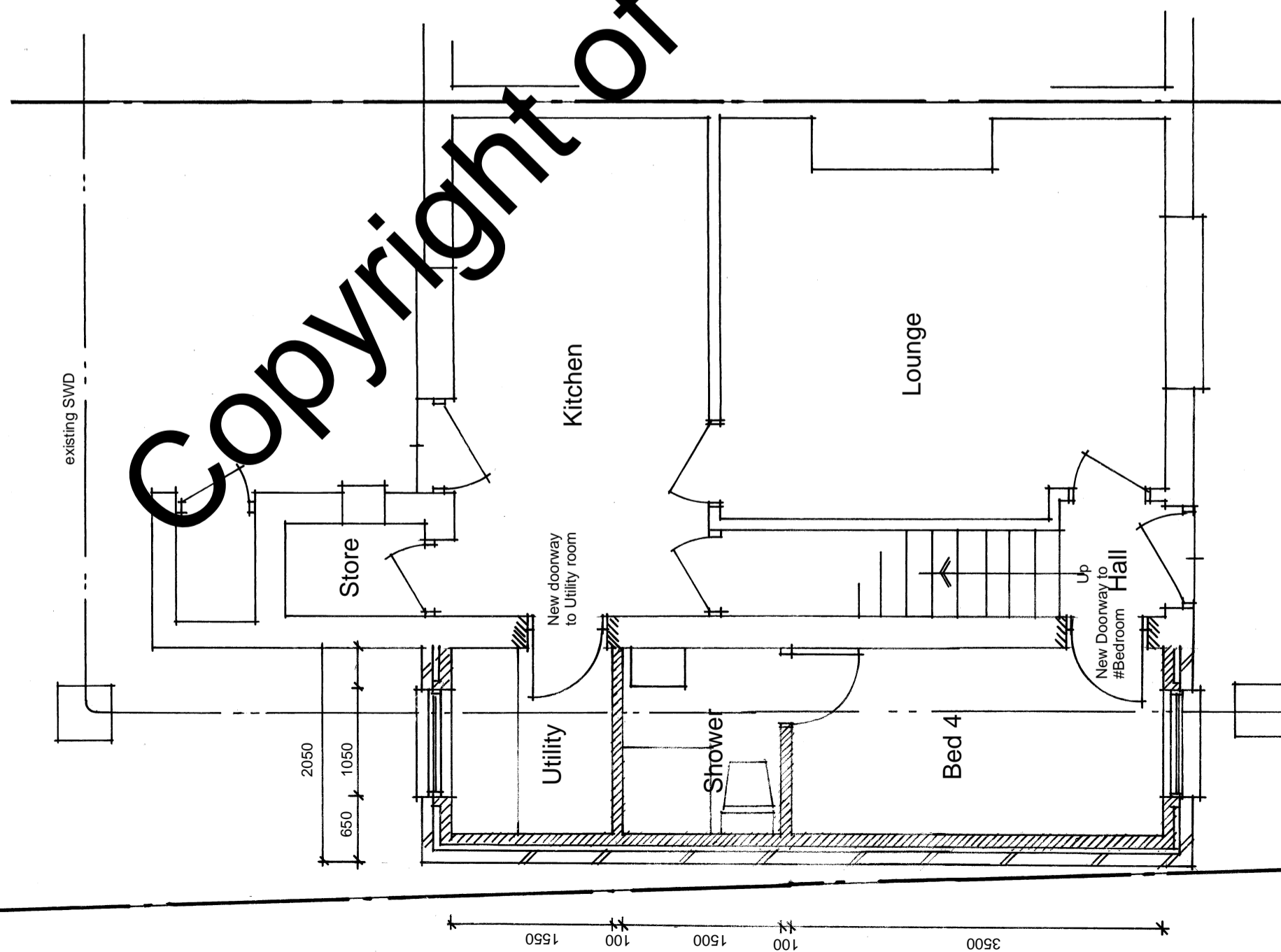


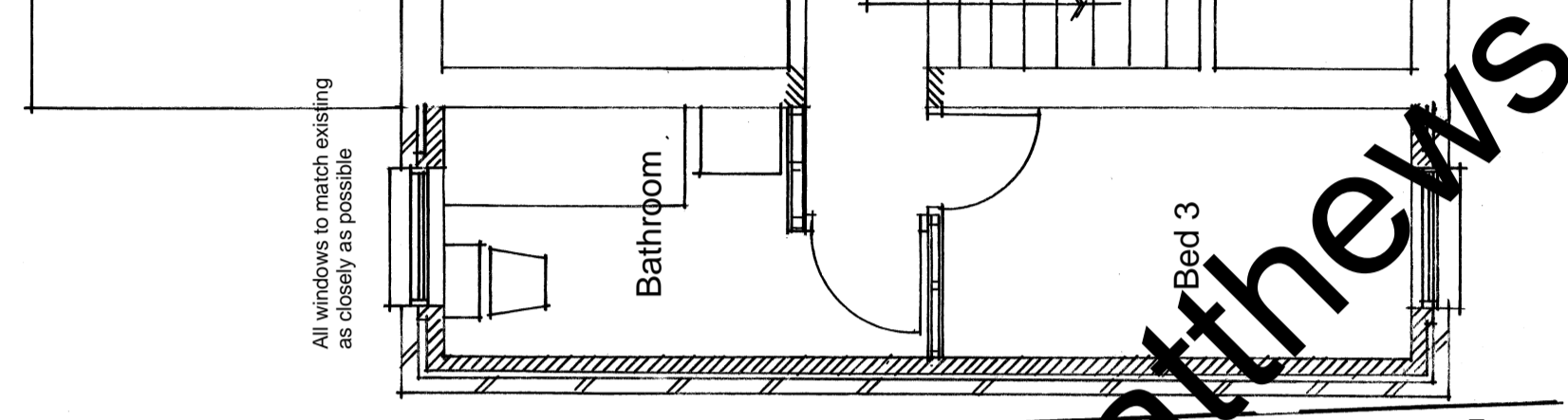
\*\* These plans, details and drawings have been produced detailed and draughted for the sole purpose of applying to the Local Authority in order to obtain the necessary and relevant householder planning consent\*\*

\*\*All site dimensions to be checked on site prior to any commencement of work\*\*



Ground floor Plan

Proposed Floor Plans 1:50 @ A3



First Floor Plan

Gutters to flow into existing gutters to use existing downpipes and SWD

Layout of Bathroom and Shower to clients approval on sit

All windows to match existing as closely as possible

Exact position of new stud walls to be confirmed on site with client

Extension at front to be in line with existing building. To satisfy the Bolton Council SPD which states this is allowed if - "The street is of restricted length where the visual linking of dwellings would be limited by the length of the street"

Ms. L. Marshall  
 14 Glebe Street, Westhoughton, BL6 2SZ  
 Two storey extension to side of property 2024/102/04