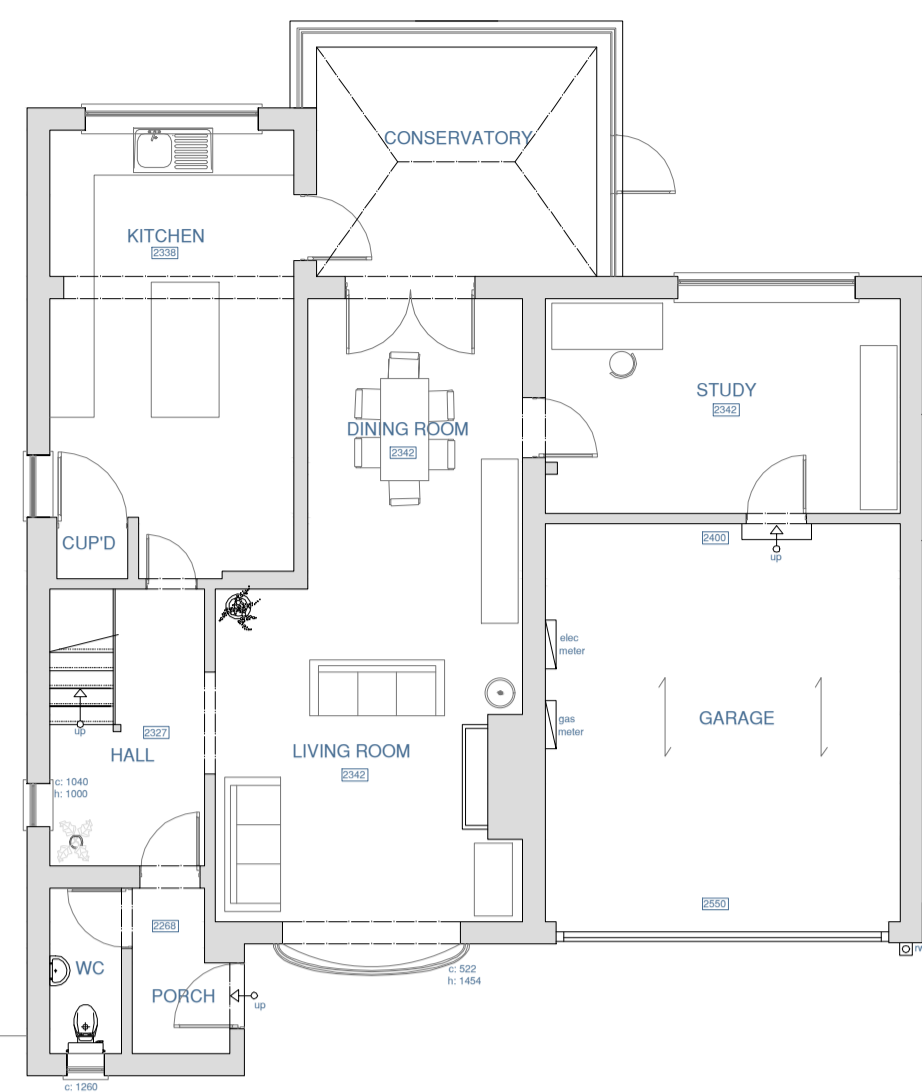


Copyright - This drawing and design including all information contained therein is the sole copyright of paddesign.
 Consulting and reproduction in any form is forbidden unless permission is obtained in writing.

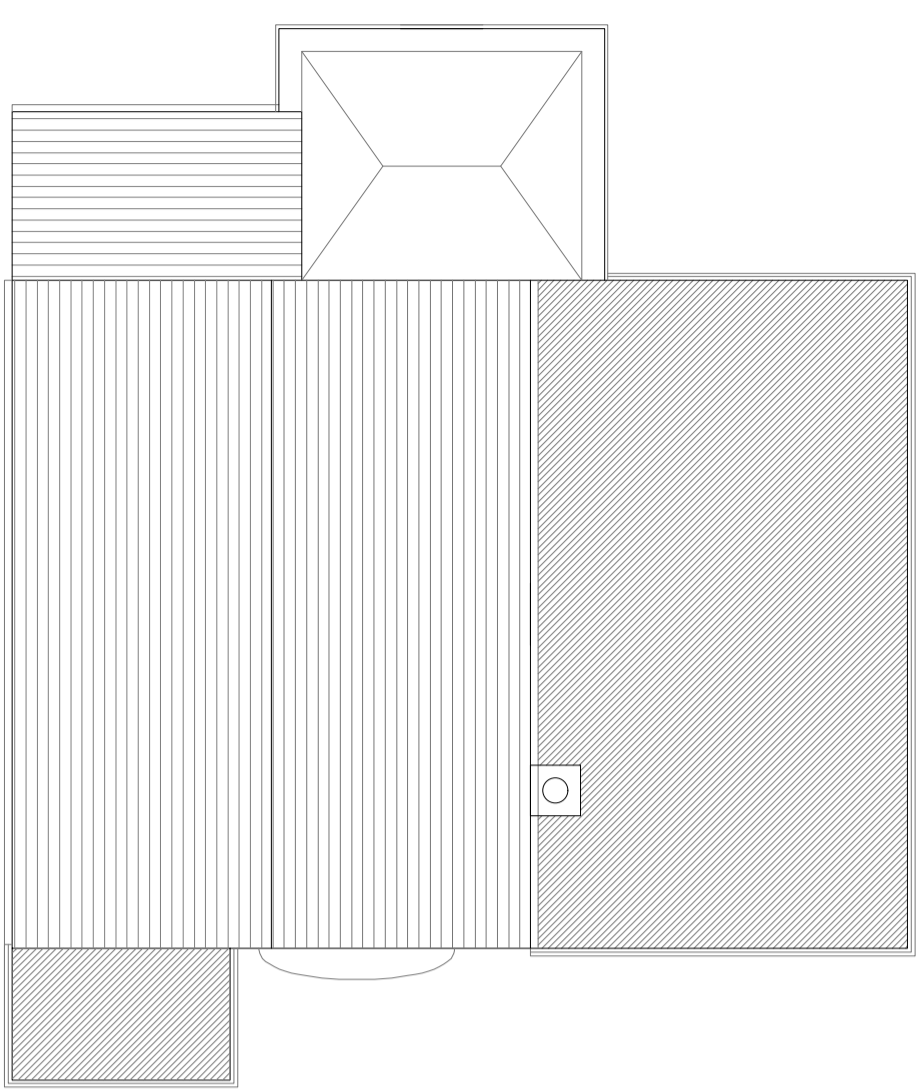
Contractors Please Note:
 1) Warning: no dimensions to be scaled from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative to this work.
 2) paddesign must be advised of any discrepancies between drawings and specification in writing prior to any work commencing.



EXISTING GROUND FLOOR PLAN
1/100



EXISTING FIRST FLOOR PLAN
1/100



EXISTING ROOF PLAN
1/100

GENERAL NOTES

NEW EXTENSION PITCHED ROOF CONSTRUCTION
 New roof tiles to match existing to be nailed to new 38x25mm sw. roofing battens at appropriate crs. on bituminous roofing felt on 150x50mm SC3 sw. rafters @ 450mm crs supported off 225x50mm sc3 sw purlins & 100x50mm sw. wallplates as shown.

Insert 100mm Kingspan Thermapitch TP10 sarking insulation between rafters with 25mm Kingspan Thermapitch TP10 sarking insulation nailed across rafters, allowing a 50mm clear ventilated air space and underdraw using a vapour control layer.

Form new fascia board & soffit together with bargeboard using 18mm ext. grade plywood fixed off sw. framing.

Allow for soffit strip ventilators & ridge tile ventilators to provide natural ventilation in accordance with current building regs.

OPENINGS TO CAVITY CONSTRUCTION
 Provide proprietary lintels to suit cavity construction (Catico or similar approved) with minimum bearing to manufacturers details. Openings to be closed vertically with Thermobat rigid thermal insulation break and cavity barrier.

HEATING SYSTEM
 New plumbed radiator heating to new extension rooms, extended from existing system to include new control system all to comply with building regulations part J & L. Inclusive of thermostatic valves to all radiators.

ELECTRICAL INSTALLATION
 All new electrical works to be carried out to comply requirements P1, by IEE registered electrical engineer.

NEW WINDOWS & DOORS
 Supply & fix new white UPVC windows & doors to new openings as indicated using toughened double glazed units glazed using Pilkington Low E glass in 20mm sealed units to not exceed 1.8W/m² U value. Allow for opening windows where indicated with new internal window cills using 25mm thick sw. cillboard to match ext. gable.

NEW WALLS ABOVE GROUND LEVEL
 Cavity wall construction to be 300mm thick consisting of 100mm brickwork outer skin with 100mm cavity filled with 40mm Kingspan Thermawall TW50 insulation and 100mm thick Thermoalite Shield 2000 blockwork inner skin finished with 12.5mm lightweight plaster finish. Provide Type1 or Type2 wall ties at max. 900mm crs horizontally and 450mm crs vertically. Vertical junctions with existing structure to be formed using stainless steel mechanical fixings to both skins of cavity construction, form mortar joint to outer skin.

NEW WALLS BELOW GROUND LEVEL
 Construct out of 325mm thick Thermoalite trenchblock - 4.0mm blocks with brickwork outer leaf & blockwork inner leaf both as detailed elsewhere. Cavity to be filled with concrete to within 150mm of ground level.

FOUNDATIONS
 Excavate for new foundations to a depth of 1200mm to Structural Engineers design or to Building Inspectors approval. Pour 600x300mm concrete strip or trench fill foundations as shown.

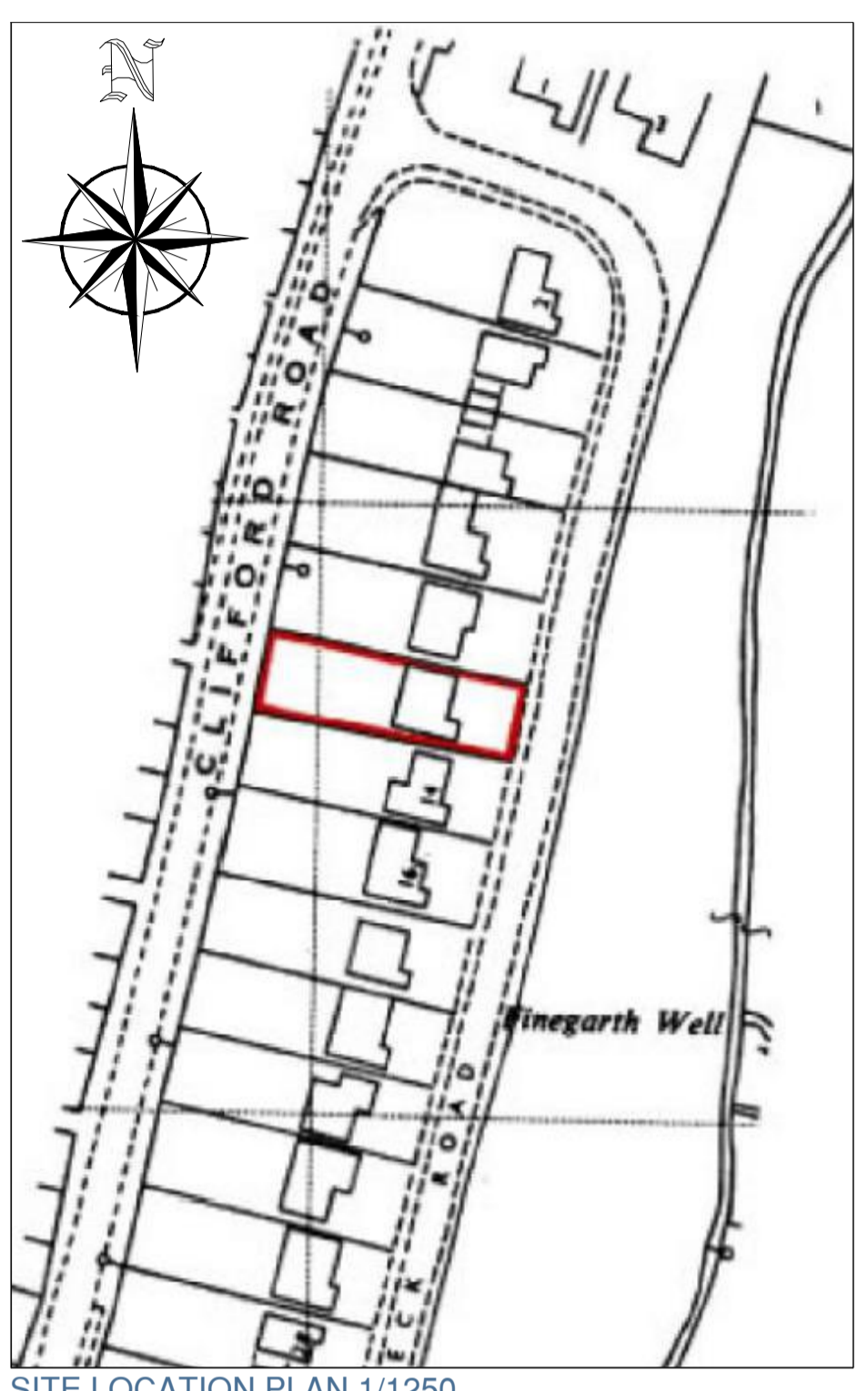
NEW DRAINAGE WORKS
 To be verified clay drainage, using 100mm dia. pipes as shown. Bedding to drains to be class B granular bedding ie. 150mm min. surround to pipe in single size granular material, to BS882:1973, with selected fill over. Class A concrete bedding where pipes pass under walls. CP20 mix concrete bed and surround using 12mm Flexocel board at all pipe joints. New manholes to be constructed on 100mm thick concrete base, construct using 225mm class B engineering bricks to BS3921, laid in 1:3 sand cement mortar with flush joints, or precast concrete rings sized to suit. Bench up channel in C20P concrete mix, with 1:1:2 side falls and finish with 1:1 sand cement mortar. Manhole covers to be double seal bolt down type, bolts to be of triple galvanised steel.

DRAINAGE AND PLUMBING NOTES
 All drainage works to be in accordance with BS8301:1985. Main contractor to check connections to manholes/drainage runs as indicated.

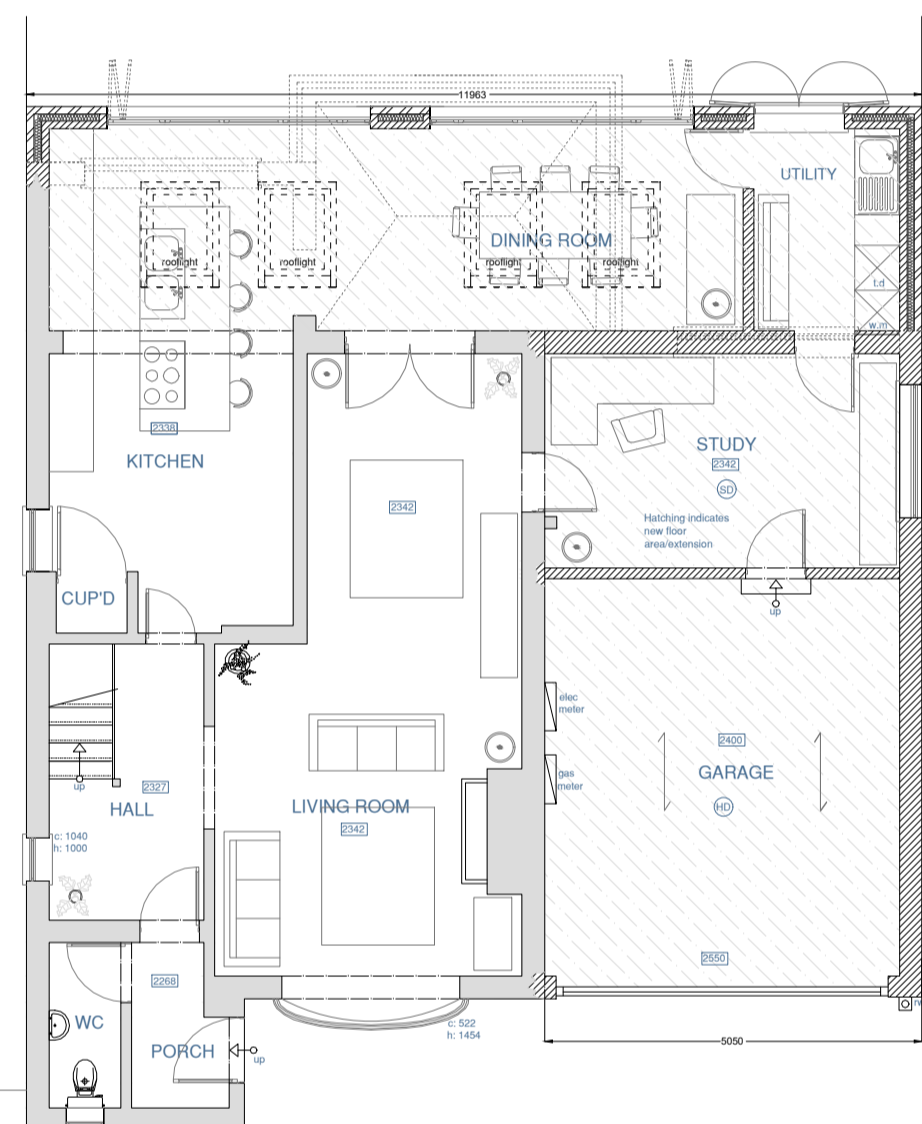
Above ground pipe work to be securely clipped, with PVC clips, plugged and screwed to walls. 100mm pipes fixed at min. 1500 crs. 50mm pipes and less at 750mm crs. All hot and cold feeds in copper, fixed with brass saddle clips at min. 600mm crs. Where pipes run through walls allow for bridging using precast concrete lintels as necessary.

New sinks & washbasins connected to deepseal traps & 100mmØ svp via 40mmØ upvc waste pipes. New svp for ensuite fitted with curgo valve & connected to existing svp.

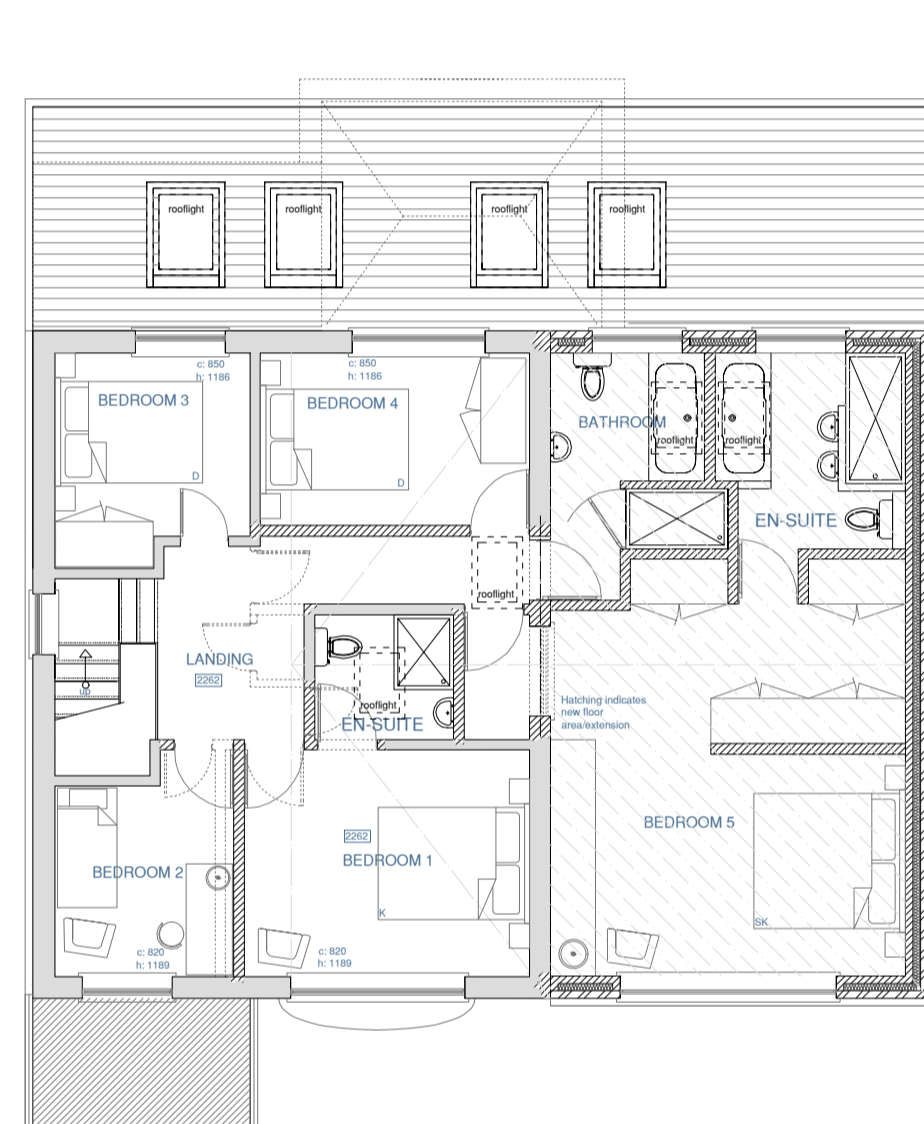
RAINWATER GOODS
 100mm upvc gutters as existing connected to 75mm round upvc fall pipes as existing terminating at ground level over Hepworth (or similar approved) gully comprising 158 B hopper, 148A low-back trap, connected to 100mm dia. clay superseve drain laid to min. 1:80 gradient. All joints to utilise polypropylene couplings. Gully set within loose laid set in-situ concrete.



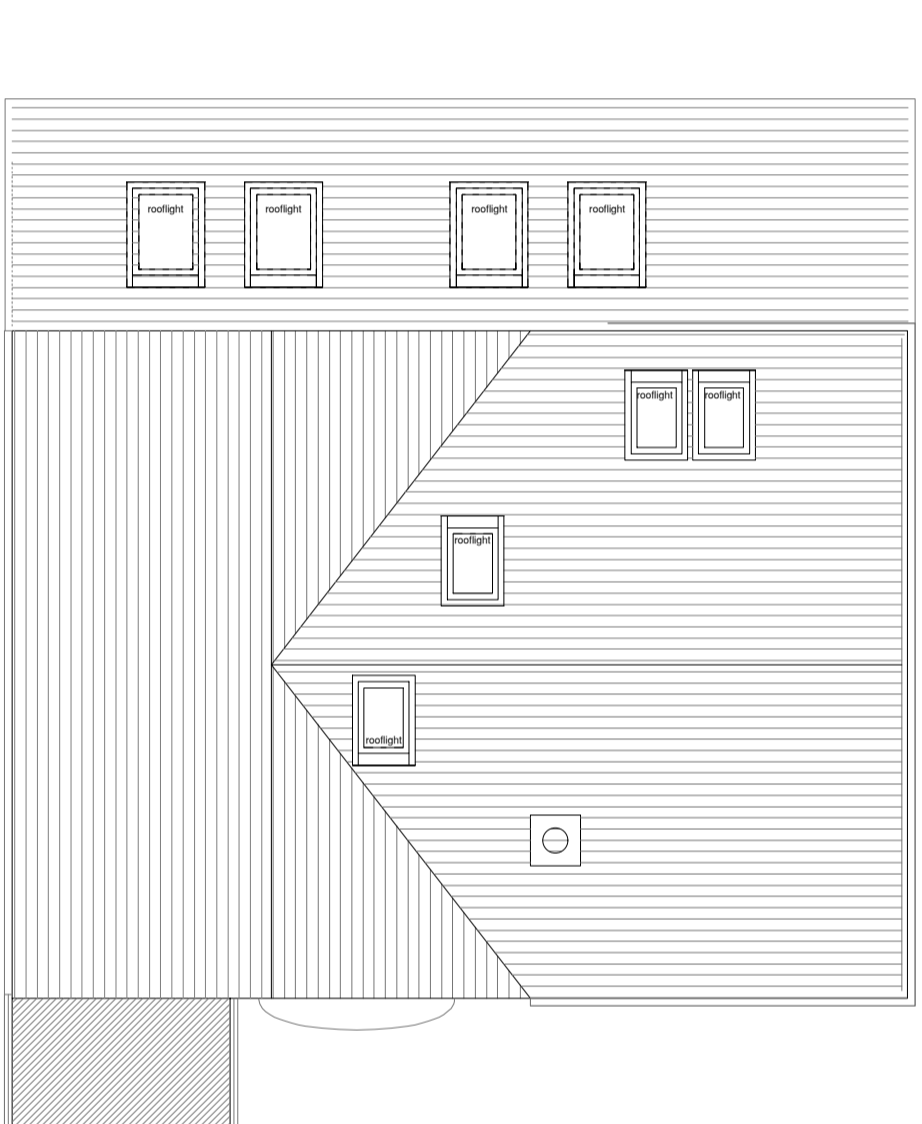
SITE LOCATION PLAN 1/1250



PROPOSED GROUND FLOOR PLAN -
1/100



PROPOSED FIRST FLOOR PLAN
1/100



PROPOSED ROOF PLAN
1/100

LEGEND

- Green Outline - To be made apparent near street to new driveway with existing wall line.
- Red Outline - To be made apparent near street to new driveway with existing wall line.
- Blue Outline - To be made apparent near street to new driveway with existing wall line.
- Blue Outline - To be made apparent near street to new driveway with existing wall line.
- Blue Outline - To be made apparent near street to new driveway with existing wall line.
- Blue Outline - To be made apparent near street to new driveway with existing wall line.

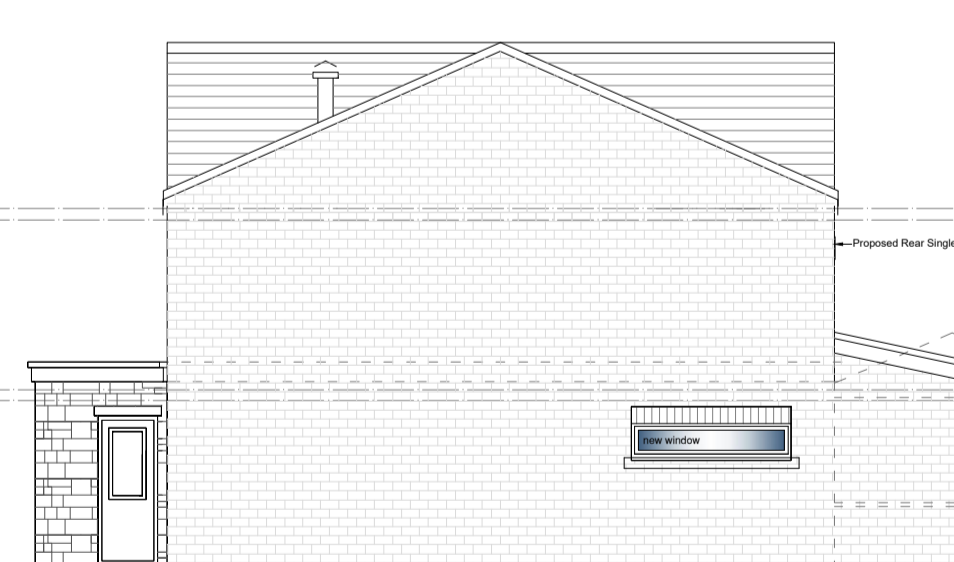
Note: The following 1:1 scale drawings are to be attached to the main drawings:

1. Sectional drawings of all proposed windows & doors.
2. Floor construction details to be constructed in accordance with BS5620:1990.
3. Foundation construction details to be constructed in accordance with BS5620:1990.
4. Details of all proposed external walls to be constructed in accordance with BS5620:1990.

Supply & fix to include with external & ridge vents to provide ventilation to the extension and to the main house and to the garage.



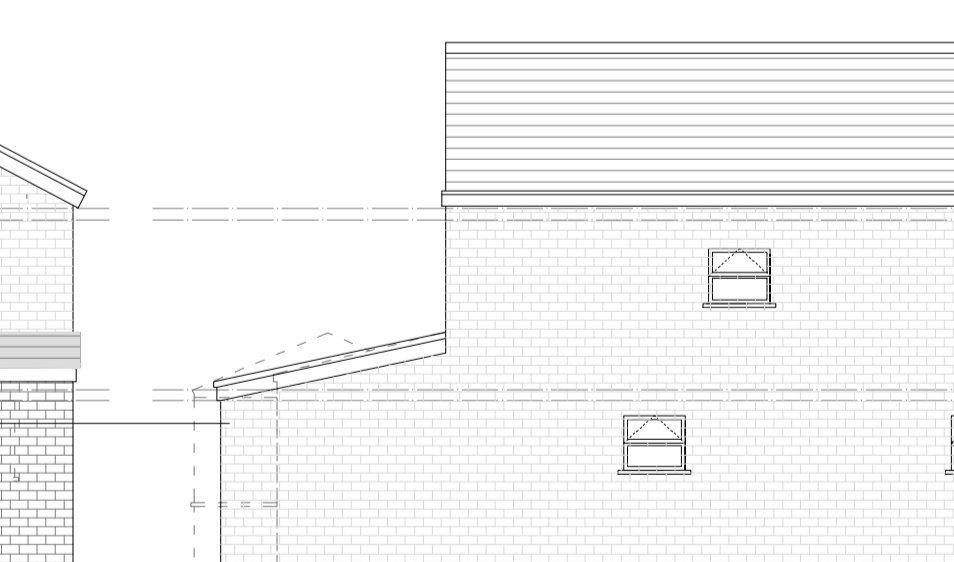
PROPOSED FRONT ELEVATION



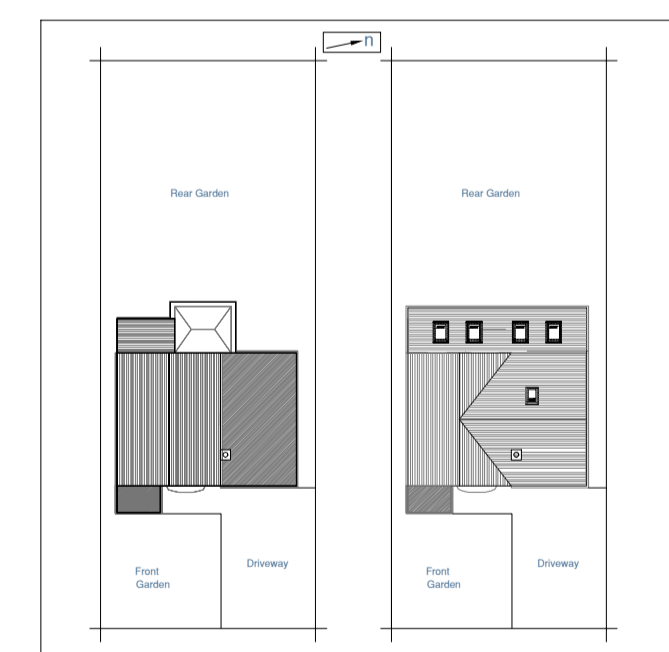
PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



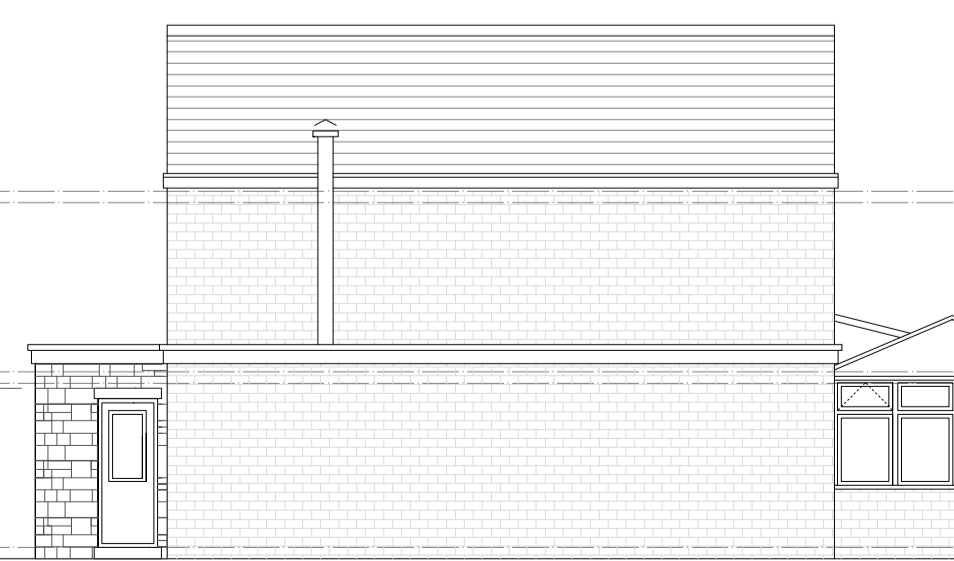
PROPOSED SIDE ELEVATION



EXTG & PROP SITE PLAN 1/500



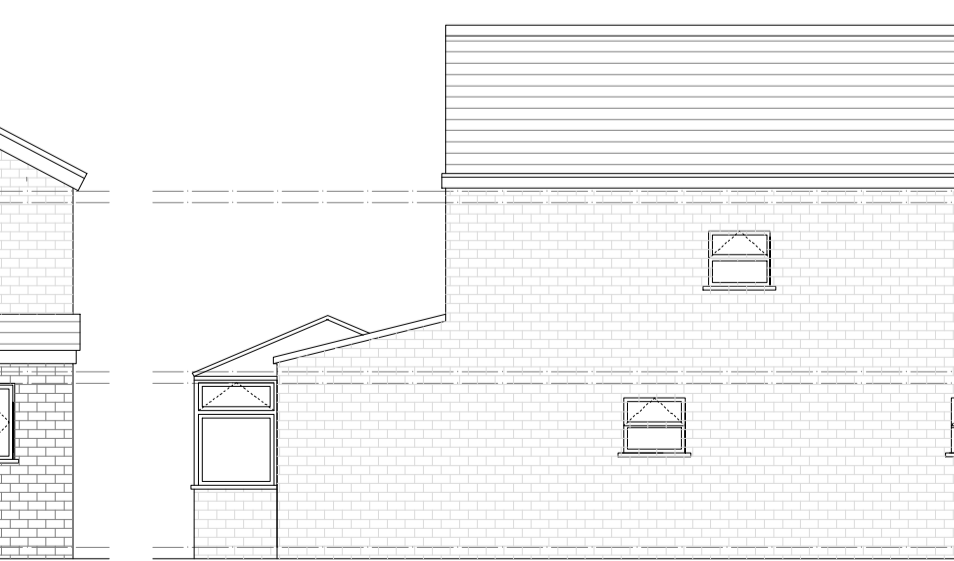
EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

PROPOSED OVER GARAGE & REAR EXTENSION

B	Client Update for planning amend to gable roof from hipped	23.02.24
A	Client approved revision for planning approval	11.07.23
<p>Note - Do not scale off this drawing. Written dimensions should be used in preference to scaling and measurements of existing buildings should be checked on site.</p>		
<p>Project - Proposed Extension for:- Mr & Mrs Watson 12 Firbeck Road Bramham LS23 6NE</p>		
Scale	- 1:100 or as specified	Title - EXISTING & PROPOSED PLANS / ELEVATIONS & LOCATION PLAN
Date	- 10.12.23	Drawn - PAD
Drawn	- PAD	Drawing # - 131.40.01
		Rev - B.
<p>paddesign design develop deliver ARCHITECTURAL DESIGN & PROJECT MANAGEMENT CONSULTANTS t: 07740735448 e: paul@paddesign.co.uk w: www.paddesign.co.uk</p>		