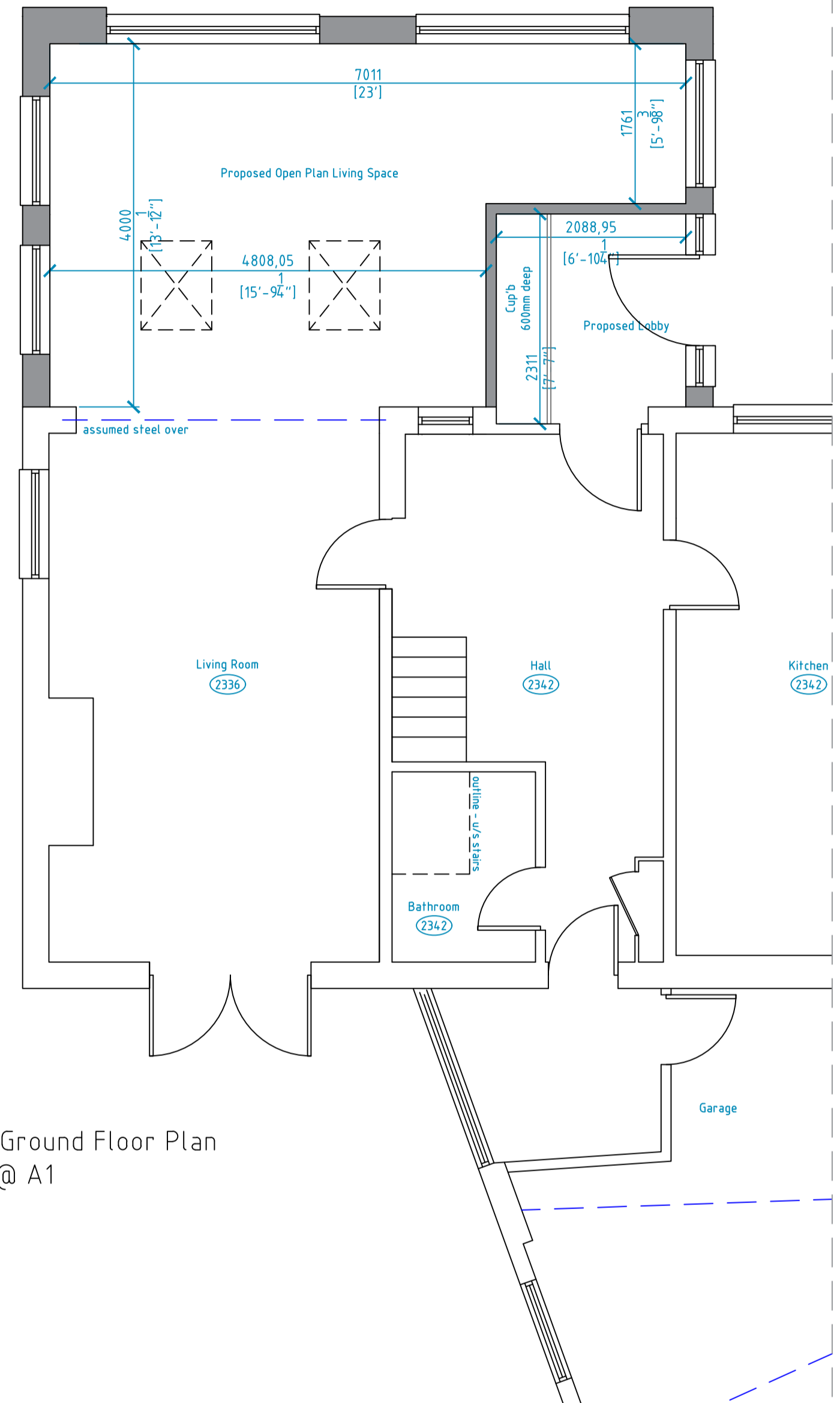
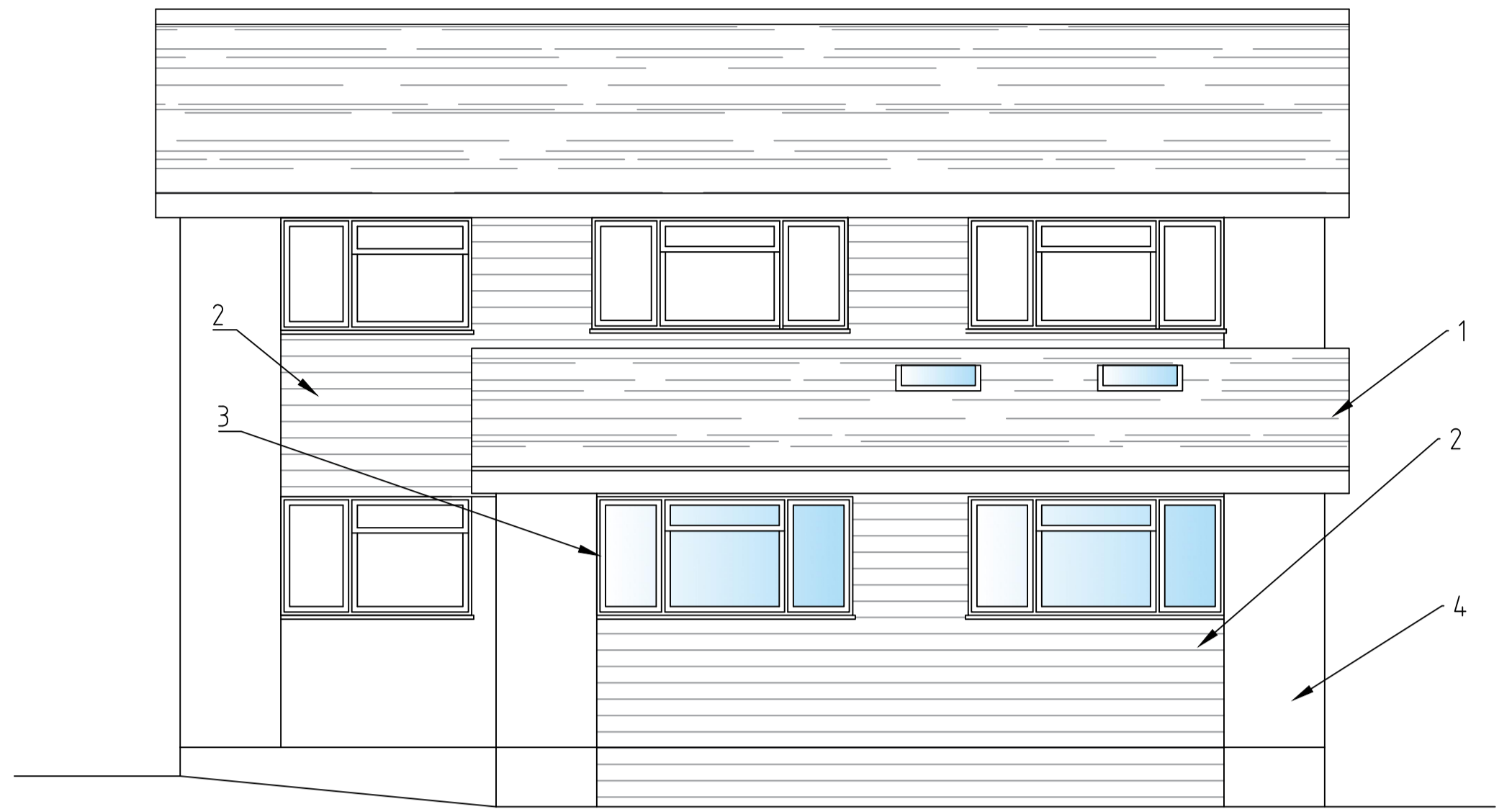


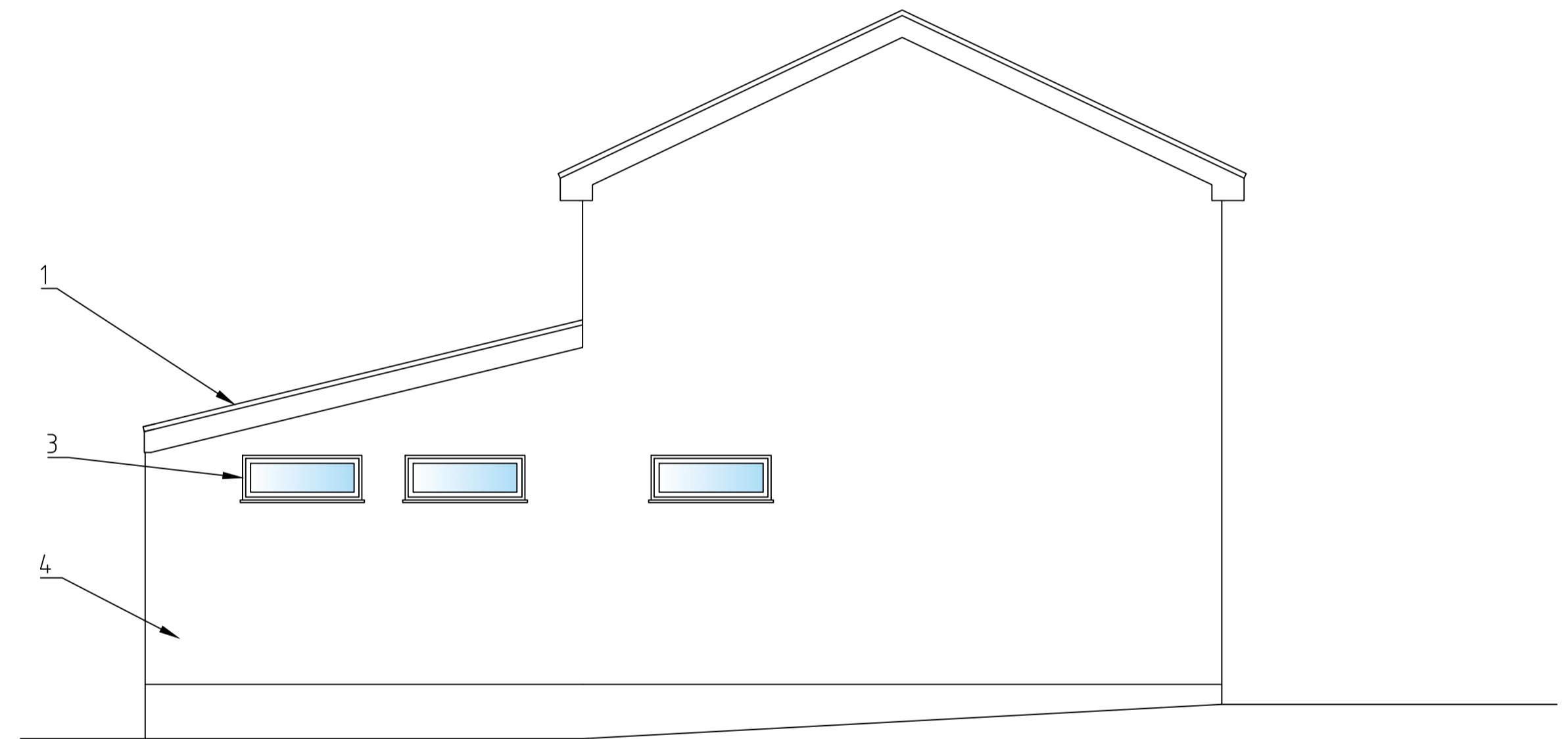
Notes:
 1. The Contractor is to be responsible for verifying all dimensions and details on site before commencing work.
 2. All figures and dimensions are to be taken in preference to any scaled dimensions.
 3. Any dimensions shown are to be taken to the face of the work unless otherwise stated.
 4. All work is to comply with the current Building Regulations, Code of Practice, Party Wall Act and the principles of good practice and construction in line with the requirements of the CDM Regulations.
 5. All proposed work is to be checked and approved by Building Control prior to commencement of work.
 The Contractor (Design and Management) Regulations 1996:
 1. To comply with the CDM Regulations, the Designer has a statutory responsibility to inform the Client of their necessary obligations.
 2. The Designer has a statutory responsibility to support the Planning Supervisor and to provide a Certificate for the proposed work.
 3. The Designer has a statutory responsibility to ensure that the proposed work complies with the requirements of the Building Regulations.
 4. The CDM Regulations are a statutory requirement and failure to comply with the regulations is a criminal offence.
 The Party Wall Act 1996:
 1. If you intend to carry out building work which involves one of the following categories:
 * Work on an existing wall or structure shared with another property.
 * Building a new wall on the boundary or a wall on the boundary with a neighbouring property.
 * Excavating near or under a neighbour's building.
 It is essential you obtain a Party Wall Agreement at an early stage of the project to identify whether the work will affect the neighbour's land. The Act also sets out the procedure for notifying affected neighbours.
 2. You must also ensure that you follow the proper legal procedure, including covering any work to be carried out through a court order or order of the High Court.
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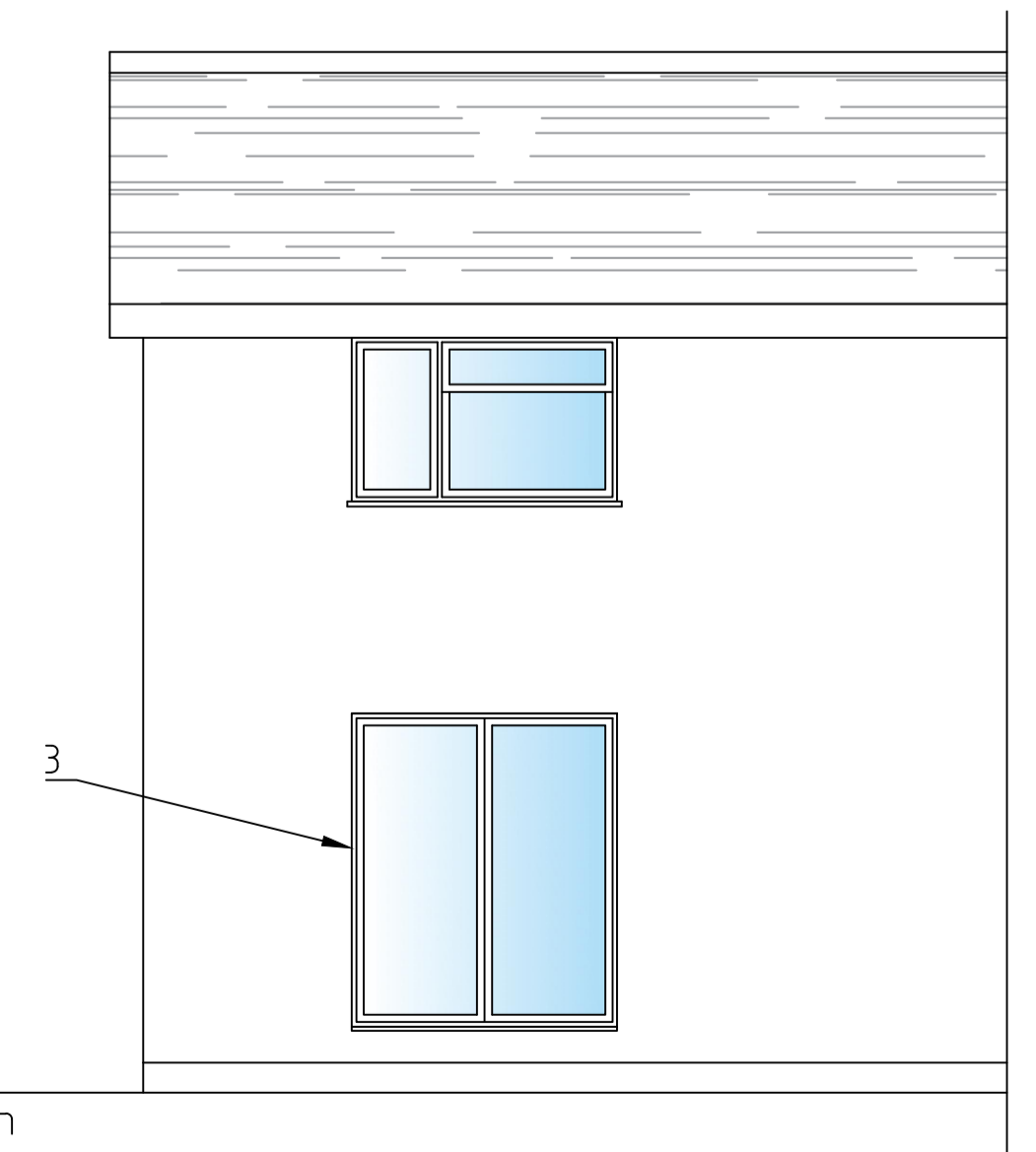
Proposed Ground Floor Plan
 Scale 1:50@ A1



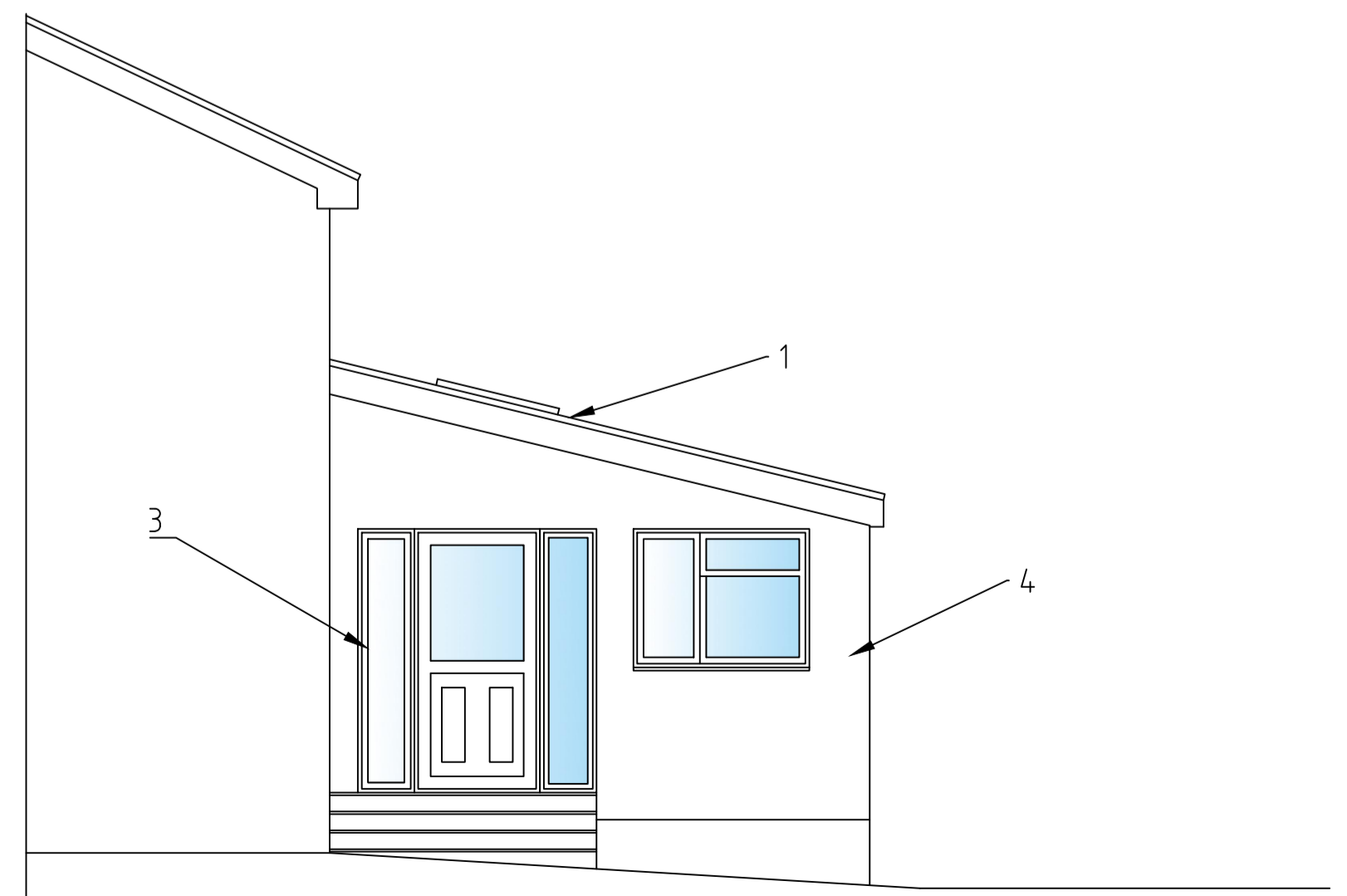
Proposed Front Elevation
 Scale 1:50@ A1



Proposed Right Elevation
 Scale 1:50@ A1



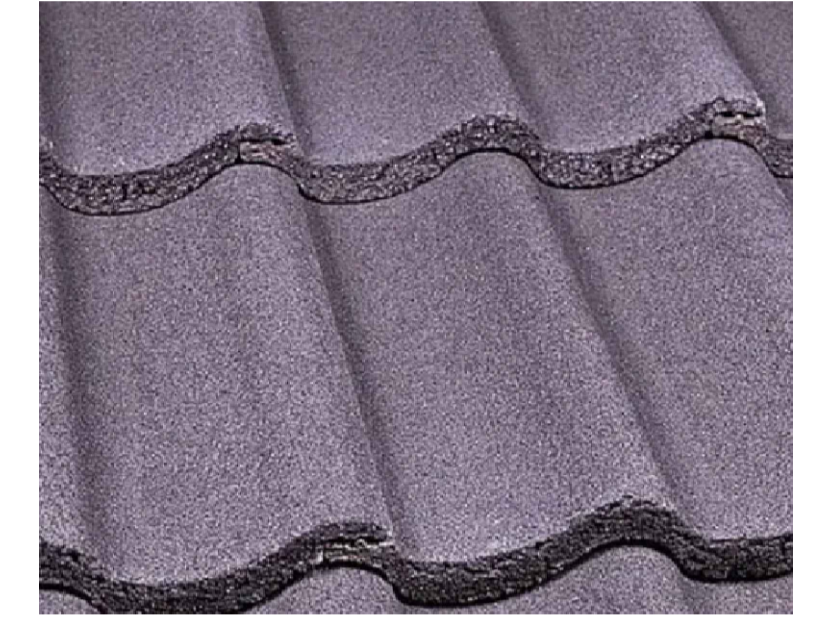
Proposed Rear Elevation
 Scale 1:50@ A1



Proposed Left Elevation
 Scale 1:50@ A1

Material list:

- 1: Marley 'mendip' 12.5° pitch tile - Antique brown



- 2: Hardie Plank Cement Fibre Board - Timber Bark



- 3: White UPVC frames

- 4: Island Stone (to be colour matched to existing property via Island Pavers)

CLIENT Jon Bailey			
Drawing Title Proposal			
Drwg. No. NA 24 / 169 / 02	Rev. C	Date Feb 2024	Drawn by Robbie North
Rev.	Description	Date	Drawn by
1:50	1	2	3
1:100	1	2	3
1:200	1	2	3
1:1250	10	20	30
Proposed Extensions 6 Fairhaven Close Bembridge ISLE OF WIGHT Tel: 07894 061505			

