

Harbour Edge 'Thy Marghas', South Cliff, Mousehole Heritage Statement + Heritage Impact Assessment



By Eric Berry
February 2024

Cover photographs: Harbour Edge and context from North Quay

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1 Application Information

Heritage Statement + Heritage Impact Assessment

Address: Harbour Edge 'Thy Marghas', South Cliff, Mousehole

Applicant: Jonathan West, Harbour Edge, South Cliff, Mousehole

Application: Alterations to Harbour Edge

Planning Application Number: PA24/not yet available

Application follows a 2015 permission (PA15/09243)

Agent: James Evans BA (Hons) Assoc RTPI - evansplanning.co.uk - 07763 007 794

Applicant: Mr James Evans [James Evans BA \(Hons\) Assoc RTPI evansplanning.co.uk](http://James Evans BA (Hons) Assoc RTPI evansplanning.co.uk)

submitted on behalf of Penwith Landscape Partnership:

Architect: ANDY TRAVERS RIBA DIRECTOR AT Architecture Ltd. The Front Lodge, Trewidden, Penzance,

Cornwall, TR20 8TS, tel: 01736 811 251, mobile: 07971 084 584, email: andy@atarch.com,

web: www.atarch.com

Historic Environment Advice Officer: Cornwall Council, Planning & Regeneration

Local Authority: Cornwall Council

Web: www.cornwall.gov.uk

Location: The site is located at OS grid reference SW 46913 26332

Statutory Status: Grade II Listed

2 Background

2.1 Report requirement

Eric Berry was commissioned to undertake a Heritage Statement + Impact Assessment of Harbour Edge, Mousehole. The report is in response to proposed alterations relating to a forthcoming Listed Building Consent application.

2.2 Designations

Harbour Edge is a Grade II Listed Building within the Mousehole Conservation Area.

3 Aims

The aim of this study is to present a brief historical appraisal of Harbour Edge, also, to assess the impact of the current proposals on its character and interest.

The Impact Assessment is a section within a Heritage Statement document that explains the impacts of a proposal and comments upon them.

4 Methods

The appraisal of Harbour Edge includes historic maps and photographs of the exterior and interior of the subject building, and context buildings within the village of Mousehole.

Please note that the inserted plans and photographs have been compressed to reduce file size to achieve a PDF report size of less than 10 MB.

All digital photographs have been edited using Photoshop Elements software; a selection of these is used to illustrate the report.

5 Building description

5.1 List Description - edited extract from The National Heritage List for England (NHLE)

Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1219346**

Date first listed: **07-Feb-1974**

List Entry Name: **THY MARGHAS**

Statutory Address 1: **THY MARGHAS, SOUTH CLIFF**

Location

Statutory Address: **THY MARGHAS, SOUTH CLIFF**

The building or site itself may lie within the boundary of more than one authority.

District: **Cornwall (Unitary Authority)**

Parish: **Penzance**

National Grid Reference: **SW 46913 26332**

Details

1498 MOUSEHOLE SOUTH CLIFF (East Side)

Thy Marghas SW 4626 10/238

II GV2. Early C19. Stuccoed and roughcast rubble. Slate hipped roof. 2 storeys and basement. Harbour front 2 storeys square bay window; small casement to right. Lean-to of 2 storeys to right. Street front, 1st floor 2 sashes with glazing bars, ground floor modern bow window. Side entrance. Included for group value.

The Lobster Pot Cafe and House and Thy Marghas form a group.

Listing NGR: SW4691326332

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: **69322**

Legacy System: **LBS**

Legal: This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

The scope of legal protection for listed buildings

This List entry helps identify the building designated at this address for its special architectural or historic interest. Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building. For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

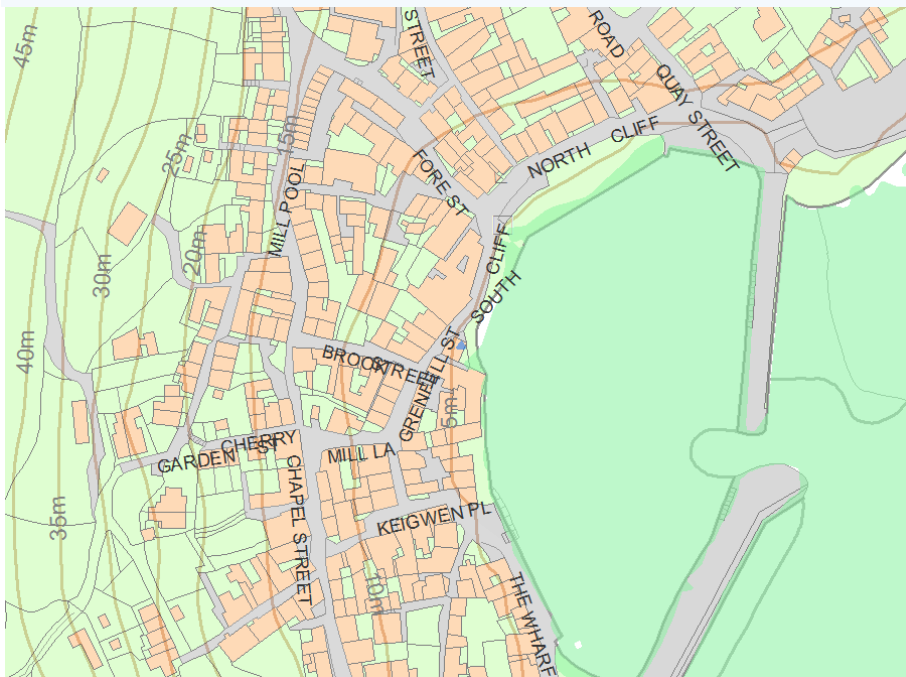


Fig 1: Listing Map

5.2 Building Type

Harbour Edge is a former probable fish cellar with two floors of accommodation above, currently used as a single residence.

5.3 Historical background

Harbour Edge is a circa early to mid C19 probable fisherman's house combined with a former fishing probable fish cellar in the basement. It is located probably on the site of an older building. The subject building is situated near the historic centre of the village. Mousehole (once called Porthenys) is the most westerly port in England. It dates from at least the fourteenth century, the presumed date of the medieval part of the South quay. In 1595 the village was mostly destroyed by fire caused during a Spanish raid.

Mousehole has always been a fishing village with probably the best survival of C18 and C19 small-scale former fish cellars in Cornwall. The fish cellars were combined with housing, often built around small courtyards with the fish cellars with pressing-floors in the basements and sail lofts and/or cottages above. A watercourse flowing through the village enabled leats that once provided water power for a small number of mills.

In the late C19 and early C20 the picturesque qualities of the fishing villages of Mousehole and Newlyn were recognized by many painters who captured the special light atmosphere and working character of the area. Many of these painters and craftspeople are now of international fame and their collective output is known as the 'Newlyn School'.

In the 1930s these villages were earmarked for almost total rebuilding as part of a government-led slum-clearance policy. In response to this threat the inhabitants of Newlyn, predominantly Methodist families working in the fishing industry, in 1937 initiated a campaign against the proposals and took a petition Parliament in London in a small 1919 oak-planked fishing boat ('Armada of One') called the 'Rosebud'. The campaign made headline news and was the subject of a BBC radio debate. Despite its national coverage this campaign appeared to have little influence on the Council's planners and many buildings in Newlyn were demolished in preparation for redevelopment. It was the advent of World War II that mostly brought the plans to a temporary end and ironically helped to save much of Newlyn and as a result most of Mousehole too. A substantial part of Newlyn was redeveloped after the war but subsequently more positive attitudes towards our historic environment and the rise of the conservation movement now help to safeguard our irreplaceable historic assets.

5.4 Historic Maps and 2005 aerial photos



Fig 2: Circa 1840 Tithe Map (insufficient detail to locate site)



Fig 3: Circa 1880 OS map (location of subject building circled). Most of the buildings shown on this map are still extant.

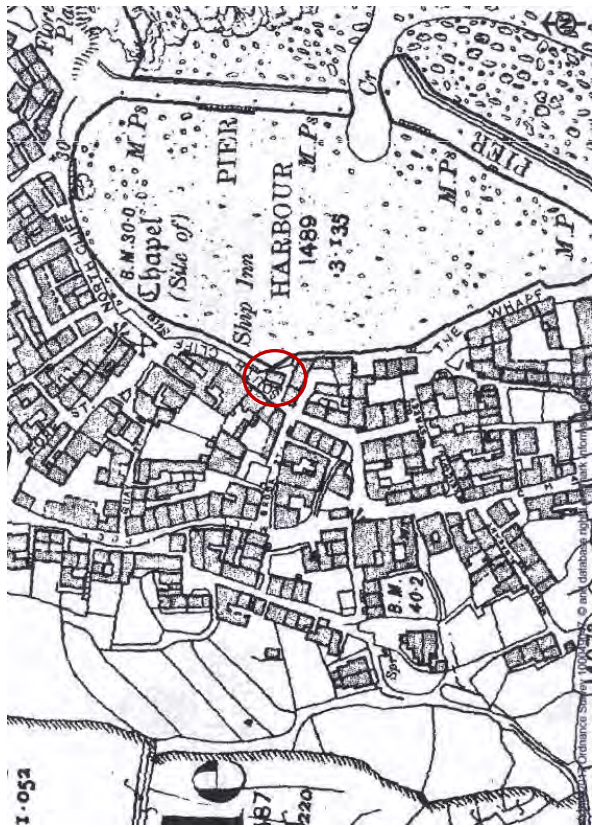


Fig 4: Circa 1907 OS map (location of subject building circled). Most of the buildings shown on this map are still extant.



Fig 5: Mousehole from north (location of subject building circled)



Fig 6: Mousehole from east (location of subject building circled)

5.5 Materials

Harbour Edge is built from local granite rubble with granite dressings to the SE and SW sides. The NE side is rendered over a C20 probable concrete block lean-to extension, the SE and SW sides are painted over granite except for the central area of the upper floors of the SE side that is render over probable timber frame construction above. The NW side has been extended in the C20 in probable concrete block to the ground floor and timber frame construction and is rendered with roughcast render to the upper floor and textured render below. The roof is laid with wet-laid scantle slate. There is a distinctive terra cotta finial over the main pyramidal roof. The pyramidal form of the roof possibly dates from when the building was extended or partly rebuilt to the NE.

5.6 Plan and plan development

The original slightly irregular square plan within thick stone walls survives to the basement of Harbour Edge. There is a chimney breast to the SW side. The ground floor plan repeats the basement plan to its NE and SW sides and much of the thick wall survives to the NE side plus a circa 1900 lean-to extension to its NE. The upper floor shares a similar plan form to that of the ground floor. The plan of the ground and first floors is deeper to the north-west, possibly original to the design of the building or an early extension. If it is an extension the whole roof would have been replaced to its present pyramidal form.

5.7 Exterior (Photos 1-18)

Fenestration and external doors are C20 in historic styles.

NW elevation

The 2-storey rendered NW elevation is the street frontage and there is a large 4-light casement window to ground floor and a pair of C20 16-pane horned sash windows above. This elevation (plus the short returns to the left and right) is constructed from textured rendered concrete block at ground-floor level and roughcast render on timber frame above. This whole structure has probably been rebuilt in two phases in the C20.

SW elevation

The 2-storey SW elevation is painted stone to most of its length but rendered to the far left (see previous paragraph).

SE elevation

The 3-storey SE elevation is the original granite construction except for the central part of the upper floor that is render over timber frame between painted stone of the ends of the SW and NE walls. This upper part is a rebuild of probably the mid-late C20. At basement level there is a doorway left of centre with partly glazed door and there is a rectangular plan bay window above the doorway each bay with paired horned sash windows to the front and similar horned sashes to the sides. The bay window is carried on slender steel stanchions. Right of the doorway is a 2-light 12-pane casement window to each floor. Angled back on the right built on short length of harbour wall is a 2-storey circa 1900 extension to the original building with a 12-pane casement window to the ground floor and a 12-pane horned sash window to the first floor.

NE elevation

The NE elevation is 2 storeys to the left of what is a circa 1900 lean-to extension canted to its left and set back on the right to the original building is a 2-storey entrance bay with top glazed door to ground floor and blind walling above. Ground Floor has a 12-pane window towards the left. First Floor, towards right, has a 9-pane casement window with top-opening light. Old photographs show the lean-to with a wide window to the upper floor, designed as a workshop window with narrow lights with vertical glazing bars (and probable small panes of glass) and one vertical mullion dividing the window into two unequal parts.

5.8 Interior (Photos 19-66)

The floors appear to be replacement of the original floors. The ground floor room has ceiling joists. Roof structure not inspected but likely to be a C20 replacement. Wall surfaces are plastered. Main dog-leg staircase is C20 in traditional style with slender turned balusters. There is a chimney breast to the SW wall that rises through each floor. Originally, there were probably fireplaces to the ground and first floors.

5.9 Village Context (Cover Photos, Photos 1-18, and Photos 67 and 68)

Harbour Edge enjoys a prime position overlooking the harbour of Mousehole and from the piers of the harbour it is a prominent building that complements the historic grain of the Village. Mousehole has a predominance of former fish cellars and other buildings relating to what was once its principal industry. Harbour Edge is an example of a probable former fish cellar with accommodation above.

6 Statement of Significance

Harbour Edge is Listed Grade II and has a significant position central to the Conservation Area of Mousehole. The building has lost some of its original features but retains its overall form and character that positively contributes to the historic character of the Conservation Area. Traditional features that survive include extensive areas of painted stone walling and scantle slate roofs. The context of the building is important as it stands over an important part of the harbour wall that fronts the village buildings onto the harbour area. This part includes a fine flight of granite steps and remnant survival of a former narrow flight of granite steps.

7 Sources

Principal sources:

Historic maps

Heritage Gateway

Publications:

Berry (Eric) and Cahill (Nick): Mousehole historic settlement survey 2007 for the Victorian County History

Berry (Eric) and Cahill (Nick): Keigwins, Mousehole (Keigwin and Little Keigwin including their relationship with adjacent and associated buildings including the Old Standard) January 2007

Sagar-Fenton (Michael): The Rosebud and the Newlyn Clearances, 2003

Sagar-Fenton (Michael): Penlee - The Loss of a Lifeboat, 2021

Chesher, V.M. and F.J. The Cornishman's House, 1968

Pevsner N (founding editor) and Beacham P, The Buildings of England, Cornwall 2014

Websites:

The National Heritage List for England (NHLE)

NPPF National Planning Policy Framework, December 2023

8 Impact Assessment

Harbour Edge is currently divided so that the basement (Lower Ground Floor) cannot internally access the other floors. To enable the building to function as a single residential unit It is proposed that a staircase is fitted to link the ground floor with the basement. This will involve minor changes to the existing layout all within the existing circa early twentieth century lean-to addition. Other proposed changes include raising the courtyard wall with granite coping to fulfil health and safety requirements of Building Control. Otherwise, the alterations include some window repair or replacement of existing 20th century windows. Most of the proposed works will involve no loss of historic fabric and most are reversible.

Schedule of Works

First Floor

New casement window with slim-line heritage glazing to match existing side extension windows fitted to first-floor shower/WC room, NE elevation.

Existing scantle slate roof of lean-to to be inspected for repair or replacement to match existing.

Ground floor

New structural post and beam to hold floor structure(see proposed plan).

New painted dado with hardwood sill at 1.2 m high to NE side of SE room.

Boiler to be replaced and resited to the left.

Floor level (small area) lowered to form new stair between ground floor and basement, the main flight landing under existing upper flight of first-floor stairs
New traditional design open porch (roof) carried on brackets and with traditional scantle slate roof to match existing roofs. Designed to provide shelter by entrance door.

Basement (Lower Ground Floor)

New opening to new staircase within lean-to to gain internal access from basement to ground floor.

Enlarge shower/WC room to SE to enable better function of this ensuite room space.

Basement Courtyard

Raise level of parapet/harbour wall to the east by adding dressed granite copings to the existing granite rubble walling. Remove dressed granite steps to SW end of courtyard, make good walling at head of steps and reuse step to parapet wall.

Repairs to SW end of courtyard including repairs to balustrade and redecoration of surfaces.

Comments/Assessment

First Floor

Significant improvement to function of room space allowing natural daylight and ventilation and contribution to the sustainability of Harbour Edge. Minor visual impact from the NE and arguably adds to the visual interest.

Possibly no impact but if roof is replaced it should look as good as the existing roof and be more durable.

Ground Floor

Minimal intervention to maintain structural integrity.

Enhancement to room space.

Essential to enable stair addition and changes. No negative impact.

Minimal plan changes and efficient use of space to enable communication between floors and to add greatly to the sustainability of Harbour Edge.

Minor visual impact from the NW and NE and arguably an enhancement to the entrance bay elevation.

Basement (Lower Ground Floor)

The staircase design involves well designed changes to enable access between floors whilst retaining all the essential facilities within the lean-to. The changes enhance the sustainability of Harbour Edge.

Clever plan change that benefits from the position of the new stair access. Enhancement to the sustainability of Harbour Edge.

Basement Courtyard

This proposal is essential for safe use of the courtyard and the new coping will strengthen the wall top and greatly improve its appearance. The proposal does not include any changes to the historic harbour wall steps outside the property.

Enhancement.

8.1 Recommendations

This building has undergone many changes in the past. The current proposals are designed to maintain the surviving character and interest of the building, and to make minor changes that should ensure a more sustainable future for the building. The proposals are in the best interest of the building, and it is therefore recommended that the current application gains consent subject to appropriate planning conditions.

8.2 Architect' drawings

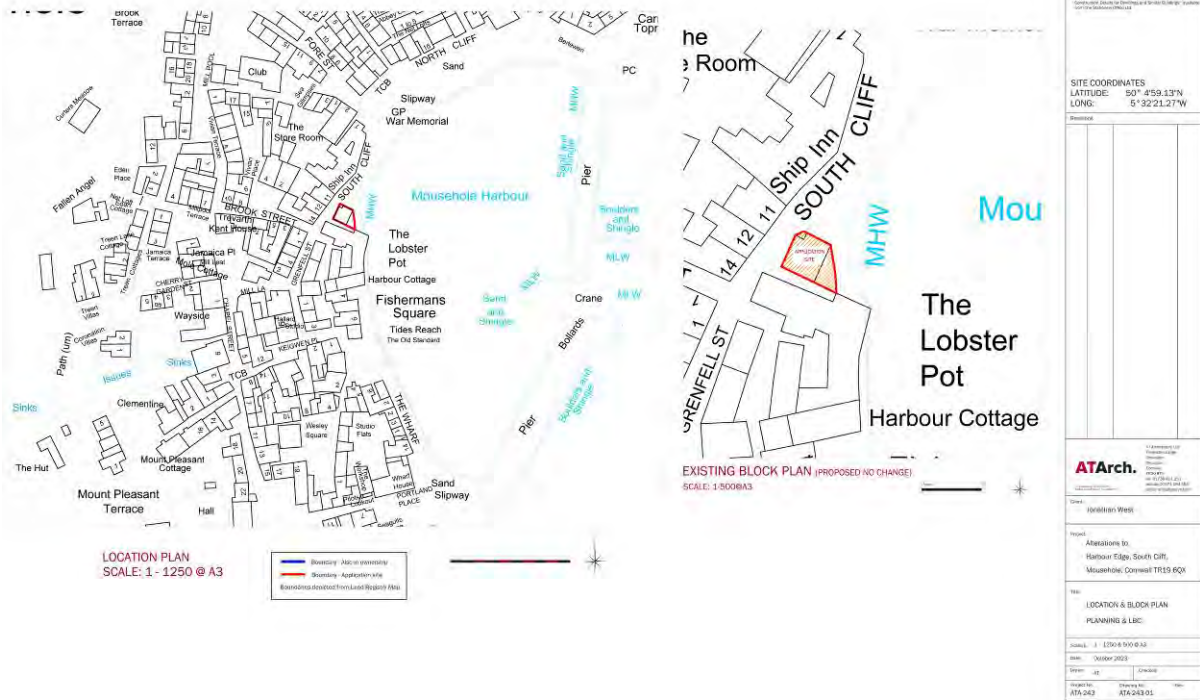


Fig 7: Location and Block Plans



<p>Notes</p> <ol style="list-style-type: none"> 1. The drawings are prepared for the purpose of providing information only and are not to be used for any other purpose. 2. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 3. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 4. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 5. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 6. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 7. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 8. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 9. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 10. The drawings are prepared on the basis of the information provided to the architect and are not to be used for any other purpose. 	
<p>SITE COORDINATES LATITUDE: 50° 42' 13" N LONG: 5° 32' 21" W</p>	
<p>Project</p>	
<p>ATArch.</p>	
<p>Project Name</p>	
<p>Project</p>	
<p>Extensions & Alterations to Kenilworth Edge South Cliff Mountaineer Commercial TR19 8QX</p>	
<p>EXISTING SITE PLAN: PLANNING & IBC</p>	
<p>Revision: 1: 10/19/23</p>	
<p>Date: 08/09/2023</p>	
<p>Scale: 1:100</p>	
<p>Project No: 2304/03</p>	
<p>Drawn By: JES/243-03</p>	

Fig 8: Existing Site Plan



Fig 9: Existing Floor Plans

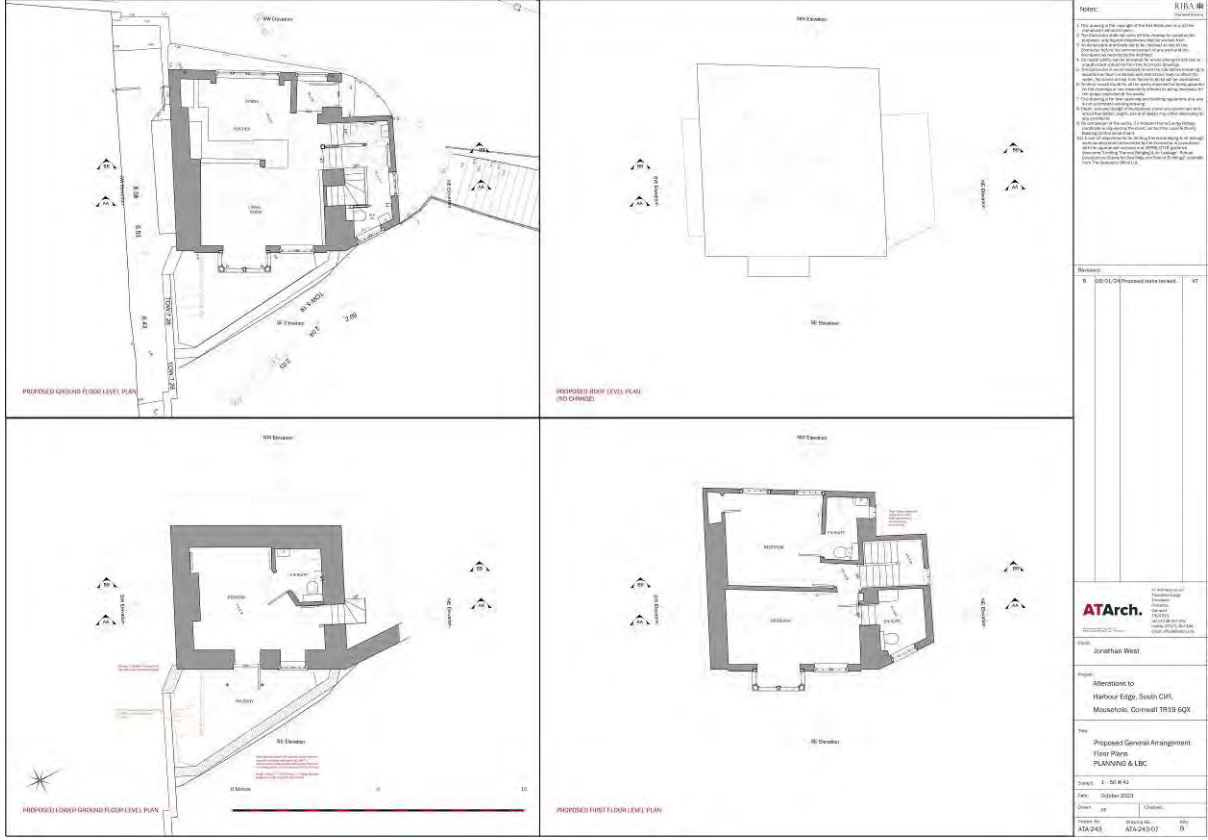


Fig 10: Proposed Floor Plans

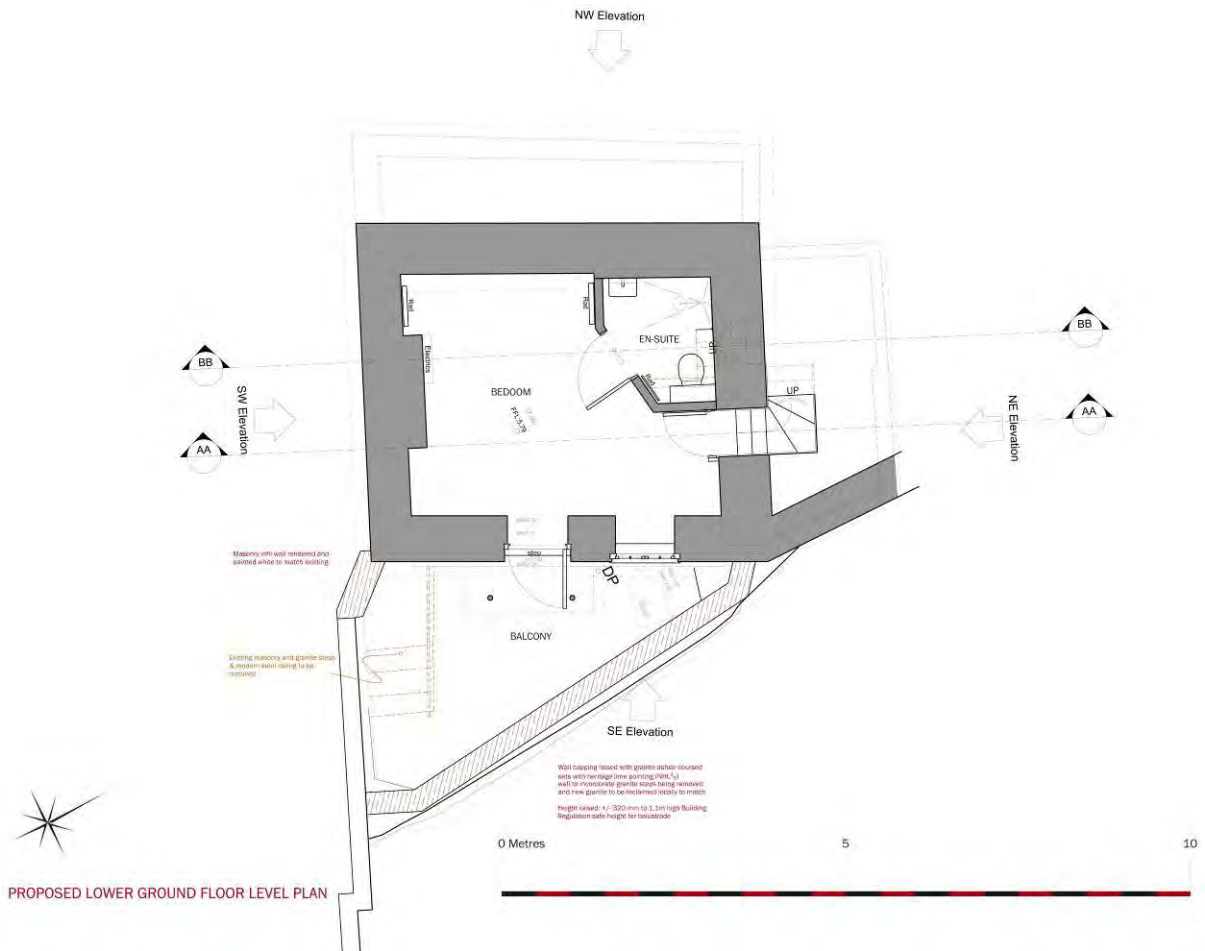


Fig 11: Proposed Lower Ground Floor Plan

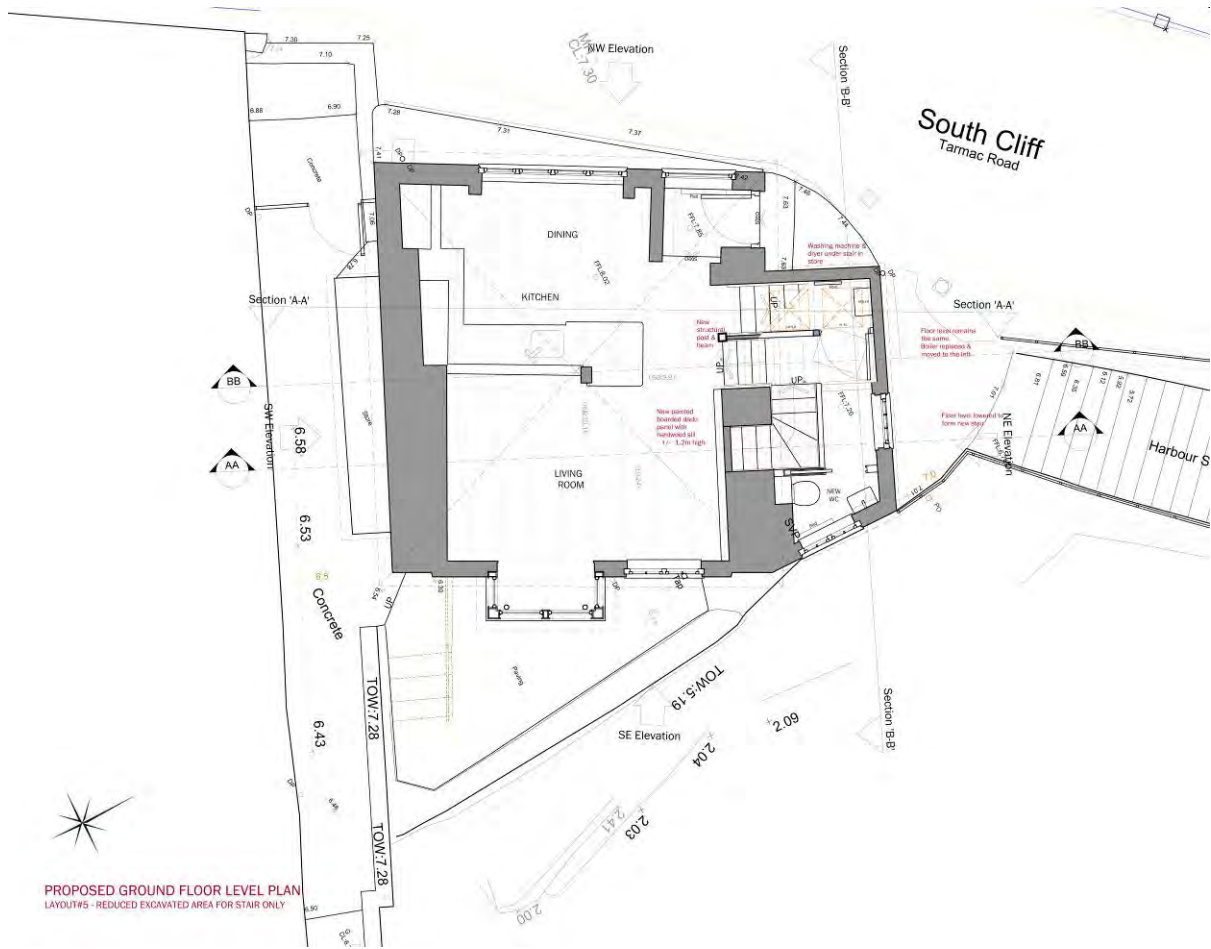
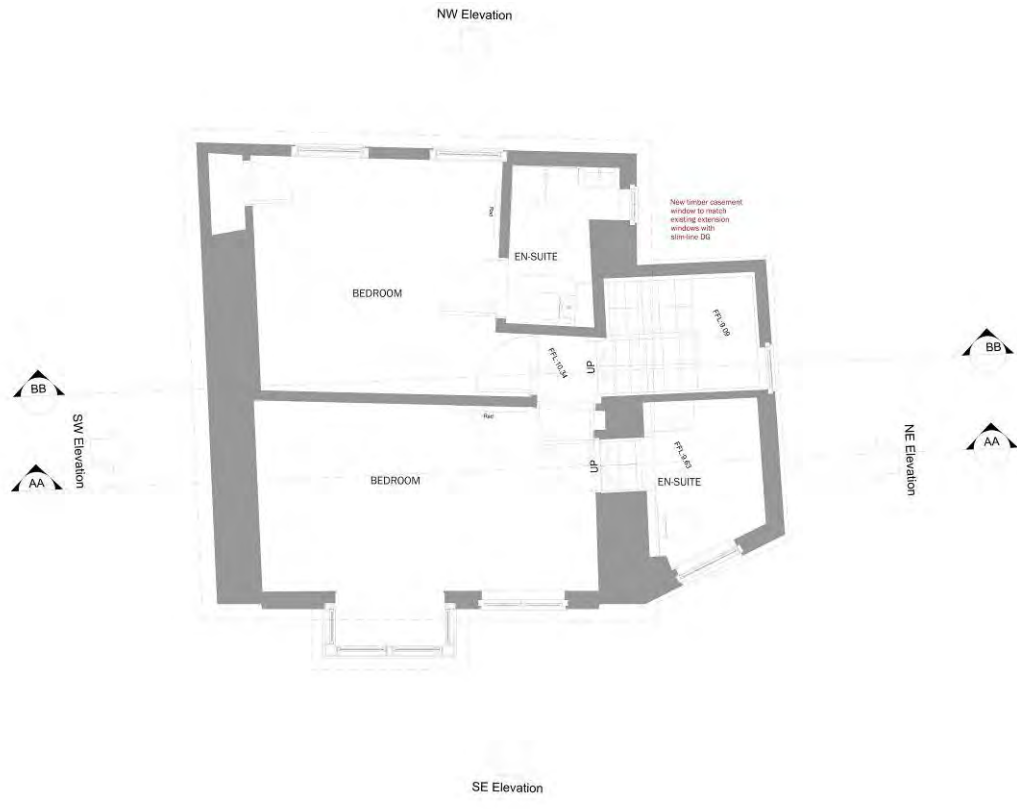


Fig 12: Proposed Ground Floor Plan



PROPOSED FIRST FLOOR LEVEL PLAN

Fig 13: Proposed first floor level plan

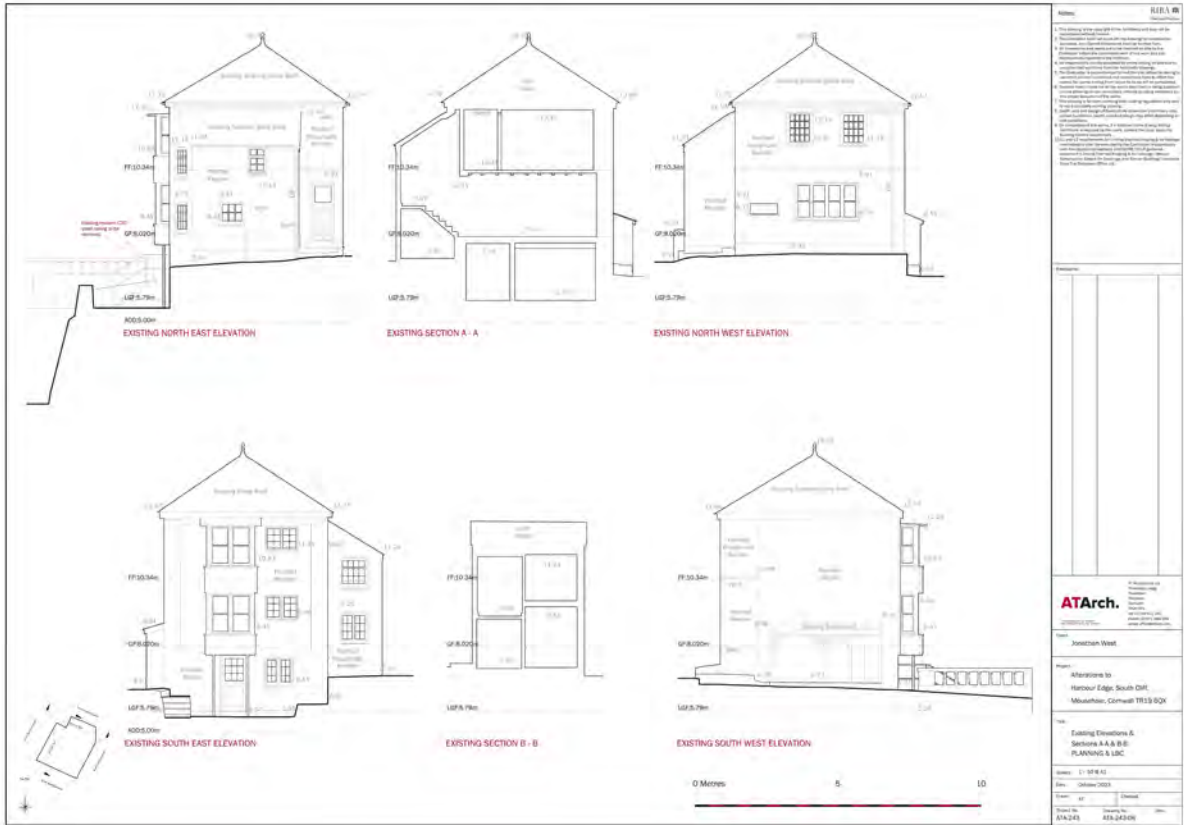


Fig 14: Existing Elevations and Sections

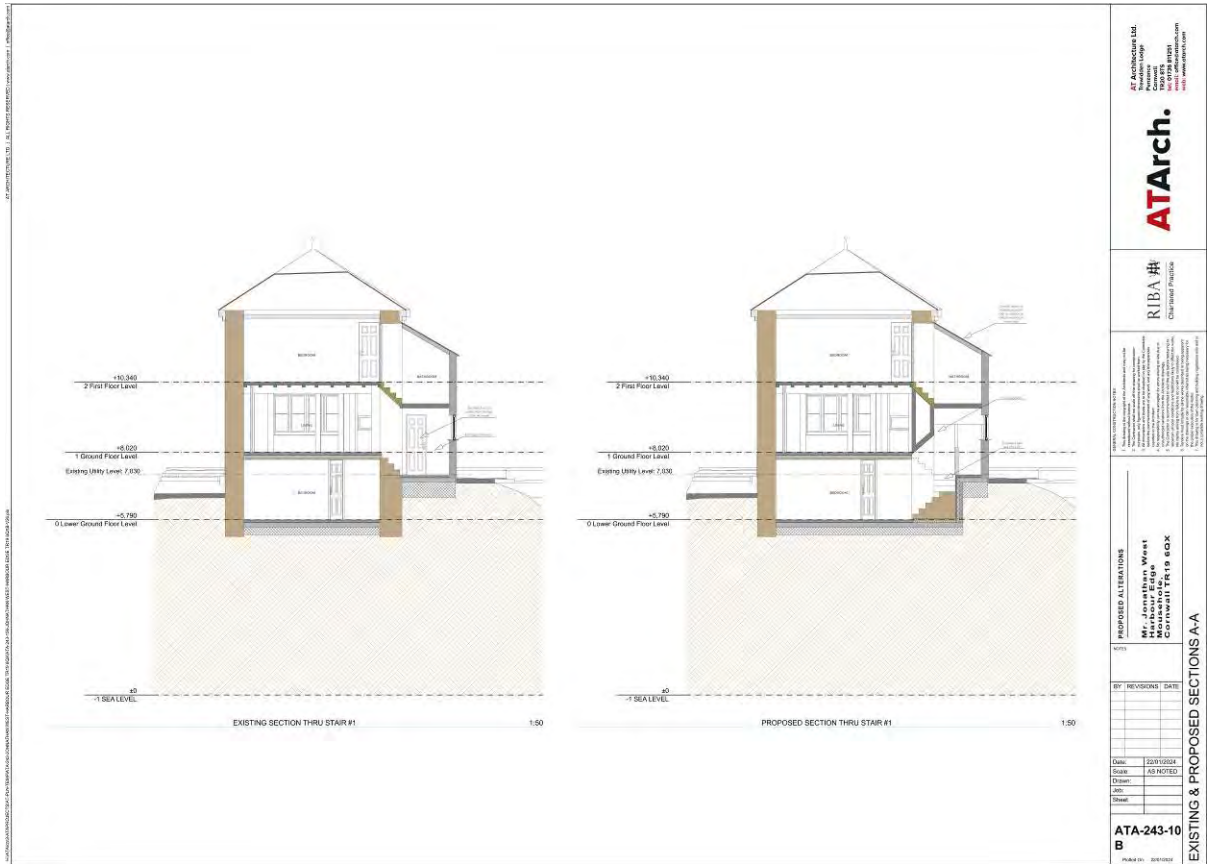


Fig 18: Existing and Proposed Sections A-A



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 Architects
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ATArch.

RIBA #
 Chartered Practice

PROJ. NO. 243-12
 The proposed alterations to the existing building are shown in grey. The existing building is shown in black. The proposed alterations are shown in white. The existing building is shown in black. The proposed alterations are shown in white.

PROPOSED ALTERATIONS
 Mr. Jonathan West
 Harbour Edge
 Cornwall TR19 8XK

BY	REVISIONS	DATE

Date: 23/10/2014
 Drawn: A.R. HODGSON
 Check:

ATA-243-12
 B
 PROJECT: 23/10/14

EXISTING & PROPOSED BIM PERSPECTIVE CUTAWAY

Fig 20: Existing and Proposed Perspectives (not to scale)

Harbour Edge (Thy Marghas, Mousehole): Design & Access Statement:

Harbour Edge was developed following a 2015 permission (PA15/09243) which formed holiday lets. All of the interior has been modernised and little remains of the original building fabric internally. The holiday lets remained split into a single unit (ground and first floor) with an additional self-contained unit at lower ground floor accessed independently down the side of the building and via the open balcony. The new owners of the building wish to turn the building into one single dwelling, ending the holiday letting.

To form a single dwelling, we have carefully intergrated a new internal stair proposal to connect the isolated lower ground floor unit into a single dwelling all accessed from the principle entrance at ground floor.

Heritage Category: Listed Grade II - List no. 1219346 Listed 7th February 1974 Thy Marghas 1, South Cliff, Mousehole.

Listing Text:

Early C19. Stuccoed and roughcast rubble. Slate hipped roof. 2 storeys and basement. Harbour front 2 storeys square bay window, small casement to right. Lean-to of 2 storeys to right. Street front, 1st floor 2 sashes with glazing bars, ground floor modern bow window. Side entrance. Included for group value. The Lobster Pot Cafe and House and Thy Marghas form a group.

Further Proposed Alterations:

The lower ground floor basement has direct access to an open balcony with a low balustrade wall of random rubble granite walling. The proposal is to remove the existing steps from the side access, infill the opening and to raise the granite balustrade by approximately 320mm with ashlar granite sets with lime pointing, reusing and incorporating the four granite steps being removed.

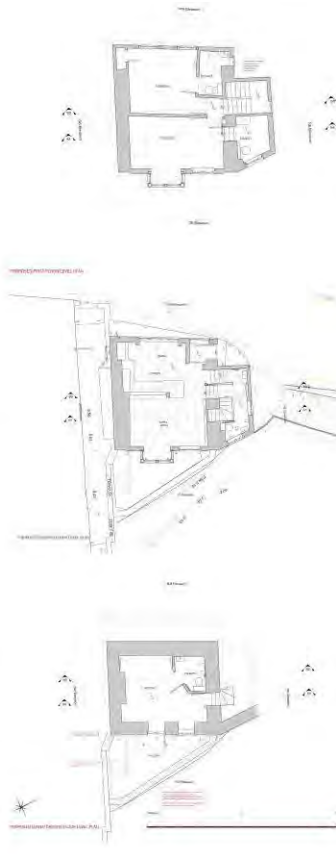
A new small bathroom casement window is proposed to be added at first floor above the existing principle entrance door.

A new porch roof over the principle entrance door - Refer to approved porch on previous permission (PA15/09243) for reference.

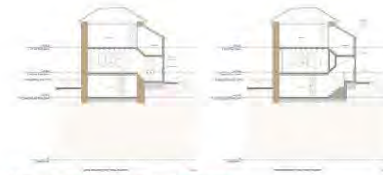
Other internal reconfiguration of the existing bathroom layouts and utility area in the lean-to extension.

The drawings have been prepared in detail as well as a detailed building model as the footprint has been developed historically to fit with the particular restrictive context of the existing road, harbour wall and harbour steps. There is no right angle in the building.

Proposed Site Layout:



Existing and Proposed Model Perspectives



Existing and Proposed Sections A-A & B-B



ATArch. RIBA

Fig 20: Design and Access Statement