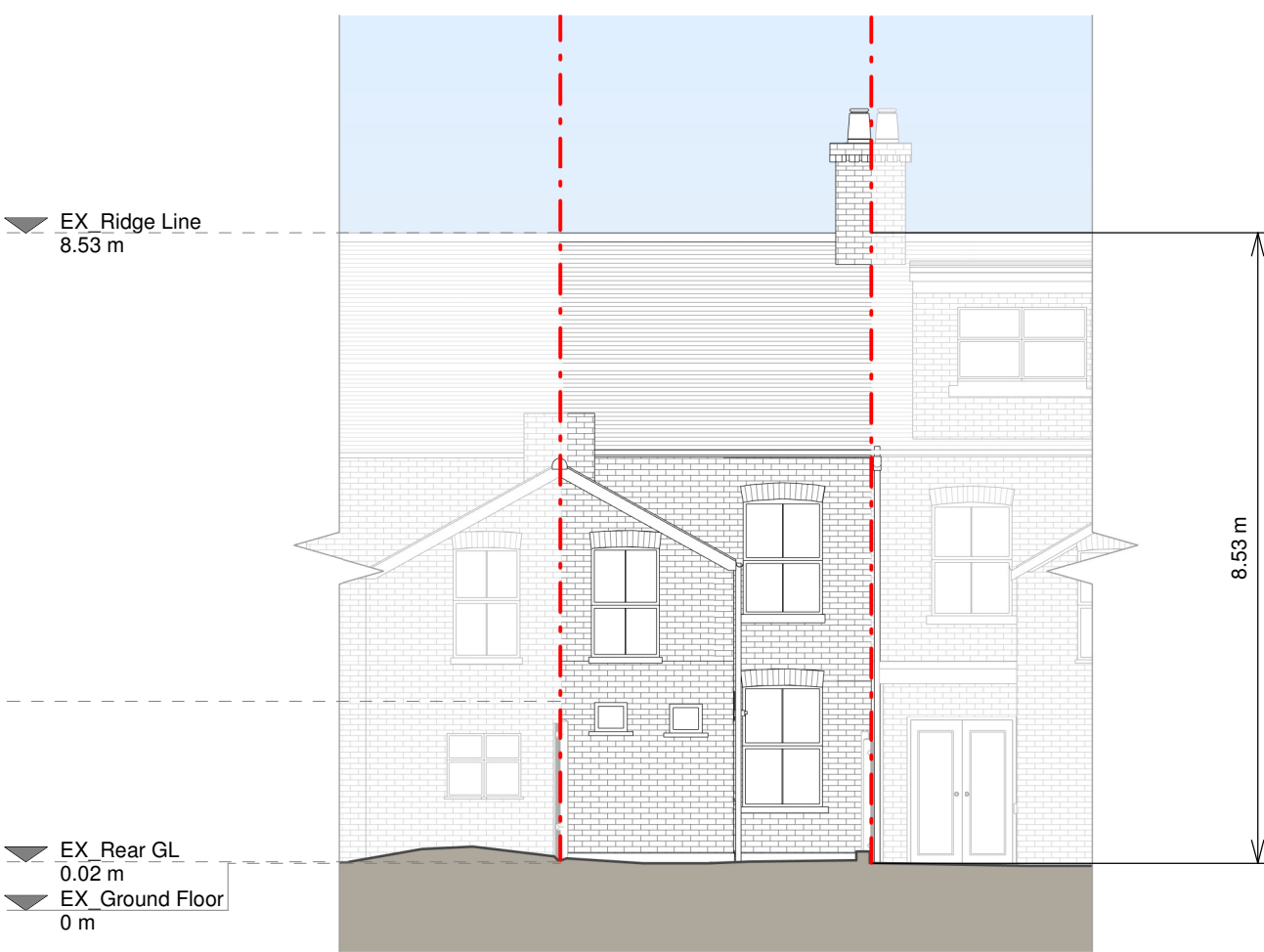
Front Elevation



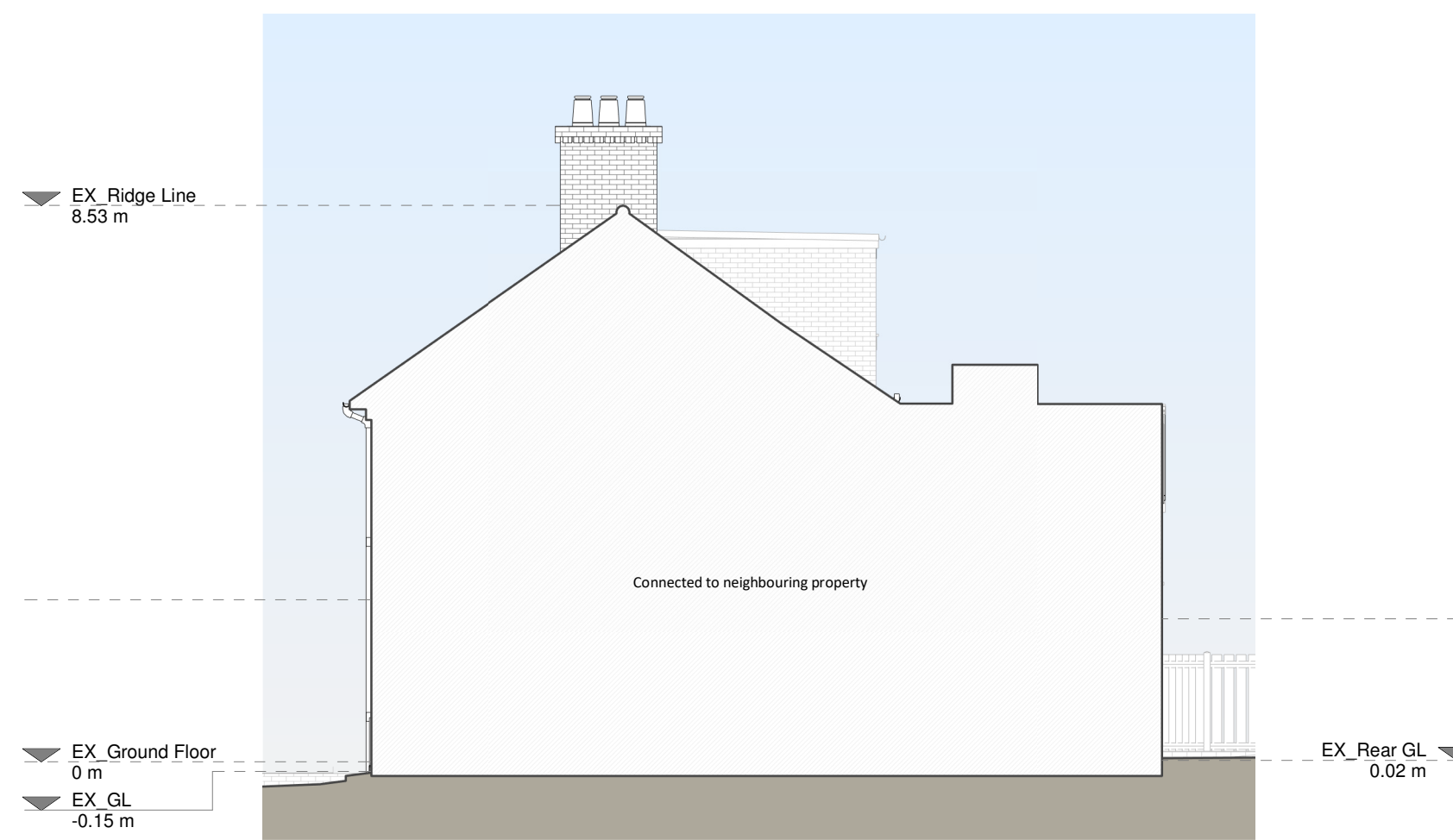
Left Side Elevation



Section A - A



Rear Elevation



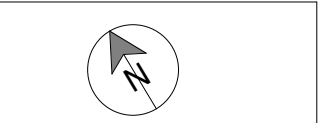
Right Side Elevation

**Existing Materials:**

- Brickwork / Walls - Yellow, red, and white painted bricks.
- Pitched roof - Grey tiles.
- Flat roof - N/A.
- Windows - White uPVC.
- Doors - White uPVC.
- Roofs / Gutters / Facias - Black uPVC, and white timber board facias.

**KEY**

	Existing walls		Boundary line
	Existing furniture		Level line
	1.5m head height		1.8m head height



Revision		
Rev	Notes	Date
A	Planning Issue	02.02.2024



Job Title  
**Proposed Ground Floor Side Infill, Floor plan redesign and all associated works at 38 Bradbourne Road**

Drawing Status  
**Planning Drawings**

Client  
**Matthew Smith**

Drawing Title  
**Existing Drawings**

Scale 1:100 @ A1	Drawn AR
Date February 2024	Checked EP
Drawing No. 8199880-1100	Rev A

