

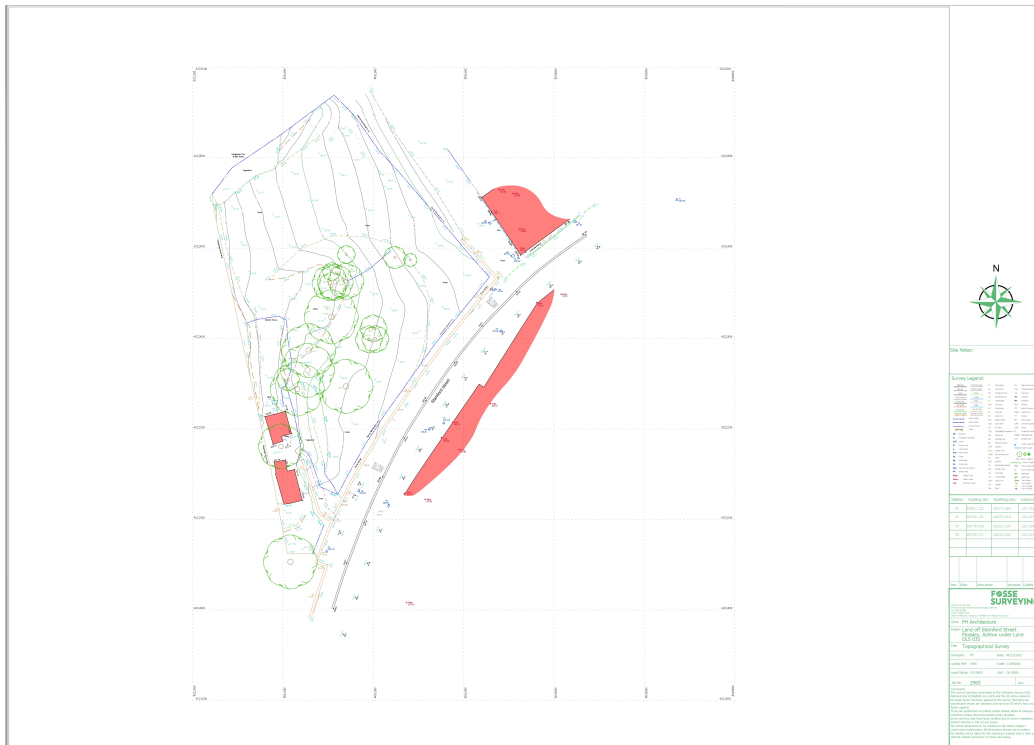
ANTHONY ROYLANCE LIMITED
Chartered Civil Engineers & Construction Consultants

**ENGINEER'S REPORT
ON
EXISTING OUTBUILDING
ON
LAND AT STAMFORD ROAD
MOSSLEY
AS AT
1st FEBRUARY 2024**

1B, Market Avenue, Ashton-under-Lyne, Greater Manchester OL6 6AR
Telephone 0161 343 2724 Fax 0161 339 0223 Mobile 07963 738616

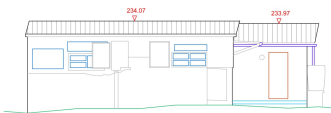
Terms of Reference:

A visual inspection of the outbuilding at land at Stamford Road Mossley, was carried out on 1st February 2024 so as to assess its stability in its conversion into a domestic dwelling





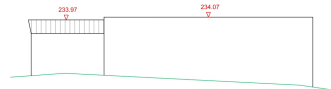
Elevation 1
Datum 230.00m



Elevation 2
Datum 230.00m



Elevation 3
Datum 230.00m



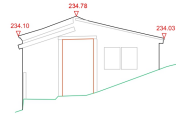
Elevation 4
Datum 230.00m



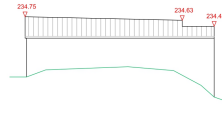
Elevation 5
Datum 230.00m



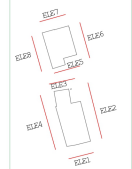
Elevation 6
Datum 230.00m



Elevation 7
Datum 230.00m



Elevation 8
Datum 230.00m



FOSSE SURVEYING

PH Architecture
Fjord Land of Stavfjord Street
Ridgely Astrom Under Lyne
1/1 Elevations

Project: 10-100000000
Client: PH Architecture
Date: 08/2023
Scale: 1:100
Drawn: 08/2023

1965

PH Architecture is not responsible for the accuracy of the data provided in this drawing. The user is responsible for verifying the data and for ensuring that the data is correct. PH Architecture is not responsible for the accuracy of the data provided in this drawing. The user is responsible for verifying the data and for ensuring that the data is correct.





Evaluation:

Typical to all External Panels:

The walls are typically constructed from loadbearing timber studding external clad

Inspecting the wall panels, we found no evidence of settlement or movement.



Roof Construction:

The roof construction is corrugated sheeting overlaying supporting timber purlins. Inspecting the roof construction, we found the same to be structurally sound and showing no signs of movement that would allow the ingress of the elements.

Ground Floor Slab:

The ground floor slab is concrete 'slab on solid' construction. At the time of our inspection the same was found to be structurally sound showing no signs of cracking or subsidence.

Proposals:

The existing timber framed walls will be re-clad in timber externally and lined internally with insulation and plasterboard, this will provide a robust external frame typical of a timber framed house. This will allow the roof to be strengthened and cladded in metal cladding as the architects plan.

The floor slab will be retained and insulated and screeded to meet building regulations.



Conclusions and Recommendations

It is our considered opinion that the structure, in its present condition is suitable for refurbishment.

We trust this meets with your approval

Yours faithfully

A Roylance

ANTHONY ROYLANCE

**Eur.Ing. A.Roylance.C.Eng. M.I.C.E
Chartered Civil Engineer**