

Ref:23/02881/ADFULL Existing ridge replaced with Pinus Sylvestris ridge to support the ridge ventilator with existing ridge tile above.

Proposed Penryhn Heather Blue Welsh slates 4mm thick to match existing slates.

Proposed timber noggins in timber to match existing and brackets to fix rafters

Proposed steel beams to reinforce existing timber purlins, concealed in ceiling zone.

Proposed counter batten zone increased to ensure ventilation and prevent condensate forming on structural timber.

Proposed racking board, Pinus Sylvestris to match existing. To prevent twisting of timbers.

Ref:23/02881/ADFULL Facade refurbished with Portland stone coping on lead DPC

Ref:23/02881/ADFULL Facade refurbished leaning parapet reinforced / rebuilt to structural engineer's documentation

Ref:23/02881/ADFULL Parapet render repaired.

Ref:23/02881/ADFULL Existing gutter exposed to allow repair and replacement of roof timbers. Warm ventilated lead gutter to lead sheet association standards, to prevent condensation on roof timbers and underside lead corrosion.

Ref:23/02881/ADFULL Existing roof exposed to allow repair and replacement of roof timbers. Warm ventilated roof design to prevent condensation on roof timbers.

Ref:23/02881/ADFULL All surfaces to be redecorated and repaired.

Ref:23/02881/ADFULL Existing facade refurbished with lime render and paint finish.

Ref:23/02881/ADFULL Condition 9 Existing window frames to be refurbished and upgraded with slimline heritage double glazed panels, according to method statement.

Sec 01

Sec 01

01 As Proposed typical cross section of upper rafters  
Scale 1:5 @ A1

02 As Proposed part section of Roof 5. Repairs proposed the same for Roof 6  
Scale 1:10 @ A1

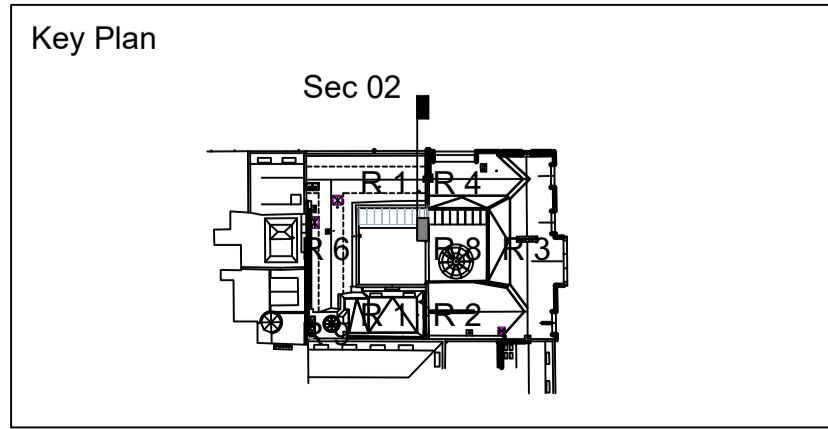


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**Notes**  
DO NOT SCALE. Use figured dimensions only. ALL contractors are requested to check all dimensions on site before proceeding. All discrepancies to be notified in writing to Seifermann. Dimensions are in millimeters unless stated otherwise. All levels are in meters above AOD unless stated otherwise. No areas indicated, or areas calculated from this drawing should be used for valuation purposes or as the basis for development contracts.

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p: +44 (0)20 7359 1793  
w: www.seifermann.london  
e: hello@seifermann.london



**CDM Information**  
The following information is provided in pursuance of the CDM Regulations. The information is to be read in conjunction with the Designers Hazard Log. Our aim is to identify significant risks, not necessarily those that involve the greatest risks, but those (including health risks) that are not likely to be obvious, are unusual, or likely to be difficult to manage effectively.

**CONTRACTOR TO ENSURE THEY ARE FAMILIAR WITH THE DESIGNERS' HAZARD LOG AND ALL NECESSARY PRECAUTIONS HAVE BEEN TAKEN PRIOR TO PROCEEDING.**

▲ Used to warn of significant design hazards and site risks  
● Used to encourage a particular action  
⊘ Used to avoid or prevent a particular action  
Ⓞ Used to convey some relevant CDM information

Rev	Date	Drawn	Check	Reason for Issue
00	19.01.24	DMi	DMi	Information
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Project: Hays Mews  
 Client: Confidential  
 Address: 41-43 Hays Mews London W1J 5QA  
 Drawing Title: Pitched roof 5 sheet 1  
 Scale: 1:5 & 1:10 @ A1  
 Status: PY

Drawing No: 2101-URA-DR-21005  
 Rev: 00

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