

# SOLIS PLANNING

PLANNING - HERITAGE - ARCHITECTURAL DESIGN

## HERITAGE STATEMENT

**PROPOSAL:** CONVERSION OF OUT BUILDING TO ANCIALLY ACCOMMODATION

**SITE:** JESSOPS TAMERTON FOLIOT PLYMOUTH



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## 1.0 Relevant Heritage Assets

### 1.1 Listing Description

Date First Listed 9th November 1998

SX4761SW 740-1/10/847

PLYMOUTH HORSHAM LANE, Tamerton Foliot (West side) No.15 Jessops

Grade II

Village house. Early/mid C19. Slatehanging on rubble to front, otherwise local rubble with shallow segmental brick arches; dry slate roof, hipped on the right; rendered stacks at either end of original house. Double-depth plan including heightened rear lean-to of original house plus single-depth extension on the right of later C19 date. 2 storeys; overall 4-window range: symmetrical 3-window front of original house plus 1-window range extension on the right. Original part has original 12-pane hornless sashes and central doorway within small C20 glazed porch; extension has late C19 4-pane horned sashes. Right-hand return is 1-window range with blocked doorway on the left and doorway at far right with early C19 door with incised decoration. INTERIOR: not inspected but likely to be of interest.

(Source: Extract from Historic England Listing Description)

### 1.2 Tamerton Foliot Conservation Area.

## 2.0 Site Description

2.1 'Jessops' is located on Horsham Lane in the village of Tamerton Foliot located at the north edge of Plymouth and now subsumed by the expansion of the city in the late 20th century. 'Jessops' is situated 325 m north of the St Marys Parish Church, Tamerton Foliot, and about 200 m north of the Post Office on Fore Street. Tamerton Foliot is about 6.5km north of the city centre of Plymouth.

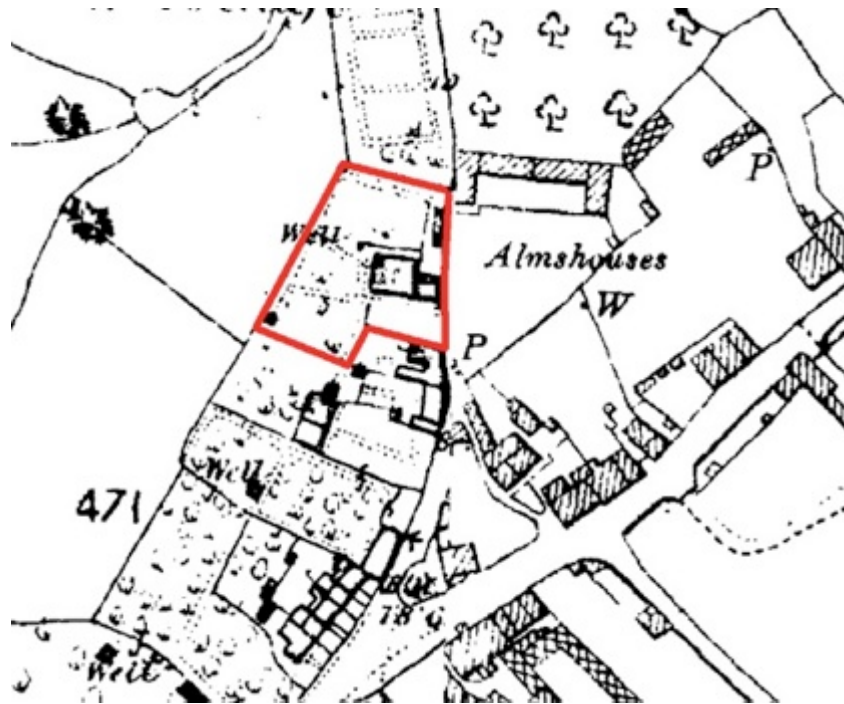
- 2.2 The property is a two-storey village house of symmetrical proportions with the core dating from the early 1800's. The front is orientated in the traditional manner to the south with the principle elevation onto the garden and views across the valley. The south front and west gable are clad in distinctive local Cornish slate hanging giving added protection from a relatively exposed location on the south slope of a hillside.
- 2.3 This Heritage Statement is to inform and support a Listed Building Consent application for the conversion to ancillary accommodation of an existing single storey outbuilding currently used for occasional storage room with an outside W.C. This outbuildings back (east) stone wall forms the boundary with the street and the north gable is also stone. The south gable provides a mix of brick and timber frame, and on to the garden side (west) the building is in timber frame with timber or block work infill to lower half and glazed to the upper. This garden elevation includes a central located, boarded ledge and braced timber door. The roof has is slate clad and hipped to the south end.
- 2.4 The simple outbuilding has 6 bays with simple collar trusses forming a large single volume plan form. The floor level steps up at the north end and steps down at the south end to a separate brick enclosure for the W.C. These floor level changes respond to the rising external ground level with the central door located where the floor level and external sloping path correspond. There is a separate external timber boarded door for the W.C. The outbuilding is evident on pre 1948 mapping and its stone fabric and construction is 19th century with the timber frame west elevation and W.C brick enclosure probably early 20th century. The outbuilding is therefore considered to be curtilage listed.

### 3.0 Historic Mapping

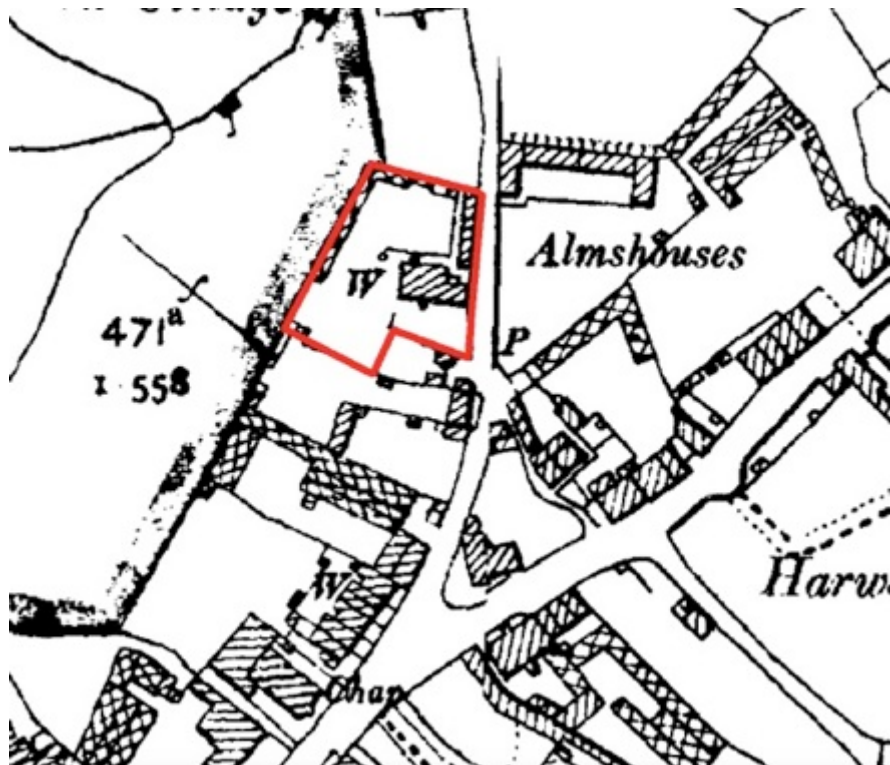
- 3.1 The historic mapping gives a useful understanding of the evolution of the site over the last 200 years.
- 3.2 The 1840 Tithe Map shows the property established in its own gardens with surrounding immediate fields and orchards to the west and north with village properties to south and east. The footprint indicates the rear lean to and a side extension between the main house and Horsham Lane. The stone and slate outbuilding to the north east of the house and subject of the Listed Building Consent application is visible feature adjoining Horsham Lane.
- 3.3 The 1st Edition OS mapping from 1880 is relatively poor quality but restates the form and siting of the dwelling its outbuilding and a well in the garden.



**1840 Tithe Map Extract (Source: Know Your Place)**



Map 2 OS 1880 1st Edition Extract (Source: Know Your Place)



Map 3 OS 1900's (Source: Know Your Place)

- 3.4 The 1900's OS 2nd Edition shows a more clear picture of the established arrangement and the construction of conservatory along the walled garden to north and west walls. The small rear bathroom and porch to the L shape between the main house and two-storey side extension has also been introduced. The path to the side of the outbuilding is also evident.
- 3.5 The 1946 aerial photograph provides evidence that the outbuilding was in place pre 1948 otherwise its clarity is poor.



**Map 4 1946 Aerial Photograph (Source: Know Your Place)**

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#### 4.0 **Significance Assessment**

- 4.1 The proposal relates to the curtilage listed barn located to the north east of 'Jessops' a grade II listed building. The listing description provides much evidence for the significance of the house and this includes its historical interest dating back to the early 19th century and the architectural interest including the slate hung elevations on rubble stone to south and west elevations with 12 pane hornless sashes and central doorway.
- 4.2 Otherwise the house shares significance with the outbuilding in their rubble stone walling which is used to the outbuildings east elevation forming the boundary wall to Horsham Lane and the north end gable wall and the section of return walling of 950 mm forming the north section of the west elevation. The rest is formed from timber frame with plinth in block or timber board. The upper half is glazed possibly suggesting a potting shed use in association with the greenhouses evident to the north and west garden walls in the turn of the 20th century. The other architectural material element of significance shared with the outbuilding is the use of dry slate roof, hipped to one end. The plan form of the outbuilding is simple single space except for the later insertion of the W.C brick enclosure that dates from late 19th or early 20th century reflecting improvement in domestic facilities at this time.
- 4.3 The significance of the outbuilding derives from the assets physical presence, and direct subservient relationship with 'Jessops' as an original ancillary domestic building that adds to the houses setting but also understanding of historical domestic activities and the importance of garden buildings in relation to large detached village houses. Historic England assesses significance in a similar manner referring to evidential, historic, aesthetic and communal values of a place.
- 4.4 The setting of the house also comes from its siting set side on to Horsham Lane,



its orientation to the south with large sash windows to maximise south light. The local vernacular hard rubble stone building material is used for domestic and outbuildings alike. The distinctive use of slate hanging used in Cornwall and west areas of Devon as a protection on south and west walls from the prevailing weather and the associated wet maritime climate. The use of slate roofing is also local vernacular material.

- 4.5 The outbuilding is a modest vernacular building, with linear rectangular plan 10.8 m x 2.35 m , orientated north, south forming the property boundary with Horsham Lane and built into the rising ground to the north end. The outbuilding has 6 bays with simple collar trusses forming a large single volume with the floor level stepping up at the north end.
- 4.6 This understanding of the significance informs what form of adaption can conserve character and significance of the architectural style, local materials and details that need to be respected to maintain the domestic character and setting.



**Photo 2. The outbuilding at 'Jessops' onto Horsham Lane. Linked by a section of garden wall with timber board gate that provides rear access of the property.**



**Photo 3. The outbuilding south end a mix of painted brick and timber frame for the W.C enclosure under the hipped slate roof.**



**Photo 4. Outbuildings garden(west) elevation, half glazed in timber frame.**



**Photo 5. Outbuilding interior with A framed collar trusses, rubble stone and timber frame walling.**

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## 5.0 Proposal

- 5.1 The proposal is to convert the outbuilding into ancillary domestic accommodation for a member of the family. The existing significant architectural features are to be retained' the stonewalling will be retained repointed if necessary and lime rendered externally with lime wash internal finish. The timber frame is to be renewed with a modern structural timber frame and insulated, built on a structural block work plinth. This west elevation will be re-clad in timber boarding externally with new full glazed aluminum door and two new aluminum windows. Internally it will be plasterboard and skim finish giving a contemporary balance of rough and smooth finish textures internally.
- 5.2 The existing trusses and roof structural form and roof cladding will be preserved in tact with the trusses and collars left as visible features to an insulated vaulted ceiling, except for a loft to the bedroom, with plasterboard and skim or plywood finish to the ceilings. A new conservation roof light will be added to the inner slope to improve natural light and a flue will penetrate the outer roof slope onto Horsham Lane.
- 5.3 The concrete floor will be re-laid, as an insulated concrete floor with under floor heating and the step will be adjusted so that the step up will be at the subdivision of the space into the bedroom separating from the open plan Kitchen, Dining and Living space. The existing W.C will have the floor raised to level with the main outbuilding and a new shower room with W.C provided slightly wider than the existing brick enclosure.
- 5.4 The external single skin brickwork to the south end of the outbuilding will be retained and lime washed with timber stud or block cavity wall for insulation internally and the timber frame upper half to the south elevation will be rebuilt with new timber frame and insulated. The north

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stone gable wall is not keyed into the east boundary wall and has suffered structural cracking and movement at the junction with the boundary stone wall and a vertical crack under the ridge. This needs to be taken down, the building extended 500mm and rebuilt in painted brick faced, cavity wall to improve structural integrity and provide more internal space.

## **6.0 Justification for Proposals**

### 6.1 Relevant Policy: National Planning Policy Framework (NPPF) 2023

Paragraphs:

205. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

206. Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

208. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

212 Local planning authorities should look for opportunities for new development within Conservation Areas...., and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve

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those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favorably.

Plymouth & South West Devon Joint Local Plan - Development Policy DEV21  
Development affecting the historic environment.

- 6.2 The conversion has been informed by the significance assessment and all the significant fabric is retained except for the timber frame which appear to date from about 1900 and is of less significance than the other structural fabric, as a lightweight timber frame it is a sacrificial structure made up of machined, modern sized 4'x 2' framing timbers. The other elements of this west wall are a mix of concrete block plinth and timber cladding and variety of reused cheap fixed pane windows inserted into the timber frame. This amalgam of 20th century materials will also be replaced with modern timber studwork with insulation to make the outbuilding suitable for a new domestic occupation use.
- 6.3 The north stone gable wall is not keyed into the east boundary wall onto Horsham Lane and has suffered structural cracking and movement at the junction with the boundary stone wall and a vertical crack under the ridge line. This stone walling will be taken down, the building extended 500mm and rebuilt in painted brick faced, cavity wall to improve structural integrity and provide more internal space. This alteration is necessary to achieve structural integrity.
- 6.4 The historic roof structure of A frame roof trusses with collars and slate roof will be retained unaltered and the stone walling to the east boundary will be lime rendered to Horsham Lane for which there is historic evidence of this finish and the internal finish will be lime wash to enable the breathable nature of this stone walling to continue to perform as designed. The single skin brickwork to the south will have an independent insulating stud or cavity wall built inside to maintain the external appearance and enable the domestic reuse.
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- 6.5 The simple plan form will be maintained with the single partitioned subdivision on the natural position of the step up in floor level. The exposed trusses will be enable the open plan and simple volume to be understood.
- 6.6 Externally the building will retain its simple vernacular outbuilding, its external appearance and dimensions. The minor changes are to the north gable extended 500 mm and rebuilt for structural integrity, with a painted brick cavity wall and the renewed block work plinth and timber cladding of the west (garden) elevation. This elevation will also have a new timber framed full height glazed door and new timber windows. The other minor changes to enable domestic occupation are the single roof light to improve natural light and the log burner flue to the outer roof slope.
- 6.7 The external materials will otherwise be retained and the setting preserved through the physical and experiential relationship with the host listed building 'Jessops' will be sustained with the evident linking materials of stonewalling and slate roof. All views external to Horsham Lane will remain and there will be no harm to the character ad appearance of the Conservation Area or street scene.
- 6.8 The proposal has been based on an understanding of the historic significance of the Listed Building and the outbuilding as a curtilage listed building and the setting of the buildings.
- 6.9 The proposals are considered to therefore accord with good conservation practice. The balance of public and conservation benefits as identified in the National Planning Policy Guidance on the Historic Environment which identifies benefits include 'sustaining the significance of a heritage asset and the contribution to its setting' and 'securing the optimum viable use of a heritage asset for its long term conservation.'
- 6.10 The outbuilding conversion gives it a new use and the works preserve the

building and enhance and extend its useful life without harm to the significant fabric or its setting in relationship the listed 'Jessops'. The benefits include the repairs to the existing structure; and the provision of an ancillary independent accommodation for the family. It is considered these justifications and resulting conservation benefits are sufficient in this case to outweigh any minimal harm to alterations to building fabric. In accordance with the national and local planning policy and guidance.