

Manor Barn Lucas Green Road West End Surrey GU24 9LY

22010

Extension & Internal Alterations

DESIGN, ACCESS, HERITAGE ASSET STATEMENT & ASSESSMENT OF PROPOSALS

This Statement has been prepared to accompany the application for Planning and Listed Building Consent for an extension and internal alterations to a Listed barn and its annexe submitted on behalf of the owner Mr. Nick Reeve. The design having been subject to extensive pre-application discussion with Surrey Heath Borough Council in order to achieve a design acceptable to the planning and conservation officers.



Front approach view as existing



Rear view barn and outbuilding

Design proposal



South Elevation

extension



North Elevation

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1. INTRODUCTION AND OUTLINE OF PROPOSALS

- 1.1 The application is for Planning and Listed Building Consent for an extension and internal alterations. The intention being to construct a link extension to enable the barn and its outbuildings to function as a single dwelling. The extension will enable a kitchen of a size appropriate to the property to be accommodated with a link formed between the barn and the present annexe. For a number of years the applicant has lived in the barn but slept in the outbuildings. Daytime use of the barn is followed by having to walk outside to go to bed in the outbuildings which is unsatisfactory. The proposed works would all help to ensure the building's long term viability thereby encouraging its maintenance and therefore the long term retention of this heritage asset.
- 1.2 The design has been refined through two pre-application submission to Surrey Heath Borough Council in order to achieve a design acceptable to the planning and conservation officers.

2. **IDENTIFICATION AND DESCRIPTION OF ALL THE HERITAGE ASSETS THAT MAY BE AFFECTED BY THE PROPOSED DEVELOPMENT AND ASSESSMENT OF THEIR HERITAGE SIGNIFICANCE**

DESCRIPTION

2.1 Manor Barn is a timber framed traditional barn which would formerly have been part of the working farm with the adjacent Lucas Green Manor being the principal residence. The barn was converted for use as a dwelling in 1987 and in the early 2000's outbuildings were demolished and rebuilt to provide ancillary residential accommodation.



Map shows the location of the application site (copyright Historic England)

2.2 Manor Barn is Grade 2 listed and the Historic England listing entry description is "Barn.C16. Timber framed on brick plinth with weatherboard cladding, brick on return walls. Plain tiled half hipped roofs. Rectangular, 3 bays with central opposing double doors; those to south in projecting gable. Pentice roofed extensions to return fronts, catslide roof extension across rear (north side). Included for group value only."

2.3 The Council's planning history for the property is:-

- 1987-0778 & 0779 Conversion of barn (Listed Building) as private dwellinghouse
- 1995-0429 - LBC for the insertion of three six-paned windows
- 2000-0096 & 0097 - Erection of detached double garage
- 2000-0948 & 0949 – Demolition of pigsty and erection of extension to outbuilding to provide ancillary residential accommodation
- 2001-0209 & 0208 - 1.8m fence

- 2001-1149 & 1150 Erection of a single storey extension to existing outbuilding to provide ancillary residential accommodation
- 2002-0337 & 0338 - Erection of a single storey garage and store following demolition of former calf pen building.
- PRE/22/0069 – pre application advice (for a version of the current proposal – initial scheme options 1 & 2)
- PRE/23/0021 – pre application advice (for a version of the current proposal – scheme option 3)

RELEVANT PLANNING POLICIES

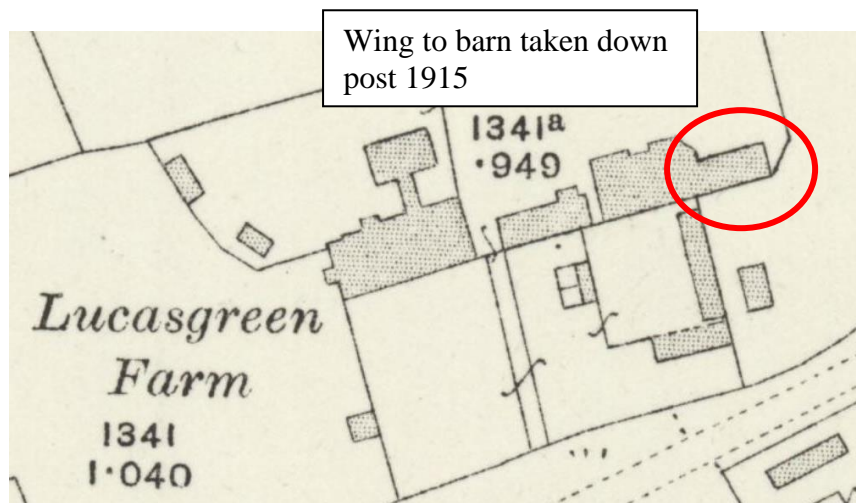
2.4 These being:-

- National Planning Policy Framework (NPPF)
- Planning Policy Guidance (PPG)
- National Design Guide (NDG)
- Policy DM2, DM9, DM17 of the Core Strategy and Development Management Policies Document 2012
- Residential Design Guide Supplementary Planning Document 2017 (RDG) Principles 8.1, 8.2, 8.3, 10.1 and 10.5

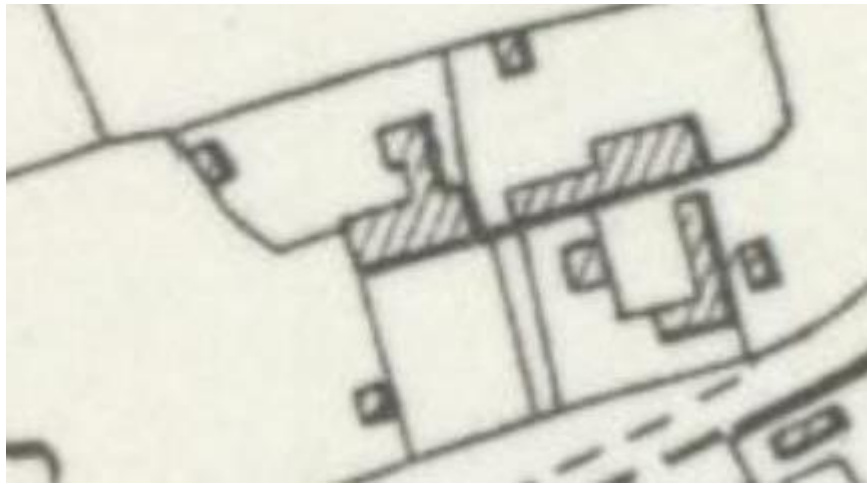
ASSESSMENT OF HERITAGE SIGNIFICANCE

2.5 The barn is Listed for its group value only but it is a good example of a traditional timber framed Surrey barn and its relationship to the adjacent Listed Lucas Green Manor is important as a historical record of farmstead development.

2.6 The conversion of the barn was sympathetically carried out retaining the main wagon door entrance and the double height space has been retained in the middle of the barn. At either end of the barn the spaces are more traditionally domestic in scale and appearance. The lean to outshot at the east end and where the proposed extension will connect is of little heritage significance having been remodelled when a wing was taken down sometime after 1915 and pre 1920 as shown by the Ordnance Survey historic mapping of the site., see 1915 & 1920 OS Map extract below.



1915 OS Map extract



1920 OS Map extract

- 2.7 It is important to note that the barn is only listed by virtue of its group value, meaning that an assessment was made at the time of listing that if the barn had not been part of the Lucas Green Manor it would not have been listed and therefore must be of a lesser heritage significance.
- 2.8 The present residential outbuilding is of little heritage significance having been newly constructed in the 2000's and merely hints at there having been always a number of outbuildings on the farm (the present residential outbuilding replaced a pigsty, the garage replaced a calf pen). Some earlier timber work from the demolished buildings was incorporated in the main room nearest the road.

3. THE PROPOSALS & ASSESSMENT OF THEIR IMPACT

Scope of work

- 3.1 Demolition – the only demolition would be the removal of a modern lean to external boiler store; the formation of a new opening in the north wall of the modern residential outbuilding and the opening up of the barn east wall for the proposed link. It is suggested that the barn east wall opening up is in a part remodelled in the 20th Century and of little historical significance.
- 3.2 The extension to the outbuilding is to be constructed in a traditional vernacular style from a simple palette of materials (matching brick walling, metal sheet clad pitched roofs and stained timber windows) to complement but subtly differentiate the new works from the existing buildings.
- 3.3 Barn internal alterations – the proposals also include the removal of the existing kitchen from the barn, which will now be accommodated within the proposed extension and the area will be used instead as a bedroom with partitioning added to enable an ensuite bathroom to be provided.
- 3.4 Annexe internal alterations – the proposals include internal partitioning alterations to suit a reconfiguring of the existing annexe layout.
- 3.5 The main planning considerations are likely to be:-
- Size of proposed extension and the impact on the character of the area and on the scale and character of the existing site
 - the impact on neighbouring amenity

- the impact on the character of the listed buildings

On each of these points we would comment:-

Impact on the character of the area and on the scale and character of the existing site

- 3.6 The extension is of a limited size, it is within the usual guidelines for increase in size relative to 'original' size and will have no impact on the character of the area.
- 3.7 The proposed extension is a modest increase in size to the existing outbuilding, with a discrete connection between barn and outbuilding and respects the scale and character of the existing site.
- 3.8 It should be noted that the 1915 OS map shows a large side extension to the existing barn (see extract at 2.6 above). The exact size of this has not been checked but that side extension does appear to be significantly larger than the extension currently proposed.
- 3.9 The two pre application enquiry responses have broadly accepted the proposed scale of development.

Impact on neighbouring amenity

- 3.10 The proposed extension will have no impact on neighbouring amenity.

Impact on the character of the listed buildings

- 3.11 The link connection is modest in size and the link and extension are to be constructed in modern materials to help differentiate the proposal from the existing buildings – all as discussed on site with the conservation officer and as recommended by her.
- 3.12 Positive benefits of the proposal also need to be considered. We would suggest that the new design will be an attractive addition and as such a positive benefit. By providing a link between the two buildings it makes the house overall much more usable and relevant for modern living and which will encourage the Listed building to be looked after, maintained and thereby protected for the future.

4. **CONSULTATION (PRE-APPLICATION ENQUIRIES)**

4.1 Consultation has been undertaken by submission of two pre application enquires. The reference numbers and the concluding advice received on each submission being:-

a) PRE/22/0069 – initial design schemes 1 & 2.



Scheme 1 (pitched roof link)

Scheme 2 (glass link)

The extension being broadly the same size on each but the link being a smaller glazed structure on Scheme 2. The pre application advice conclusion was *"It is likely an extension will be considered acceptable. Further details including a full Heritage Statement would be required to support the application and as outlined above scheme 2 is more acceptable in terms of the Green Belt and in line with the design approach"*.

b) PRE/23/0021 – design scheme 3



This design was for an extension further to the east away from the barn. The pre application advice conclusion was “*Compared to the previous pre-application, this proposal would not be supported due to the impact on Listed Building and would not be recommended to submitted a planning application*”.

4.2 Other general advice received in the second pre application enquiry which we would highlight has been:-

- a) **Impact on the Green Belt** - *If a planning application is submitted please submit original and proposed floor space calculation and volume calculation. While this proposal would link the dwelling and existing outbuilding together which would add built form and reduced views across the site. The increase in floor space taking in to account the single storey nature would, on balance, result in a proportionate addition to the original dwelling and outbuildings.*

NOTE –

Floor space calculation and volume calculation:-

(all figures taken from second pre application enquiry response)

- I. Size of original building including ground and first floor – 171 sq.m.
 - II. Size of original stable – 37 sq.m.
 - III. Size of original garage – 41 sq.m.
 - IV. Total original floor area (dwelling, stable and garage) – 249 sq.m.

 - V. Existing extensions which involved the conversion of the stable and garage to habitable accommodation – 25 sq.m.

 - VI. Existing total floor space(dwelling and outbuilding) – 274 sq.m.

 - VII. Proposed total floor space (dwelling, link and outbuilding) – 295 sq.m. which equates to an 18% increase over the total original floor area
- b) **Likely impacts on the host dwelling and character of the area** - *Both the Manor House as well as the barn are Grade II statutorily listed buildings. It is important to retain the existing hierarchy of the buildings as well as the different characters and the visual relationship between the main Farmhouse and the barn, reflecting their historic use and the traditional layout of the site.*

No concerns are raised to the metal roof works, as well as roofing material in terms of character, and the link is set at a suitable height at the interface (small link element only) with the main barn.

It is recommended that the outer wall needs (to be) set in and not extend beyond the eastern elevation of the outbuilding. A rectangular footprint created by extending the structure slightly to the north and the roofscape should be redesigned.

NOTE – the above points have been addressed with the submitted scheme design.

This proposal also includes the conversion of the existing kitchen, in the main Grade II listed barn, to a bedroom, different from option 1 and 2 consider under the previous pre-application. All exposed historic timber internally in the kitchen (and elsewhere) and what remains in the outbuilding would need to be retained. It is considered that the proposal should minimize intervention with and effects on, historic fabric especially at the interface with the main barn, but also in relation to

the outbuilding. Given the lack of detail as to what the conversion would involve in terms of the loss of historic fabric for the internal conversion an assessment of the impacts of the proposal on the significance of the Listed Building cannot be made. As such an objection subject to further detail is made on this element of the proposal. Clarification would also be required in respect to the changes proposed to the existing southern entrance door to the small outbuilding and would the door remain as it is externally but be blocked up internally or whether there would be external alterations.

NOTE – the above points have been addressed with the submitted scheme design. See annotation to ground floor plan drawing P201

- c) **Likely impacts on neighbouring residential amenities and future occupiers -** *The application site is located on large plot and it is unlikely the proposal would adversely affect the visual outlook of neighbouring properties or result in unacceptable levels of overlooking.*
- d) **Likely impacts on parking -** *The development would not involve any additional bedrooms and would not alter the parking requirements.*
- e) **Other matters –** *Due to the location of the site and historic building you likely will require a Phase 1 ecological survey.*
NOTE – *A Phase 1 ecological survey accompanies the application.*

Part of the site including the proposed extensions is located within Flood Zone 2 however the proposal would constitute minor development and a site specific risk assessment would not be required.

5. ACCESS

- 5.1 Access generally will be improved by the proposal by virtue of the buildings functioning as a single dwelling without the current need to step outside for access between the barn and outbuildings.

6. CONCLUSION

- 6.1 It is concluded that the level of harm of the proposal would be less than substantial and at the lowest end of the wide spectrum of harm which is identified as less than substantial, as set out in paragraph 202 of the National Planning Policy Framework. This harm could be described as minimal harm and the proposals to be acceptable.
- 6.2 It is our suggestion that this statement has served to help demonstrate the suitability of the proposal and also compliance with good conservation practice, relevant planning legislation and that it should be recommended for approval.

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