

DESIGN & ACCESS STATEMENT
CHANGE OF WINDOWS TO DENTAL PRACTICE

Northampton

DESIGN & ACCESS STATEMENT

Planning Application
For
Windows upgrade
for
TG Dental Suite
15 The Square, Earls Barton
Northampton

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1.1 This design and access statement is to accompany the full planning application to North Northamptonshire Council for the proposed window upgrade at TG Dental Suite, 15 The Square, Earls Barton, Northampton.

2.0 **OVERVIEW**

2.1 Earls Barton is a village located east to the town of Northampton, some 8 miles from Northampton Town Centre. It is some 5 miles southwest to Wellingborough, 13 miles south to Kettering and some 20 miles northwest to the town of Bedford. Total population of the town, in accordance to 2021 census is 6,346¹.

2.2 Earls Barton is well connected to the major road system with the A45 offering principal east-west road link directly south of the village. Many of the north-south road links branch off from the A45, such as A43 and the A6. The main artillery roads for Earls Barton is B573 (Doddington Road / West Street) and Wellingborough Road / High Street / Station Road.

2.3 The main core of Earls Barton is located at the junction of all the main artillery routes. Most of the village is residential and the main non-residential / retail area lies at this junction.

2.4 Stagecoach offers route X4 and X46² half hourly 6 days a week bus services to destinations between Corby, Wellington, Rusden and Northampton. Services on Sunday run on hourly basis.

2.5 There are a number of schools, medical centres and dental practices in the described areas. See images below.

¹ https://www.citypopulation.de/en/uk/eastmidlands/admin/wellingborough/E04006878_earls_barton/

² <https://www.stagecoachbus.com/routes/midlands/x4/northampton-corby/xlhx004.o> & <https://www.stagecoachbus.com/routes/midlands/x46/northampton-rushden/xlhx046.o>

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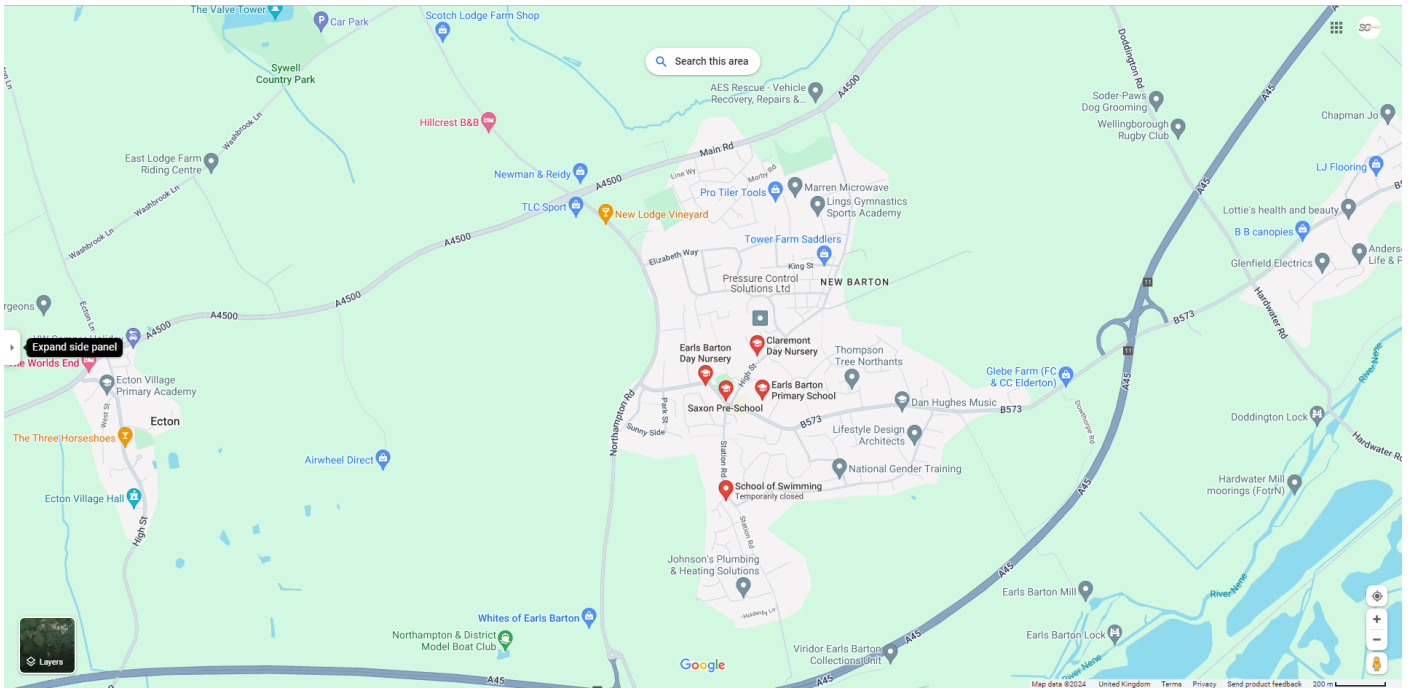


Image 1 - image showing schools around Earls Barton, courtesy of Google Map 2024-01-22 1625hrs

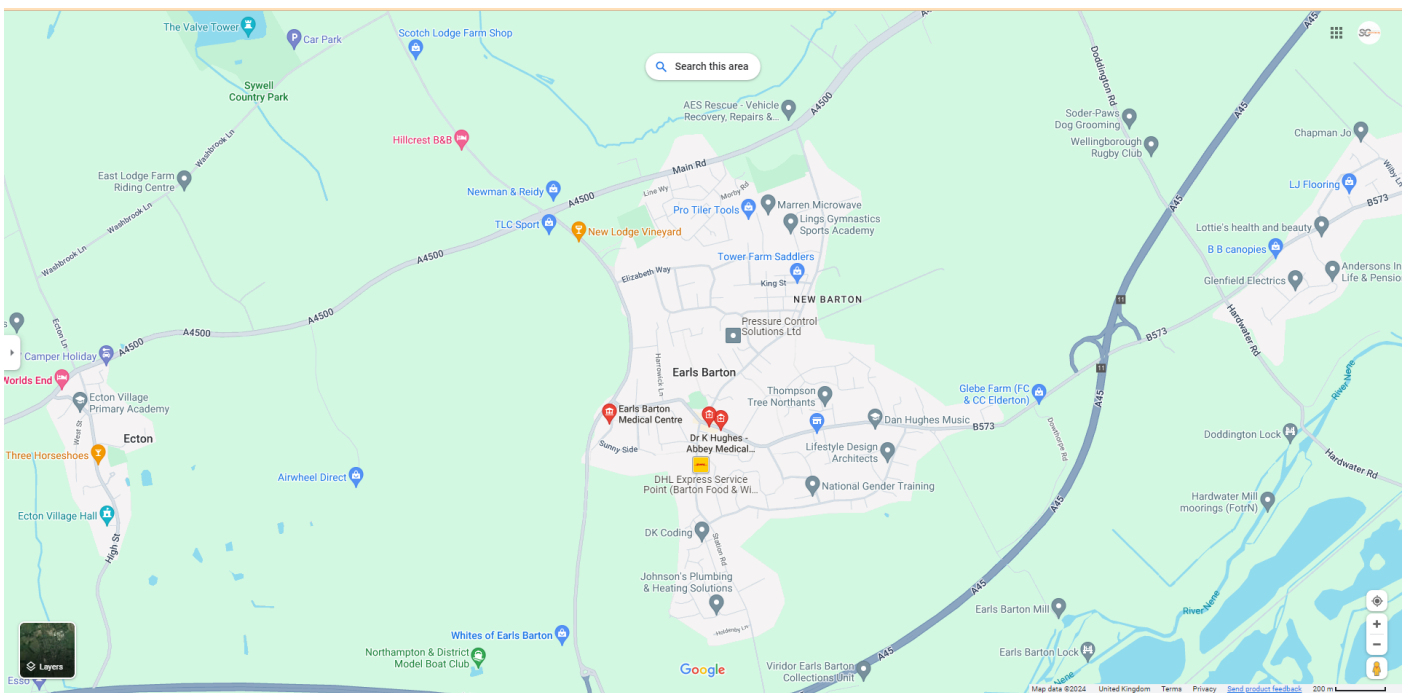


Image 2 - image showing medical centres around Earls Barton, courtesy of Google Map 2024-01-22 1627hrs

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Image 4 - image showing location of site, courtesy of Google Map, red indicates the site



image 5 - image showing location of site, courtesy of Google Map, red indicates the site

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image 6 - image showing location of site, courtesy of Google Map, red indicates the site

3.4 The application site / property is located to the centre to the village of Earls Barton and within the boundary of Earls Barton Conservation Area³.

³ <https://experience.arcgis.com/experience/d8840a7cf90248daa7675c43bc167b39/>

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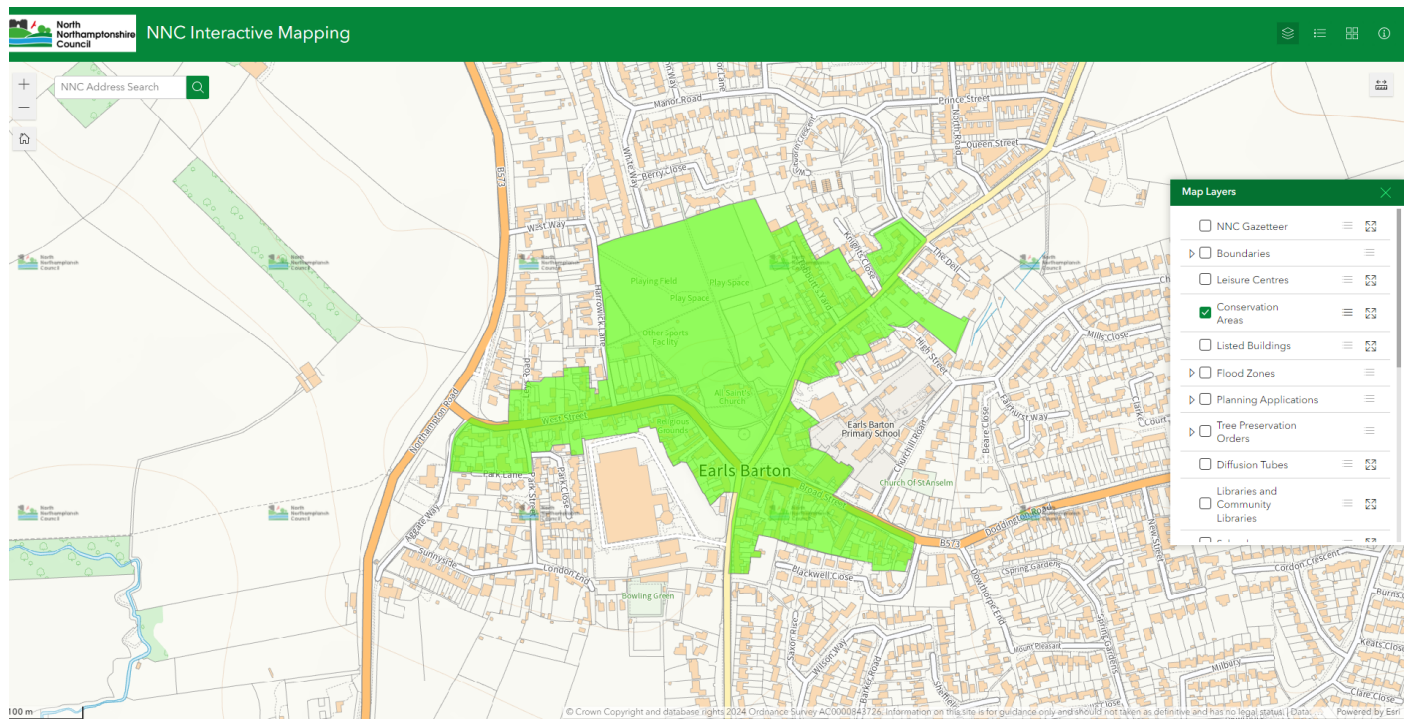


image 7 – Earls Barton Conservation Area in green

4.0 **THE PROPOSAL**

4.1 The applicant’s wishes to seek planning approval for the renewal of windows to the property of TG Dental Suite, 15 The Square, Earls Barton, Northampton.

4.2 **PLANNING POLICIES**

National Planning Policy Framework (NPPF)

4.2.1 The Framework was updated on July 2021 and replaces previous national planning guidance and National Planning Policy Framework of 2019 and 2012.

4.2.2 An important feature of the Framework is the culture change it requires from local planning authorities. It requires local planning authorities to approach decision-taking in a positive way to foster the delivery of sustainable development, looking for solutions rather than problems and seeking to approve applications for sustainable development where possible (paragraphs 10 and 11).

4.2.3 Policy 6 of the framework has the following statement of which this application relates:

Paragraph 81 offers the follow:

‘ 81. Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.

*The approach taken should allow each area to build on its strengths, counter any weaknesses and address the challenges of the future. This is particularly important where Britain can be a global leader in driving innovation, and in areas with high levels of productivity, which should be able to capitalise on their performance and potential.*⁴

This statement emphasises the government's agenda of support of economic growth and that local planning policies should be set to meet local business's needs.

4.2.4 Policy 6 of the framework continues with the following statement relating to development in the rural communities:

Paragraph 84 and 85 offer the follow:

'84. Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;*
- b) the development and diversification of agricultural and other land-based rural businesses;*
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and*
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.*

*85. Planning policies and decisions should recognise that sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements, and in locations that are not well served by public transport. In these circumstances it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads and exploits any opportunities to make a location more sustainable (for example by improving the scope for access on foot, by cycling or by public transport). The use of previously developed land, and sites that are physically well-related to existing settlements, should be encouraged where suitable opportunities exist.*⁵

This statement emphasises the government's agenda of safeguard good services and facilities within existing rural communities.

4.2.5 Policy 8 of the framework has the following statement of which this application relates:

Paragraph 93 offers the follow:

'93. To provide the social, recreational and cultural facilities and services the community needs, planning policies and decisions should:

- a) plan positively for the provision and use of shared spaces, community facilities (such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship) and other local services to enhance the sustainability of communities and residential environments;*

⁴ https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf
page 23

⁵ https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf
page 23,24

- b) take into account and support the delivery of local strategies to improve health, social and cultural well-being for all sections of the community;*
- c) guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community's ability to meet its day-to-day needs;*
- d) ensure that established shops, facilities and services are able to develop and modernise, and are retained for the benefit of the community; and*
- e) ensure an integrated approach to considering the location of housing, economic uses and community facilities and services.'*⁶

This statement emphasises the government's agenda of safeguard good services and facilities within existing communities. This includes healthcare as highlighted in b) of the statement.

4.2.6 Chapter 9 of the framework set out policy in Promoting Sustainable Transport. Paragraph 104 has the following descriptions:

Transport issues should be considered from the earliest stages of plan-making and development proposals, so that:

- a) the potential impacts of development on transport networks can be addressed;*
- b) opportunities from existing or proposed transport infrastructure, and changing transport technology and usage, are realised – for example in relation to the scale, location or density of development that can be accommodated;*
- c) opportunities to promote walking, cycling and public transport use are identified and pursued;*
- d) the environmental impacts of traffic and transport infrastructure can be identified, assessed and taken into account – including appropriate opportunities for avoiding and mitigating any adverse effects, and for net environmental gains; and*
- e) patterns of movement, streets, parking and other transport considerations are integral to the design of schemes and contribute to making high quality places*⁷.

This statement emphasises the government's agenda in promoting development that is already linked to walking, cycling and public transport network. This is emphasised further in paragraph 105.

Earls Barton Neighbour Plan 2011-2031 (January 2016)

This Neighbour Plan set out visions of development for the future of Earls Barton.

4.2.7 Policy EB.LB1⁸

⁶ https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf
page 27

⁷ https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf
page 30

⁸ <https://cms.northnorthants.gov.uk/media/6290/download> - page 29

Proposals within the village centre shopping and business area (as defined on the Proposal Plan inset Fig. 4) that diversify and enhance the range of local shops and services (A1-A5 Use Classes) and variety of local community facilities will be supported, subject to the following criteria being met:

- *individual schemes will not generate unacceptable noise, fumes, smell or other disturbance to neighbouring residential properties;*
- *proposals will not lead to traffic congestion or adversely affect the free-flow of traffic on the adjoining highway;*
- *where off-street vehicular access or parking is provided it would not have a harmful effect on adjoining residential and non-residential uses;*
- *proposals that result in the loss of local retail, service provision, community assets and change of use will be resisted.*

The local authority places attention to protect, conserve and enhance historic asset in its region.

Earls Barton Parish Council strongly believes in retaining and improving retail and existing community services / facilities within the boundaries of the village.

4.3 PLANNING HISTORY

According to South Derbyshire District Council Planning record online, the property is subjected to the following previous planning application.

4.3.1 BW/1975/0974 ⁹

This is an application relating removal of the cottages of 15 to 18 the Square into a single dwelling in 1975. Decision unknown.

4.3.2 BW/1976/0577 ¹⁰

This application relates to a proposal similar to the above - removal of the cottages of 15 to 18 the Square into a single dwelling in 1975. It was refused in September 1976.

4.3.3 BW/1976/0866 ¹¹

This application also relates to all four cottages with extensions to all the properties. This application was approved on 13th December 1976.

⁹ <https://publicaccess.wellingborough.gov.uk/online-applications/applicationDetails.do?previousCaseType=Property&keyVal=ZZZYFARBBJ191&previousCaseNumber=MZTQ1K00DT015&previousCaseUprn=100032151229&activeTab=summary&previousKeyVal=MZTQ1K00DT016>

¹⁰ <https://publicaccess.wellingborough.gov.uk/online-applications/applicationDetails.do?previousCaseType=Property&keyVal=ZZZYF9RBBJ722&previousCaseNumber=MZTQ1K00DT015&previousCaseUprn=100032151229&activeTab=summary&previousKeyVal=MZTQ1K00DT016>

¹¹ <https://publicaccess.wellingborough.gov.uk/online-applications/applicationDetails.do?previousCaseType=Property&keyVal=ZZZYF9RBBJ721&previousCaseNumber=MZTQ1K00DT015&previousCaseUprn=100032151229&activeTab=summary&previousKeyVal=MZTQ1K00DT016>

4.3.4 BW/1982/0179¹²

This application is most related to the current use of the property of 15 The Square with the change of use from a dwelling house to a dental practice. This application was approved with condition on 22nd April 1982.

4.4 DESIGN ETHOS

4.4.1 **Justification for demolition**

4.4.1.1 It is envisaged that the existing timber frame single glazed window units are to be removed

4.4.2 **Scale and Mass**

4.4.2.1 No change to scale and massing to the existing building.

4.4.3 **Layout**

4.4.3.1 The layout of the property remains unchanged.

4.4.3.2 A4 Reduction plan and elevation drawings attached in appendix.

4.4.4 **Material uses and external treatment (Appearance)**

4.4.4.1 Existing timber frame single glazed window units are to be removed.

4.4.4.2 Replacement windows to be uPVC profile double glazed units.

4.4.5 **Trees & Landscape**

4.4.5.1 Removal of vegetation is not required for this planning application.

4.4.6 **Usage**

4.4.6.1 No change of use is required for this application

¹² <https://publicaccess.wellingborough.gov.uk/online-applications/applicationDetails.do?previousCaseType=Property&keyVal=ZZZYF3RBBJ013&previousCaseNumber=MZTQ1K00DT015&previousCaseUprn=100032151229&activeTab=summary&previousKeyVal=MZTQ1K00DT016>

4.4.6.2 It is envisaged that the opening hours of the surgery will remain as exist.

4.4.7 **Signage**

4.4.7.1 Advertisement application is not required for this application

4.5 **ACCESS**

4.5.1 Highway Issues

Pedestrian access off public highway to site will remain as exist

4.5.2 Disabled Access

Remain as exist

4.6 **SUSTAINABLE CONSTRUCTION ISSUES**

4.6.1 We will specify that the proposed building materials to be sourced from local manufacturer to reduce the carbon footprint in transportation.

4.7 **OTHER ISSUES**

4.7.1 Drainage – Foul
As exist

4.7.2 Drainage – Storm
As exist

4.7.3 Public Transport
See paragraph 2.4

5.0 **CONCLUSION**

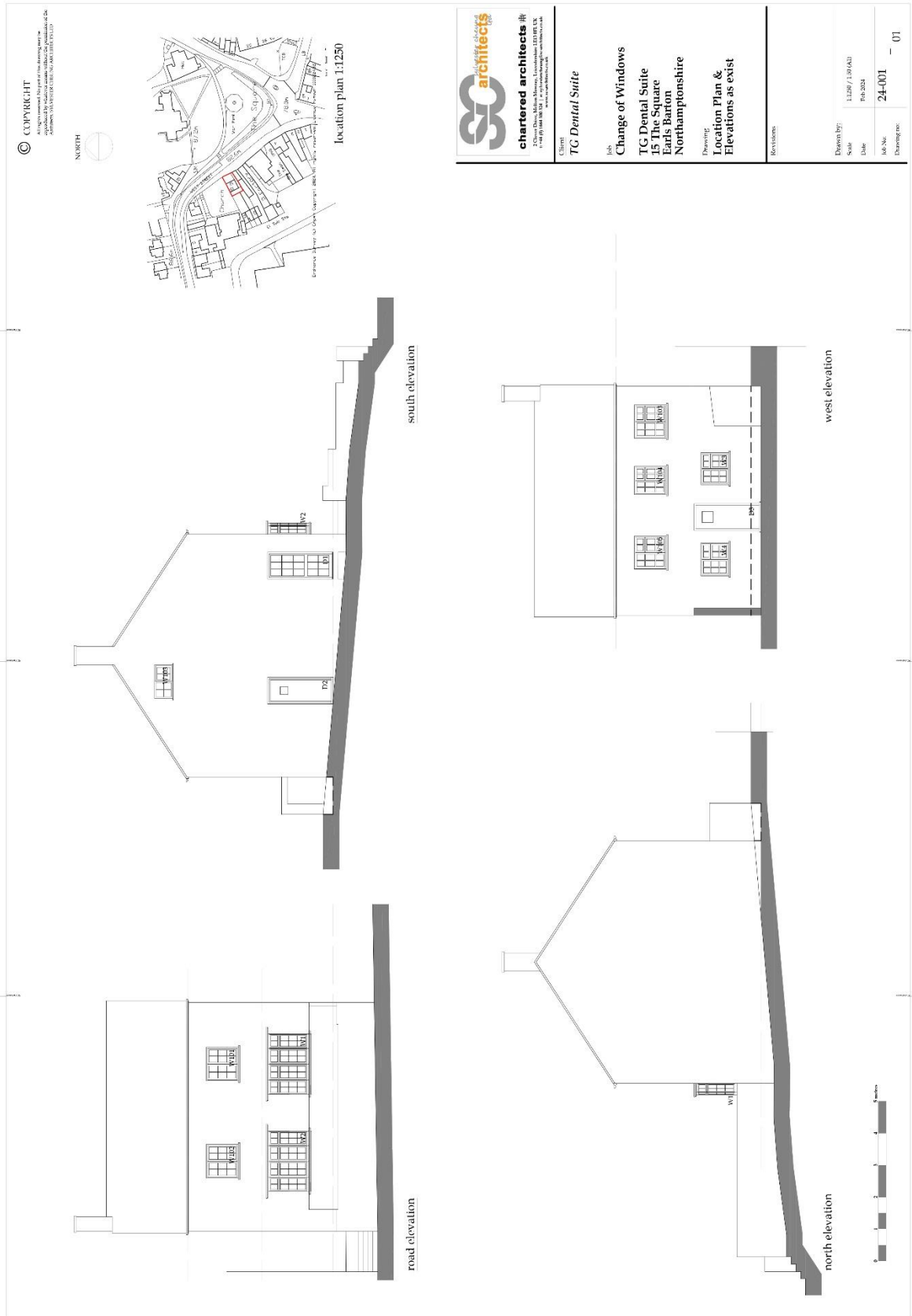
In accordance to the above facts and statements, we therefore believe that our proposal for the proposed alteration of existing windows to TG Dental Suite, 15 The Square, Earls Barton is in accordance to NPPF by the following reasons:

1. Section 38(6) of the Planning and Compulsory Purchase Act, 2004 requires the determination of this application to be made in accordance with the development plan, unless material considerations indicate otherwise.
2. The application site is within the identified well-established retail / community facilities centre of Earls Barton.
3. The property has been used as a well-established dental practice for many years and the success of this application will enable the current dental practice operator to continue to run such medical services to the existing community
4. The application site lies within a well-served frequent bus route
5. The proposed change of windows to the application property respects the local character of the built environment uPVC casement windows feature heavily along the central area of Earls Barton
6. Our proposal retains a well-established healthcare facility to Earls Barton
7. The application does not have any adverse effect to the surrounding area.
8. In accordance with section 38(6) of the Planning and Compulsory Purchase Act (2004) and the presumption in favour of sustainable development, the application should therefore be approved.

Appendix 1

Proposed Drawings

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Client: **TC Dental Suite**

Job: **Change of Windows**
TG Dental Suite
15 The Square
Earls Barton
Northamptonshire

Drawing: **Location Plan & Elevations as exist**

Revision:

Drawn by:	11228 / J.S. (AJL)
Scale:	1/4 = 2004
Date:	24-001
Job No:	24-001
Drawing no:	- 01

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 All details shown for proposed new windows taken from Mowbray
 Architects Ltd. On site at 15 The Square, Barton, Northamptonshire, NN16 9JL
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 https://www.mowbrayarchitects.co.uk/library/download/1111/1111/21436/

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Client: TG Dental Suite
Job: Change of Windows
Project: TG Dental Suite
 15 The Square
 Barton, Northamptonshire
Drawing: Proposed window details

Scale: 1:100 (3/1)
Date: Feb 2024
Job No: 24-001
Drawing no: - 03

part road elevation
 section a-a
 part rear elevation
 section b-b

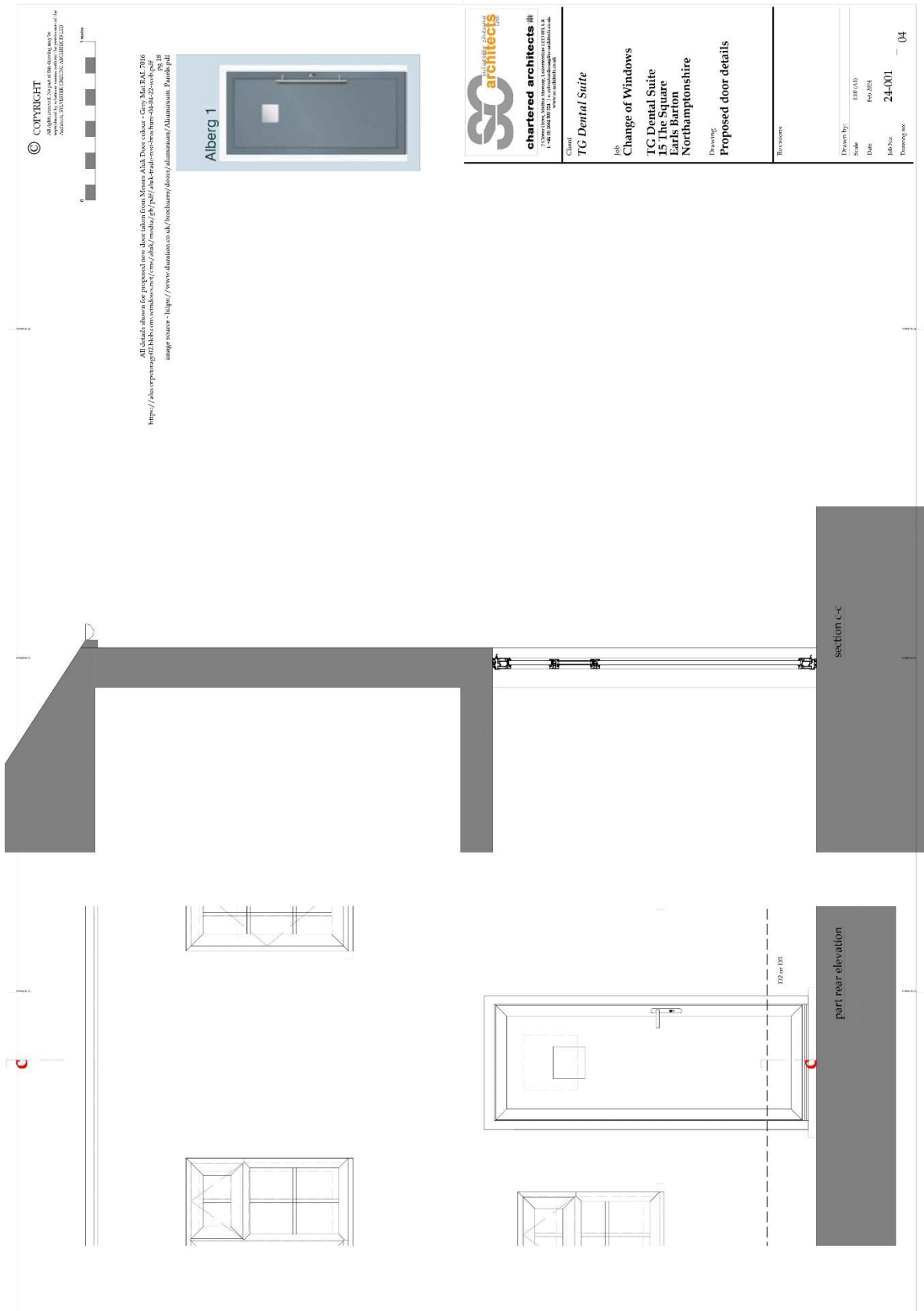
WT04
 W3

a
 b

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All details shown for proposed items have been formed using: Alu. Door, Mel. Rd. 2016
<https://aluprofiles.com/g02-hub.com/downloads/en/100/aluk-rm01a/pf/pf/aluk-rm01a-hub-hm01a-04-22-000.pdf>
 Pg. 38
 image source - <https://www.kunststoff.de/en/techniques/doors/aluminium/aluminium-portal-100>

Alberg 1

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Client: **TG Dental Suite**

Job: **Change of Windows**
TC Dental Suite
15 The Square
Eards Barton
Northamptonshire

Drawing: **Proposed door details**

Revisions:

Drawn by:	HUC (M)
Scale:	1:50 (A3)
Date:	19/03/23
Job No:	24-001
Drawing no:	04

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