

Design & Access Statement [1 of 2]

Proposed Alterations and Extensions

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Introduction

My family moved into No 9 Solesbridge Lane nearly 5 years ago, with a view to this property being our forever home. The dwelling has historically been a 3-bedroom semi-detached dwelling, with 3 no. double bedrooms upstairs and one bathroom downstairs. As a family of 5, and with an autistic daughter, it is imperative for us to increase and improve the living environment so that we can adapt for future needs and to create a comfortable and safe home which works for us. Our proposals seek to create more living and storage space at ground floor as well as providing an additional bathroom space at first floor. We propose that the existing outbuilding to the rear of the property will be converted into a home office and sensory room for our daughter.

We also own No.10 Solesbridge Lane, the cottage next door which is rented out and it is imperative for us, over the future years that the character of both cottages is retained. The proposals consider the character of the cottages as a whole. Whilst No.9 has much character to the front of the property, the rear is less so. In the 1980's the character to the rear was altered when the chimney to the rear gables of No. 9 & No. 10 were removed. You will note that the property has had minimal apertures window openings to the rear which was historically due to these cottages (and those further down Solesbridge Lane) not having a view to Lady Ella's estate which is now, as we know to be Chorleywood House grounds. Our proposals, not only seek to improve the living space of No. 9, but also seek to substantially enhance the side and rear elevations, however, ensuring that the character is retained which is fundamental to these cottages.

We have highlighted below the key changes and alterations as part of this planning application:

- Take down the existing single storey greenhouse and side/rear single storey conservatory.
- We have proposed a ground and first floor side extension to incorporate a side entrance hallway, utility room space and new bedroom space above at first floor.
- We have proposed a single storey rear extension, the majority of which will sit over the footprint over what is the existing conservatory.
- Proposed conversion of existing outbuilding into a Home Office and sensory space for our daughter.
- Proposed reconstruction of the existing red brick dwarf wall to the front of No. 9 include new metal estate fencing on the front boundary.
- Proposed replacement of the existing 1.5m fence fronting Donkey Gate and replacing it with a 1.8m timber close boarded fence.
- Proposed enlargement and replacement vehicular gates to No. 9 into Donkey Gate.



Image 1: View of No. 9 and No.10 Solesbridge Lane



Image 2: View of No. 9 and No.10 Solesbridge Lane

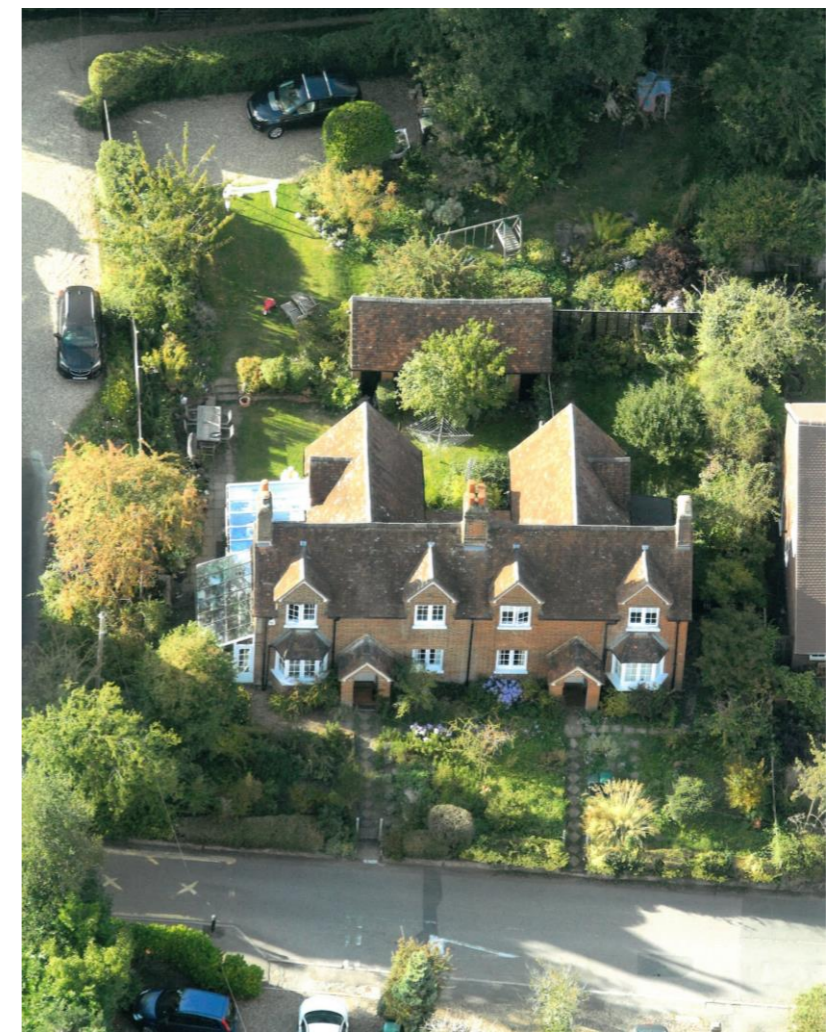


Image 7: Existing Aerial View of No. 9 & No. 10



Image 3: View of No. 9 Solesbridge Lane



Image 4: View of Existing Greenhouse



Image 5: View of existing Outbuilding.



Image 6: View of Rear Garden and Outbuilding.



Image 8: Front view of No. 9

3D Sketch Images

The 3D sketch below proposes the ground and first floor side extension which will have a much lower ridge height than the main cottage. Not only will the ridge height be set lower down, the side extension will be set further back on the footprint. Whilst the roof will include the same roof tiles as No. 9 & No. 10 (clay roof tiles) the intent is that the side extension remains subservient. To ensure that it remains subservient, we propose a black feather edged timber board which will sit on top of a lower level red brick dwarf wall. We have also proposed a series of timber sprockets for the eaves detail so that the intersection between the clay roof and timber boarding remains light weight. At first floor we propose a small conservation rooflight which will sit flush with the new clay roof. We have also illustrated the extent of the new front red brick dwarf wall on the boundary with estate fencing above.



1.0 Image 1 – Proposed Front Elevation 3D Sketch (View Looking North-West from Solesbridge Lane)

3D Sketch Images

The majority of the proposed view of No.9 Solesbridge Lane will be obscured by the trees, shrubs and greenery which reside on the No. 9 plot and along the boundary of Donkey Gate. You will therefore only catch glimpses of No. 9 as you approach coming down Solesbridge Lane. You will note the much lower ridge line and roofline of the proposed side extension with timber gable end and sprocket detailing. You will also note the proposed timber boarding, part of the side door and window to the proposed side extension along with the replacement timber boarded fence adjacent to Donkey Gate.



2.0 Image 2 – Proposed Front and Elevation 3D Sketch (View Looking North from Solesbridge lane)

3D Sketch Images

The attached 3D sketch illustrates No. 9 Solesbridge Lane with the proposed side extension set back and remaining subservient beyond with a lower ridge line. The proposed black timber boarding with contrast with the existing red brickwork of No. 9 & No. 10 Solesbridge Lane. The proposed dwarf red brick boundary wall and estate fencing above is also illustrated.



3.0 Image 3 – Proposed Front and Elevation 3D Sketch (View Looking South-West from Solesbridge lane)

Our proposals to the rear illustrate the proposed alteration to the existing rear gable including a new centrally located timber double glazed window at first floor. The proposed single storey rear extension to the rear includes a light and spacious vaulted ceiling. The proposed timber framed sliding doors, rectangular window above and proposed conservation rooflight not only allow plenty of natural light into the proposed family room space but also the existing kitchen. The proposed catslide roof and the roof of the first-floor side extension will include clay roof tiles and will be finished in black painted feather edged boarding, similar to the front elevation. The rear of the first floor side extension will include a new dormer window the proposed third bedroom.



4.0 Image 4 – Proposed Side and Rear Elevation 3D Sketch (View Looking East from Donkey Gate)

3D Sketch Images

You will note that our proposals seek to retain the first floor side elevation dormer window which will continue to allow light into this double aspect space. Our proposals illustrate the gradual stepping of the roofline down towards Donkey Gate where the existing rear gable to the rear but now including the new window remains very much the key gable and the proposed family room to the rear will include a much lower timber gable which will contrast to the larger gable on the left. The roofline steps further still with the introduction of the proposed side extension with much lower ridge line. Our proposals also illustrate the proposed pair of timber double glazed doors with timber shutters to the rear of the existing outbuilding/ proposed home office and sensory space, together with 2 no. conservation rooflights.



5.0 Image 5 – Proposed Rear Elevation 3D Sketch (View Looking East from Donkey Gate)

3D Sketch Images

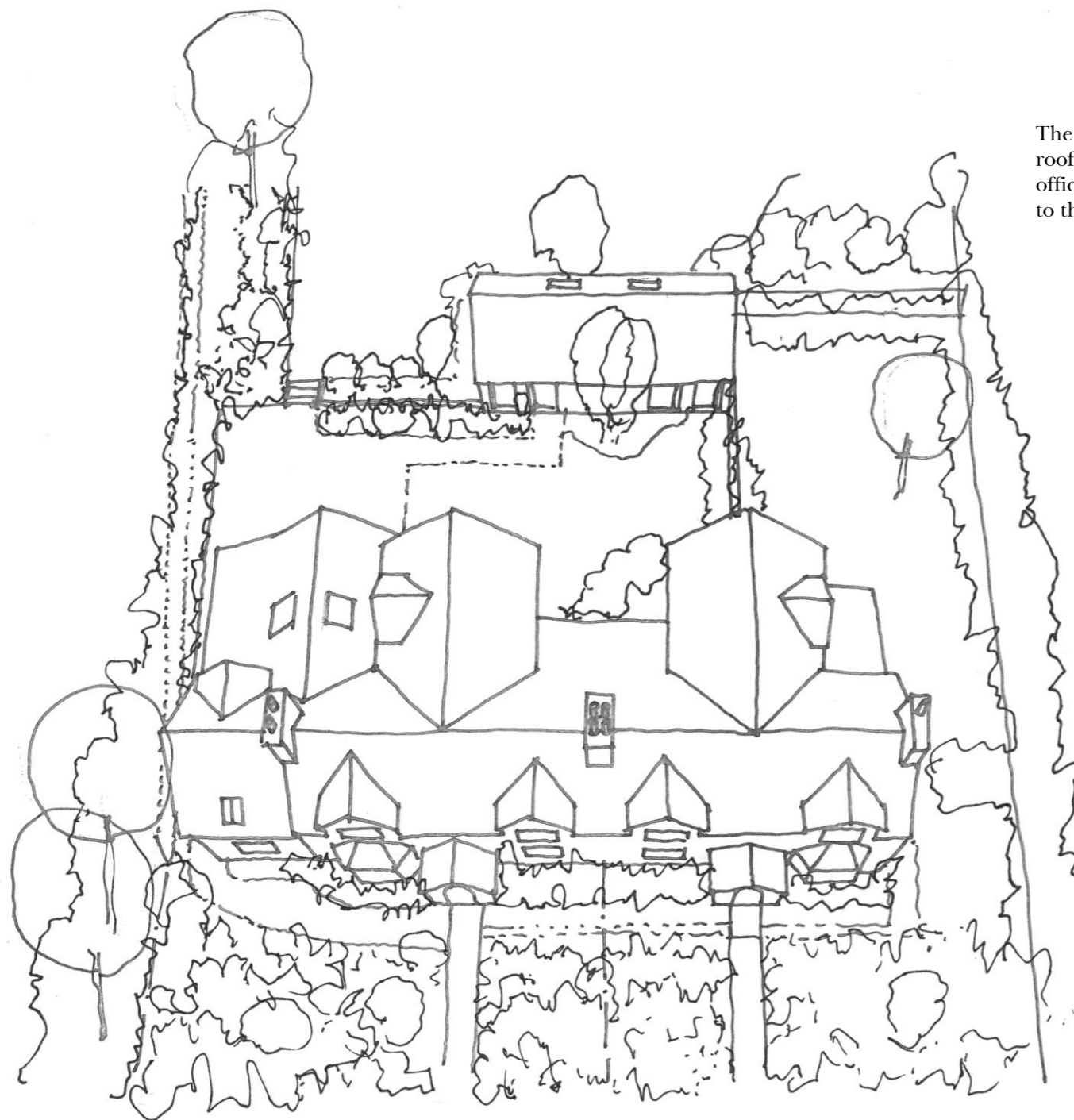
The proposed image illustrates the extent of the proposed side and rear extensions viewed from Donkey Gate. Our proposals indicate the proposed clay roof tiles and catslide roof with conservation rooflight. The proposed rear first floor dormer to the rear bedroom and lower ridge line are also denoted. The proposals illustrate the proposed black feather edged board to the proposed side gable end and single storey rear extension with gable to the rear. The proposed 1.8m high close boarded timber fence has also been illustrated.



6.0 Image 6 – Proposed Side Elevation 3D Sketch (View Looking North from Donkey Gate)

3D Sketch Images

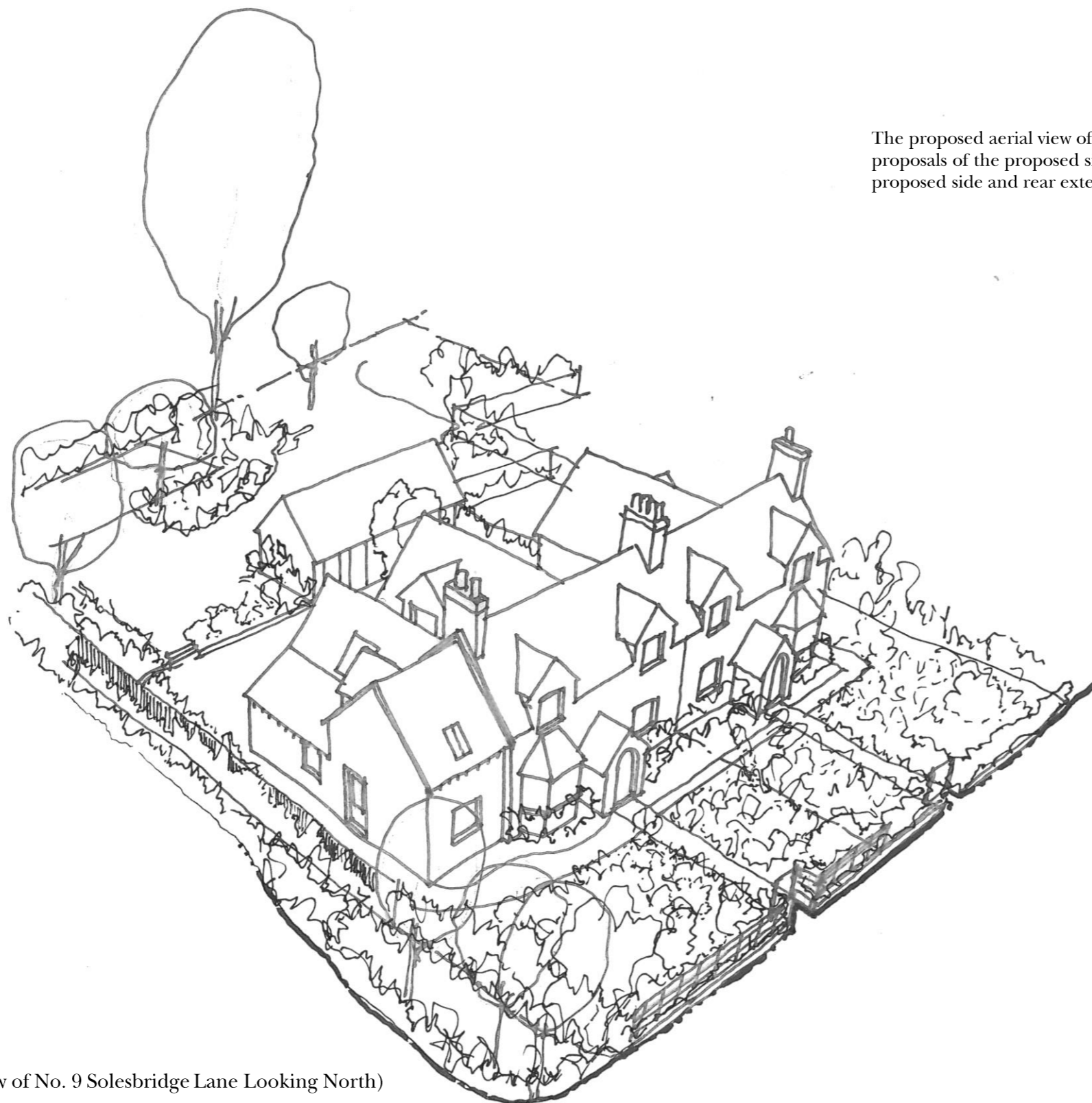
The proposed aerial view of No. 9 Solesbridge Lane illustrates the proposed roofline including the 2 no rear conservation roof lights to the proposed home office outbuilding as well as the proposed conservation rooflights and rear dormer to the proposed side and rear extensions.



7.0 Image 7 – Proposed Aerial View of No. 9 & No. 10 Solesbridge Lane)

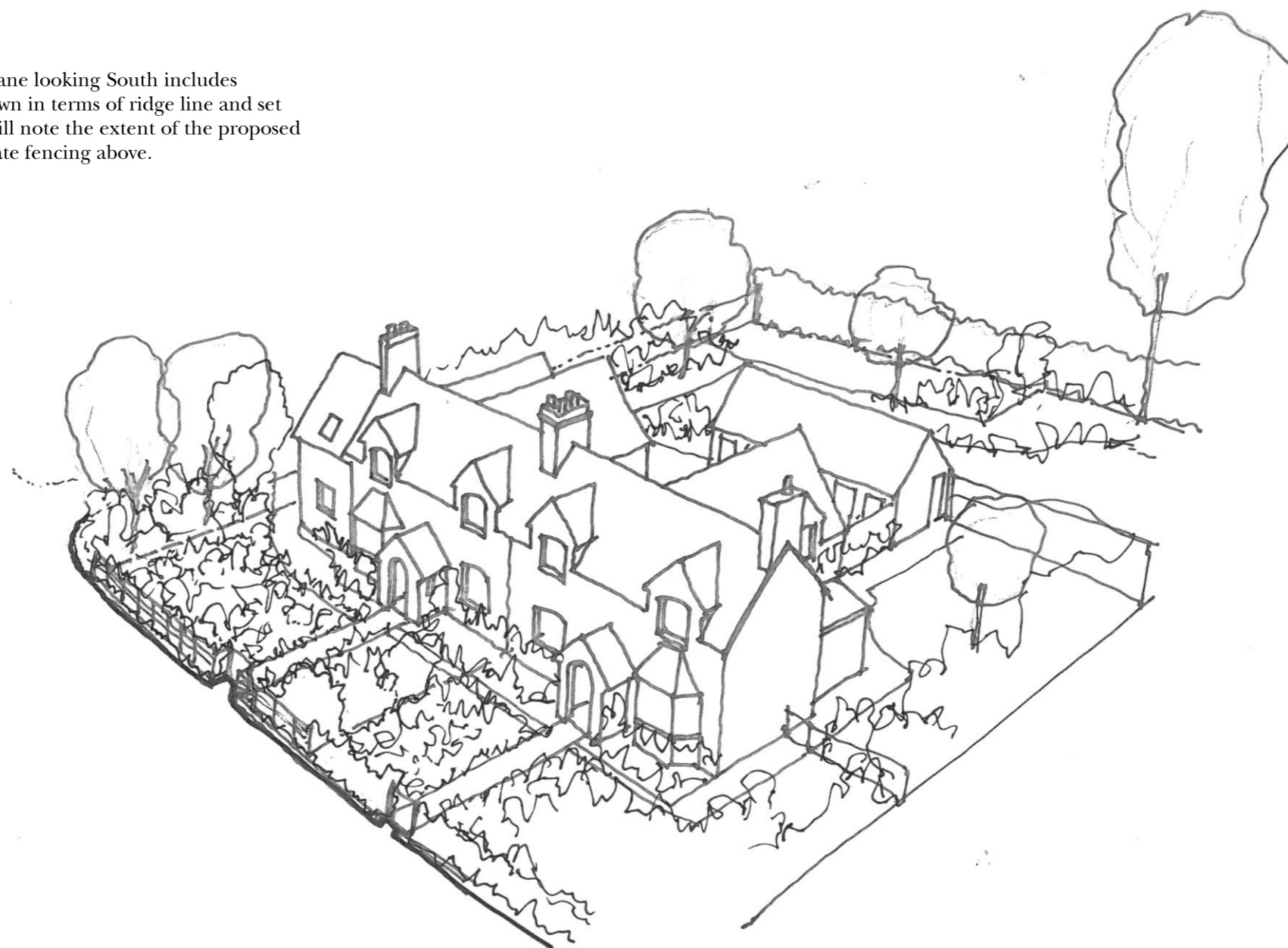
3D Sketch Images

The proposed aerial view of No 9 Solesbridge Lane looking North includes proposals of the proposed side and rear extensions. The 3D sketch images show the proposed side and rear extensions being subservient to the existing cottage.



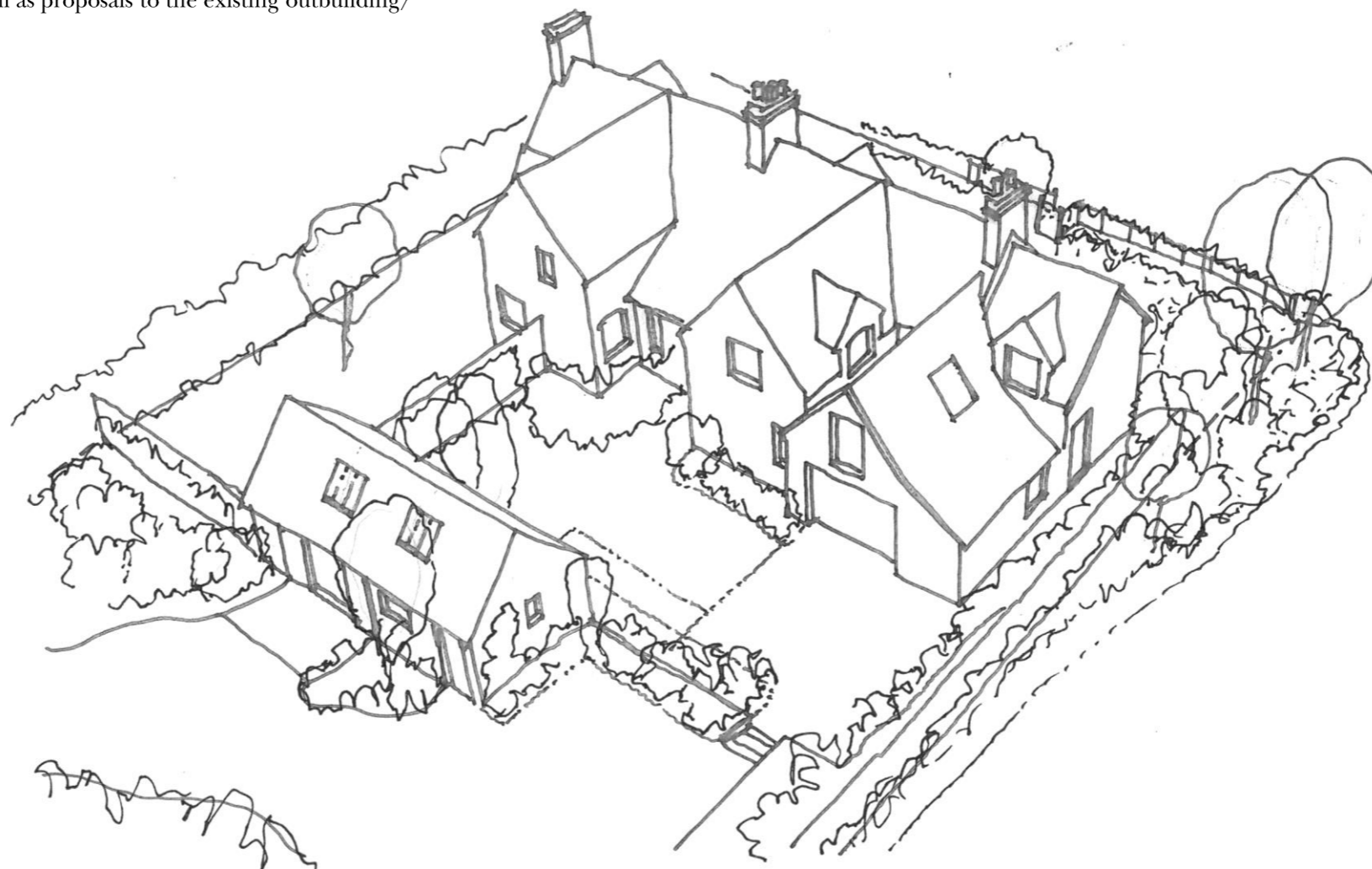
8.0 Image 8 – Proposed Aerial View of No. 9 Solesbridge Lane Looking North)

The proposed aerial view of No 9 Solesbridge Lane looking South includes proposals of the proposed side extension set down in terms of ridge line and set back from the footprint of no. 9 Cottage. You will note the extent of the proposed replacement front dwarf wall with proposed estate fencing above.



9.0 Image 9 – Proposed Aerial View of No. 9 & No. 10 Solesbridge Lane Looking South-West)

The proposed aerial view of No 9 Solesbridge Lane from the rear of Donkey Gate looking North West. The 3d sketch illustrates the proposed side extensions with proposed new additional rooflines as well as proposals to the existing outbuilding/ proposed Home Office.



10.0 Image 10 – Proposed Aerial View of No. 9 & No. 10 Solesbridge Lane Looking East)

The proposed aerial view of No 9 Solesbridge Lane and No. 10 Solesbridge Lane looking up Solesbridge Lane.



11.0 Image 11 – Proposed view of No.10 & No. 9 Looking up Solesbridge Lane)