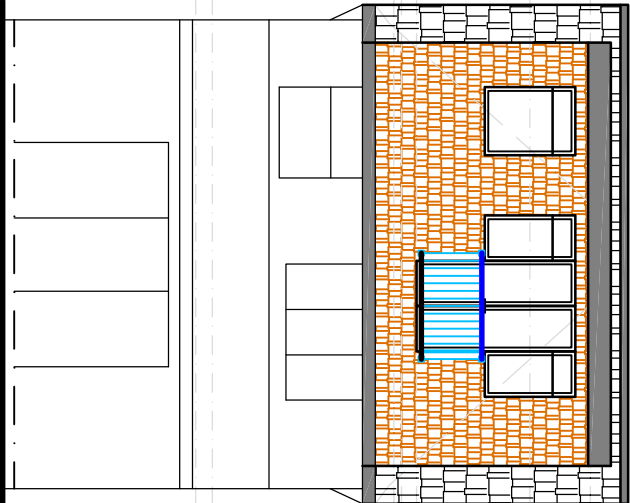


Proposed Front Elevation 1:100



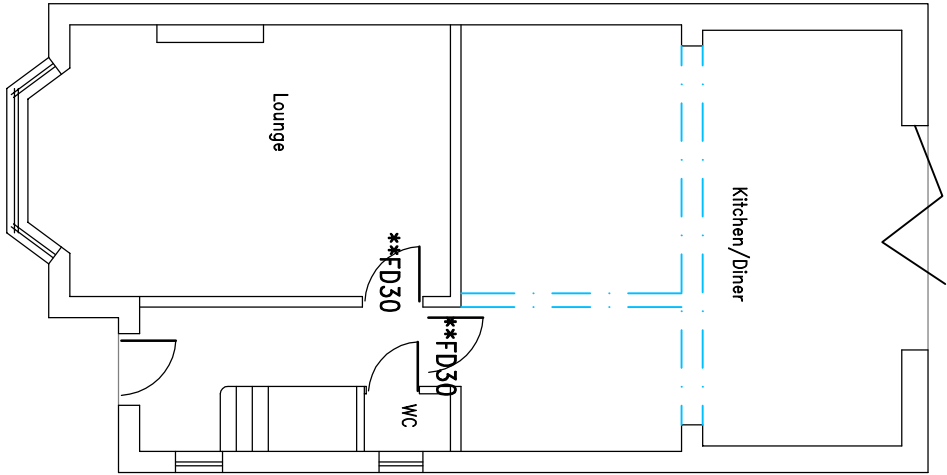
Proposed Rear Elevation 1:100



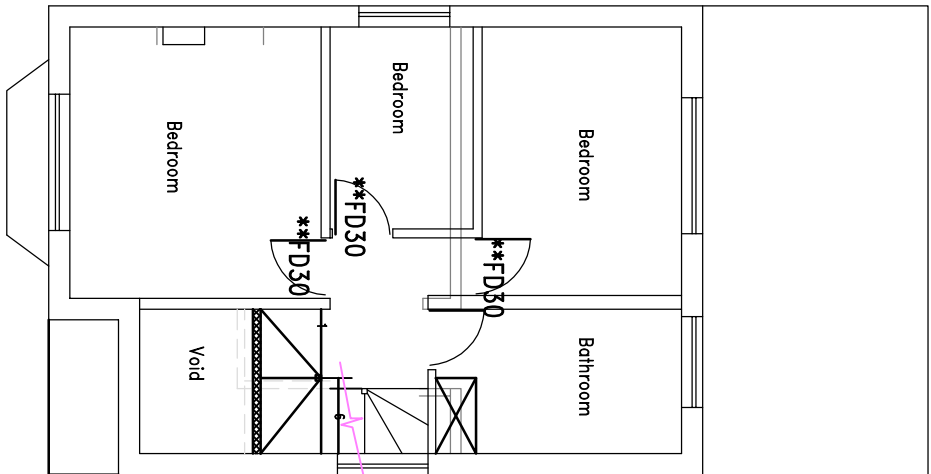
Proposed Right Side Elevation 1:100

**NOTES**  
Contractor to check dimensions and report any omissions and errors. The drawings are compiled for statutory Planning and Building Regulations only. The drawings may be used for part costing purposes, but the contractor must cost from his own site investigations. It is the Client's responsibility to employ a competent contractor.  
The Party Wall Act applies to work on an existing wall shared with another property, or a new building on the boundary with a neighbouring property, or an excavation near a neighbouring building. To satisfy the legal requirements of the Act the affected neighbour should be notified in writing of the proposal and their agreement sought prior to commencing building work.  
\*\*\* All dimensions to be checked and all construction to be kept within curtilage of property – any discrepancies to shown dimensions to be discussed with the Designer and Structural Engineer prior to construction. Correct when printed at A3 paper size. \*\*\*

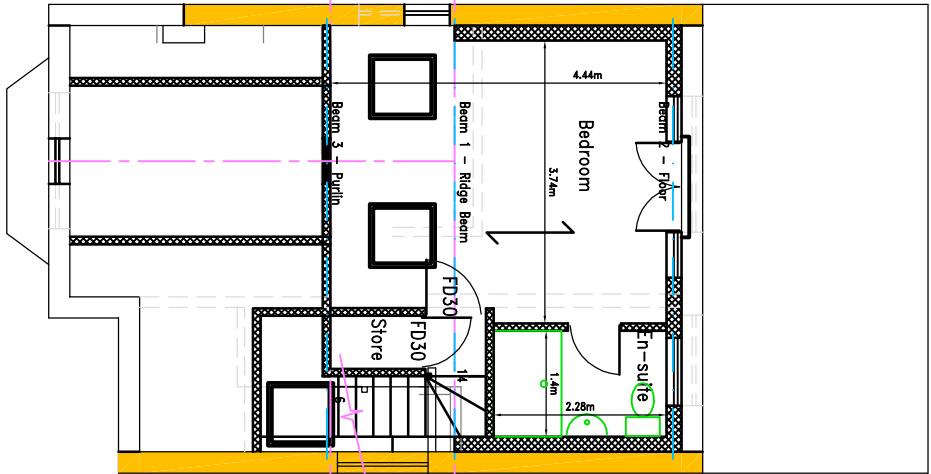
**FALLBACK POSITION** – The hip to gable conversion and addition of the rear dormer are within Permitted Development Rights. The application seeks raising the ridge line to ensure more suitable accommodation.



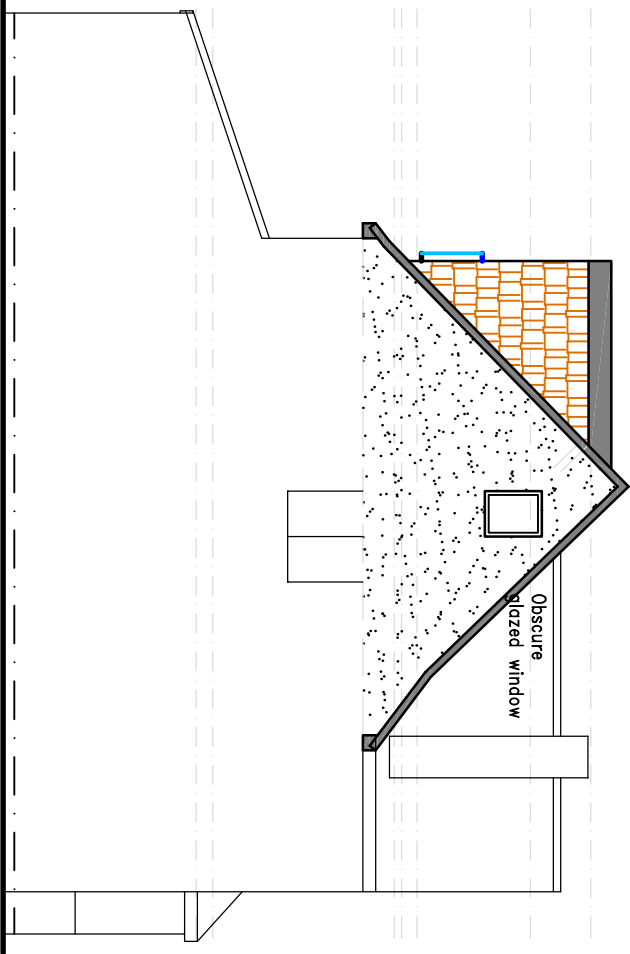
Proposed Ground Floor Plan 1:100



Proposed First Floor Plan 1:100



Proposed Attic Floor Plan 1:100



Proposed Left Side Elevation 1:100

- New 'U' Values from June 2022
1. Walls 0.18 W/m<sup>2</sup>k
  2. Roof 0.15 W/m<sup>2</sup>k
  3. Floor 0.18 W/m<sup>2</sup>k
  4. Windows/Doors 1.40 W/m<sup>2</sup>k