

V2 Drawing Register

| Sheet Number | Sheet Name | Rev | Revision Date |
|--------------|-----------------------------------|-----|---------------|
| 544/633-200 | Cover Page & Design Risk Register | A | Feb 2024 |
| 544/633-210 | Foundation & Sub-Floor Plans | A | Feb 2024 |
| 544/633-220 | Floor Plans | A | Feb 2024 |
| 544/633-230 | MEP Plans | A | Feb 2024 |
| 544/633-240 | Elevations | A | Feb 2024 |
| 544/633-250 | Sections | A | Feb 2024 |



| | | |
|-----|---|-----------|
| Rev | Description | Date |
| A | General updates as detailed within issue email dated 02.02.2024 | Feb 2024 |
| - | Construction Issue | July 2023 |

NORTHSTONE

Peel L&P
Salford
M50 2TG

CONSTRUCTION

PROJECT
Gen2 House Type Portfolio

DRAWING NAME
**544/633-V2-AR (As) - Affordable Rented
Cover Page & Design Risk Register**

| | | |
|--------------------------------------|--------------------------|---------------------------|
| DRAWING NUMBER 544/633-200 | DESIGNATION AR | DRAWN BY Design |
| DATE June 2023 | SCALE (@ A3) | REV A |

Notes:

- All dimensions to structure unless otherwise stated.
- Drawing to be read in conjunction with Northstone specification & all other project related design information and drawings.
- Any discrepancies to be reported to Northstone Technical prior to commencement of works.
- All materials and workmanship to be in accordance with current NHBC Technical Standards and Building Regulations.

DO NOT SCALE FROM THIS DRAWING. ALWAYS PRINT IN COLOUR.

Design Risk Register

| Element | Comments |
|-------------------------------|--|
| Lifting Operations | To avoid injury when handling heavy components, specialist handling equipment is to be utilised for the positioning of heavy objects/materials. Large glazing to be installed with specialist lifting equipment by trained personnel. Protection barriers to be provided to prevent mechanical damage following installation. |
| Craneage | Crane supplier to be satisfied of adequate support to outriggers, correct lifting positions to be established to avoid slippage of sheet materials during lifting and placement. Sub-contractors and suppliers to 'design in' lifting eyes and identify weights of heavy items at drawing approval stage. All RAMS to be obtained and approved prior to any lifting operations being carried out. |
| Ground Floor Construction | Mechanical Lifting equipment to be utilised to position pre-cast concrete floor planks. Manual handling assessment to be carried out. |
| Working at Height | Install temporary scaffolding barrier to exposed edges of upper floors including toe boards throughout the build period. Provide scaffolding to all areas requiring placement of materials and finishing to all areas above ground level. Scaffolding to be positioned to avoid the need to overreach causing strain injury when placing materials. Protect areas below high level working from falling debris. Ensure space required for crane is achievable and suitable hard standing is provided. Ensure maximum fall height when fixing trusses into position is 2 metres by utilising appropriate safety measures and equipment. |
| Stairs | To prevent falls provide temporary guarding and edge protection to open well areas and keep clear during construction, eliminating the possibility of trip hazards. Stairs to be erected as early as possible during the construction process to provide vertical circulation and means of escape in case of fire. |
| Masonry Construction | When working at height mechanical lifting measures required to lift brick and block packs into position to reduce manual handling. |
| Lintels | Manual Handling Assessments to be carried out for all lintels, light craneage to be utilised for lintels considered too heavy for manual handling. |
| Structural Steelwork | Mechanical lifting measures required to reduce manual handling. Ensure required space for crane is achievable and suitable hard standing is provided. |
| Windows / Structural Openings | Any structural apertures below 800mm to be fitted with temporary guarding to prevent falls. Any structural apertures below 800mm and extending to floor level to be fitted with temporary guarding and edge protection to prevent falls. Mechanical lifting measures and frame and glazing fitted separately to be considered for installation of large windows and combination door & window frames. Window manufacturer to be consulted regarding best means of installation. |
| Window Cleaning & Maintenance | 'Easy Clean' hinges are not an option due to the top hung design to a majority of the windows, as such windows should be cleaned from ground level using a telescopic 'reach & wash' system. All windows used to be Aluminium or UPVC frames to eliminate the need for future decoration. |
| Roof Construction | Ensure space required for crane is achievable and suitable hard standing is provided. Ensure maximum fall height when fixing trusses into position is 2 metres by utilising appropriate safety measures and equipment. |

544/633-V2-AR (As) - Affordable Rented

FOUNDATION & SUB-FLOOR LEGEND

Brick Face External Wall

OUTSIDE - 102.5mm clay facing brickwork as site specific materials plan
 - 125mm clear cavity
 - 100mm block as specification

INSIDE - 100mm concrete block as engineers details

100mm Sleeper Wall

- 100mm concrete block as engineers details

215mm Sleeper Wall

- 100mm concrete block as engineers details
 - 15mm cavity fully filled with mortar
 - 100mm concrete block as engineers details

Trench Block

- 350mm concrete trench block as engineers details

Services & Ventilation

SVP 110mm Soil and Vent Pipe
 RWP Rainwater pipe as specification
 GULLY Sealed floor gully for level access shower
 Water Water Entry Point
 Data Lead In Data Entry Point
 Electric Entry Point
 Gas Entry Point
 Sub-Floor Telescopic Vent

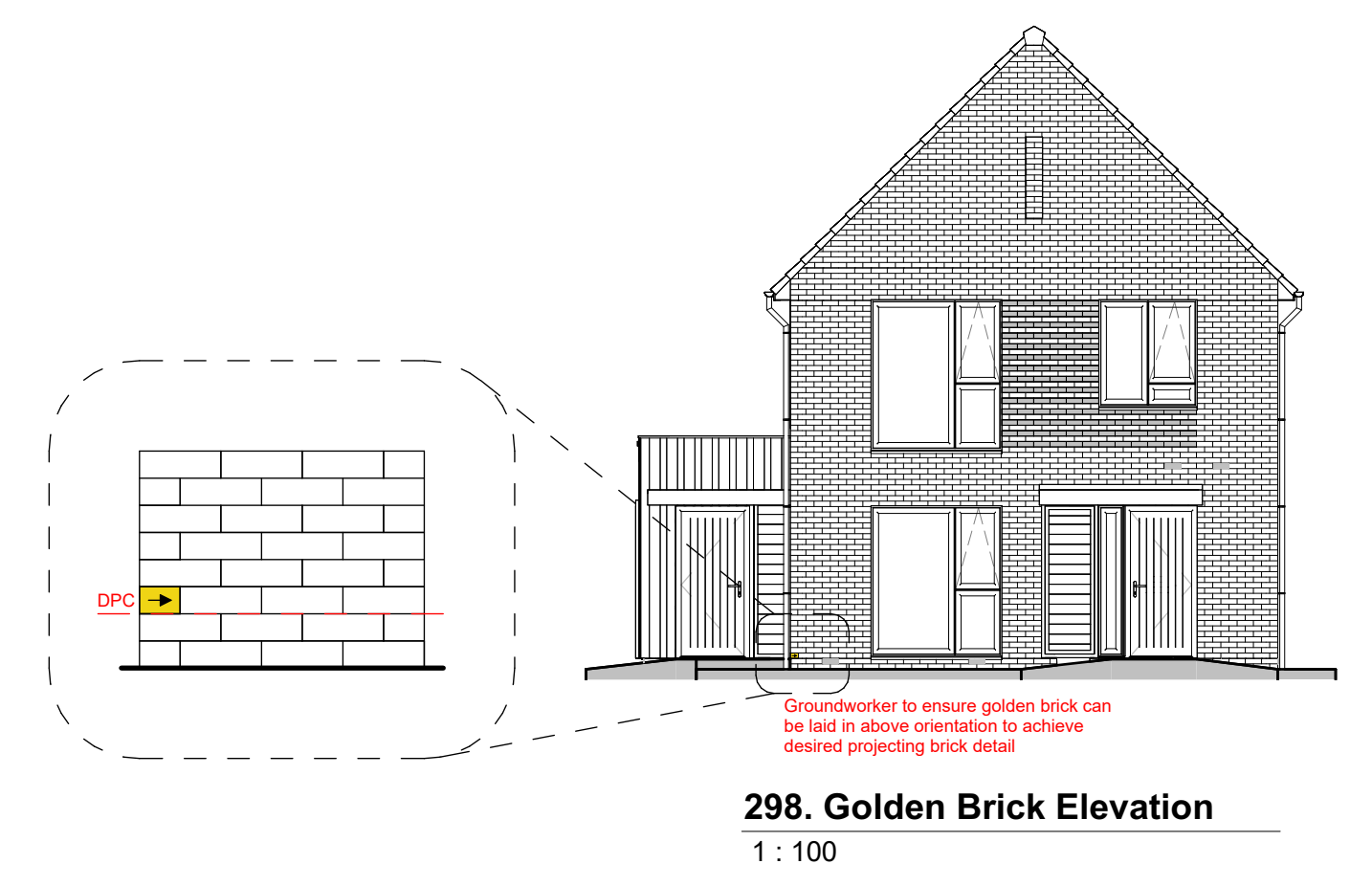
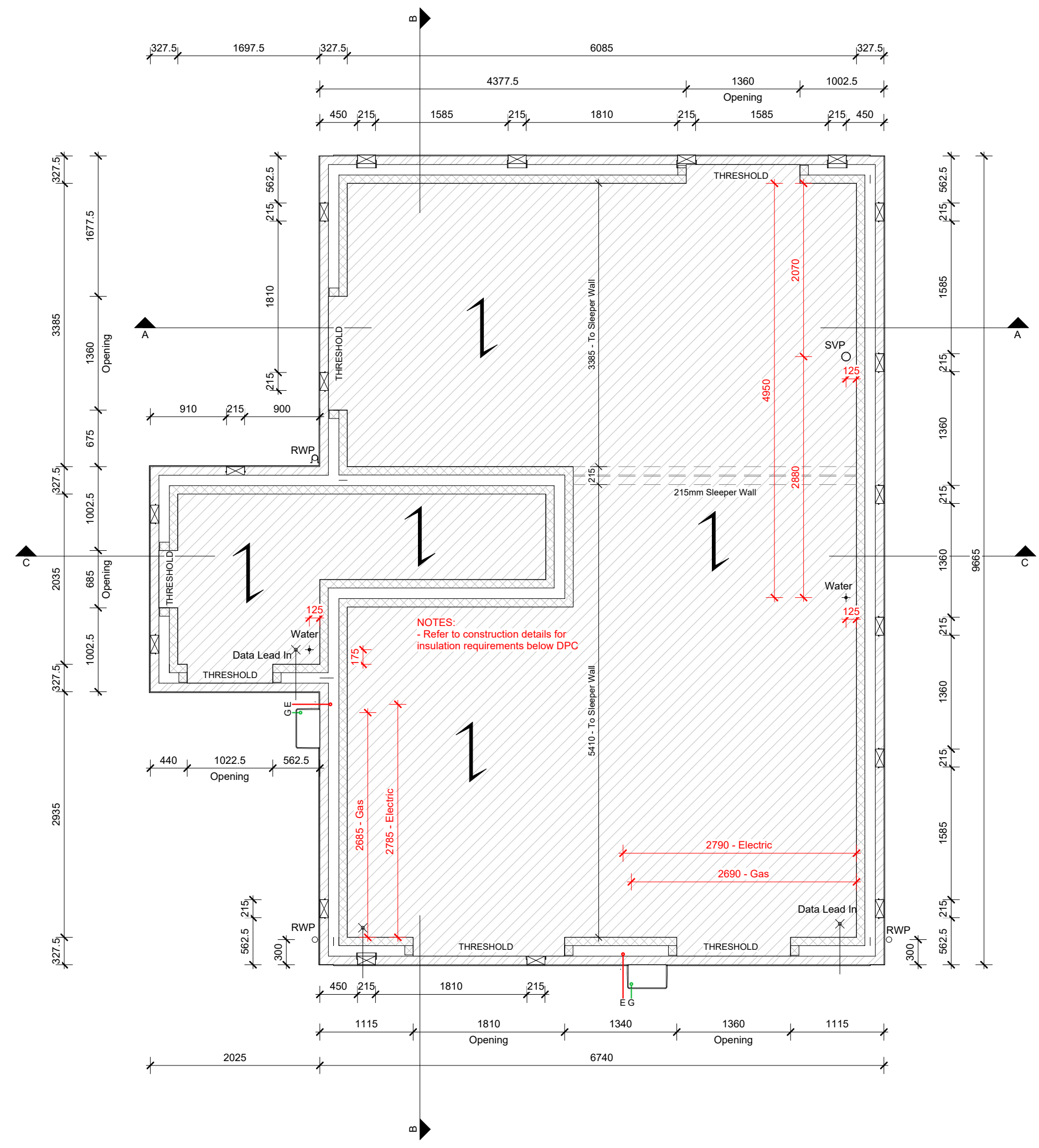
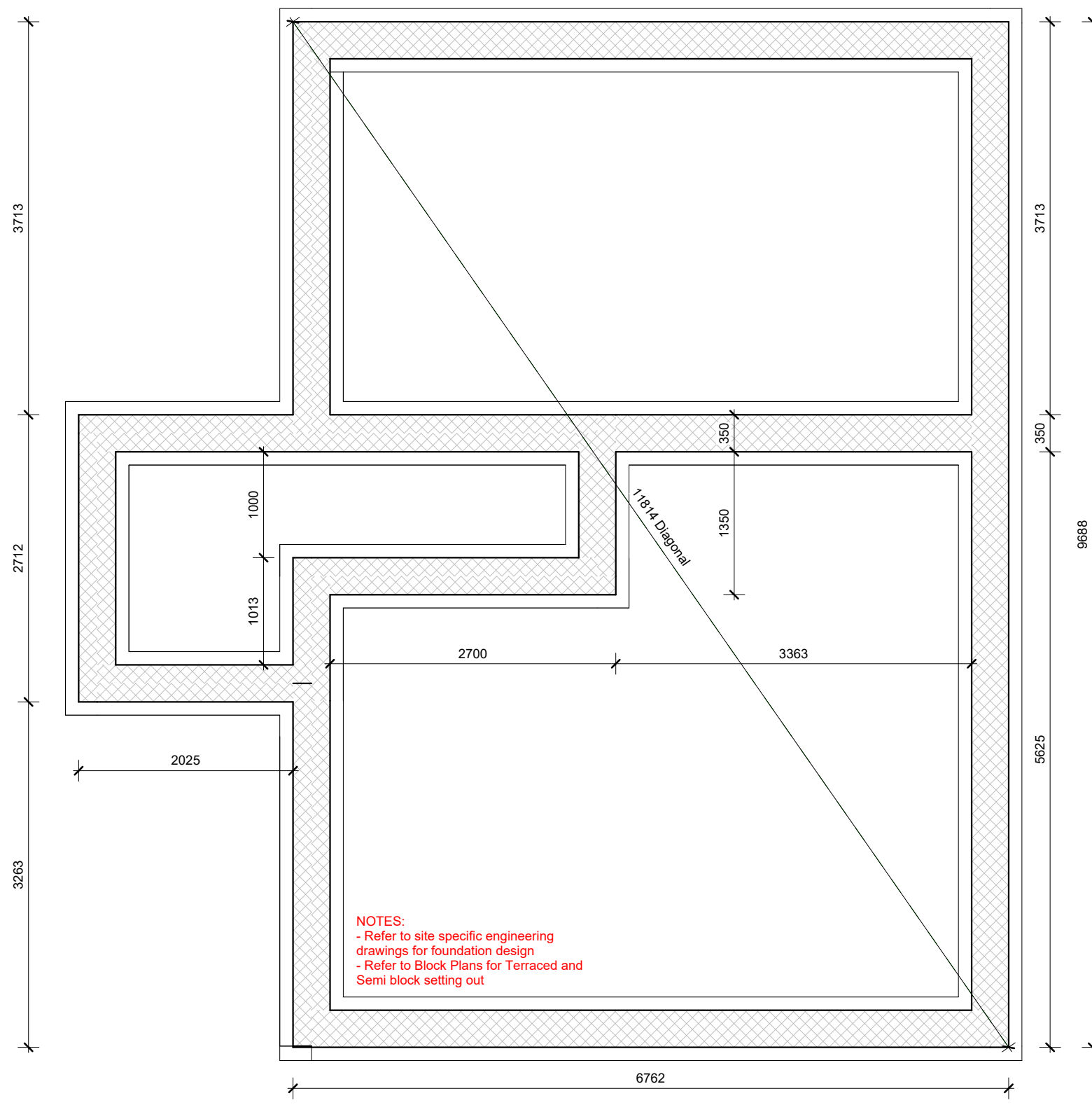
Floor Finish & Span

Extent of Floor Screenshot
 Span of Ground Floor Construction

NOTES

1. Refer to engineers details and specification for all block strengths.
2. Key to be read in conjunction with construction specification.
3. Expansion and movement joints, bed reinforcement and wind posts to engineers details.
4. Always refer to site investigation report and engineers details for any gas membrane requirements.

| Sub-Floor Void Ventilation Schedule | | | | |
|---|------------------------|-----------------------|----------------------------------|--------------------------|
| Building Area (m ²) | Building Perimeter (m) | Ventilation Required | Minimum Number of Vents Required | Number of Vents Provided |
| 70.59 m ² | 36.69 | 55029 mm ² | 12 | 18 |
| * Based on 500mm ² /m ² of Floor Area | | | | |



| | | |
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Peel L&P
Salford
M50 2TG

CONSTRUCTION

PROJECT
Gen2 House Type Portfolio

DRAWING NAME
544/633-V2-AR (As) - Affordable Rented Foundation & Sub-Floor Plans

| | | |
|--------------------------------------|-------------------------------------|---------------------------|
| DRAWING NUMBER 544/633-210 | DESIGNATION AR | DRAWN BY Design |
| DATE June 2023 | SCALE (@ A1) As indicated | REV A |

Notes:

- All dimensions to structure unless otherwise stated.
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- All materials and workmanship to be in accordance with current NHBC Technical Standards and Building Regulations.

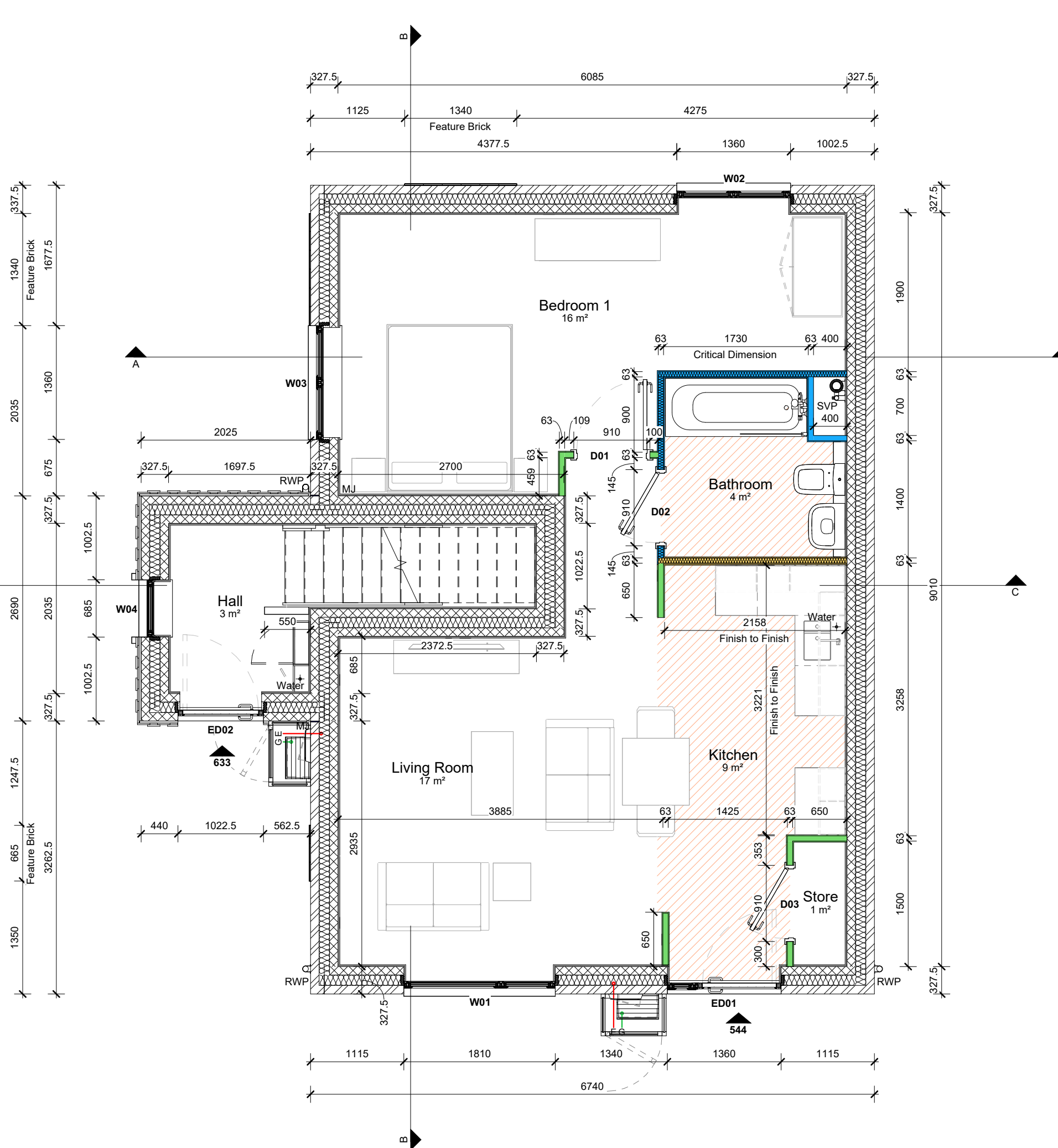
DO NOT SCALE FROM THIS DRAWING. ALWAYS PRINT IN COLOUR.

WALL TYPE LEGEND

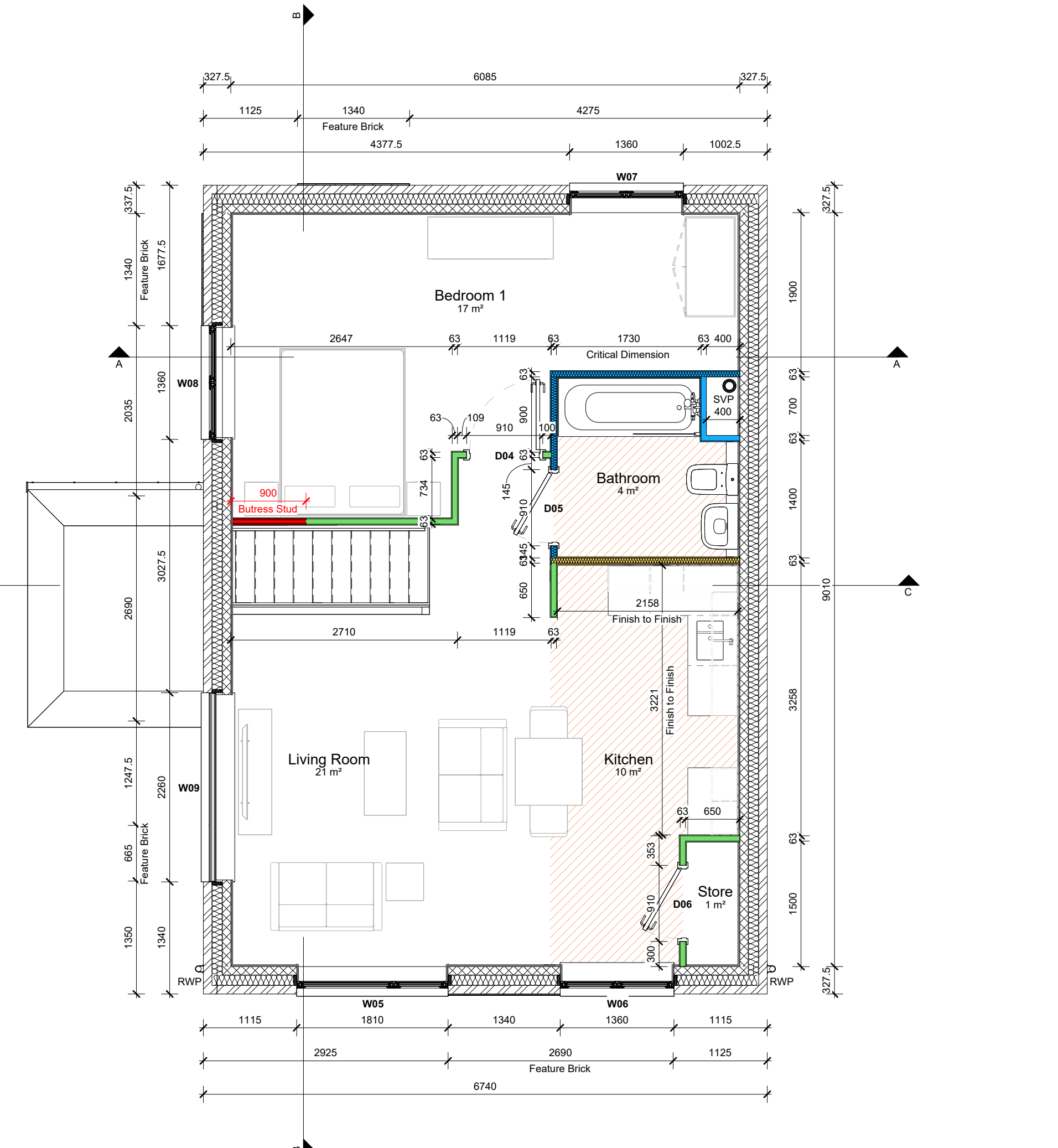
- Brick Face External Wall**
- OUTSIDE - 102.5mm clay facing brickwork to site specific materials plan
 - INSIDE - 125mm cavity fully filled with insulation as specification
 - INSIDE - 100mm block as specification
 - INSIDE - 12.5mm plasterboard on 10mm adhesive dabs, all joints taped and filled before wet plaster skim finish
- Timber Cladding External Wall**
- OUTSIDE - 19x150mm Timber Board on Board Cladding
 - INSIDE - 100mm block outer leaf as specification
 - INSIDE - 125mm cavity fully filled with insulation as specification
 - INSIDE - 100mm block as specification
 - INSIDE - 12.5mm plasterboard on 10mm adhesive dabs, all joints taped and filled before wet plaster skim finish
- NON LOADBEARING STUD PARTITIONS**
- General Partition**
- 63x38mm C16 studwork at max 600mm centres with suitable noggins
 - Pattern between stud with 12mm Ply where required for MEP fixtures and fittings
 - 1no. layer of 12.5mm plasterboard mechanically fixed to stud both sides of wall with all joints taped and filled before wet plaster skim finish
- Partressed Partition Wall**
- 63x38mm C16 studwork at max 600mm centres with suitable noggins
 - 12mm ply mechanically fixed to stud on load-bearing side of wall, (Kitchens etc.)
 - 1no. layer of 12.5mm plasterboard mechanically fixed to stud both sides of wall with all joints taped and filled before wet plaster skim finish
- Acoustic & Fire Rated Partition**
- 63x38mm C16 studwork at max 600mm centres with suitable noggins
 - Voids between studwork fully filled with 60mm Rockwool Flex or similar approved mineral wool
 - Pattern between stud with 12mm Ply where required for MEP fixtures and fittings
 - 1no. layer of 12.5mm plasterboard mechanically fixed to stud both sides of wall with all joints taped and filled before wet plaster skim finish
 - Achieves R₄₀dB in accordance with AD-E
 - Achieves REI 30 fire resistance in accordance with British Gypsum White Book
- Wet-Room Partition (WC / Bathroom / En-suite)**
- 63x38mm C16 studwork at max 400mm centres with suitable noggins
 - Pattern between stud with 12mm Ply where required for MEP fixtures and fittings
 - 12.5mm moisture resistant plasterboard mechanically fixed to stud on wet-room side of wall with all joints taped and filled before wet plaster skim finish
 - 12.5mm standard plasterboard mechanically fixed to stud on dry-room side of wall where required with all joints taped and filled before wet plaster skim finish
- Framing Wall**
- 63x38mm C16 studwork wide face out at max 400mm centres with suitable noggins
 - 1no. layer of 12.5mm plasterboard mechanically fixed to stud on room side of wall with all joints taped and filled before wet plaster skim finish
- Anchored/Butress Stud Partition**
- Refer to structural engineers details and Northstone construction details
 - Butress Studs and Windposts not required on party walls
- Insulation Between Studs**
- Voids between studwork fully filled with 60mm Rockwool Flex or similar approved mineral wool where indicated on drawing for AD-E compliance
 - Achieves R₄₀dB in accordance with AD-E
 - Achieves REI 30 fire resistance in accordance with British Gypsum White Book
- NOTES**
- Refer to engineers details and specification for all block strengths.
 - Key to be read in conjunction with construction specification.
 - Expansion and movement joints, bed reinforcement and wind posts to engineers details.
 - All dimensions are to structure unless otherwise noted.

FLOORING LEGEND

- LVT Flooring**
- Vinyl flooring applied as Northstone finishes specification and relevant customer options
- Carpet**
- Carpet per Northstone finishes specification



220. Ground Floor Setting Out
1 : 50



230. First Floor Setting Out
1 : 50

External Door Schedule

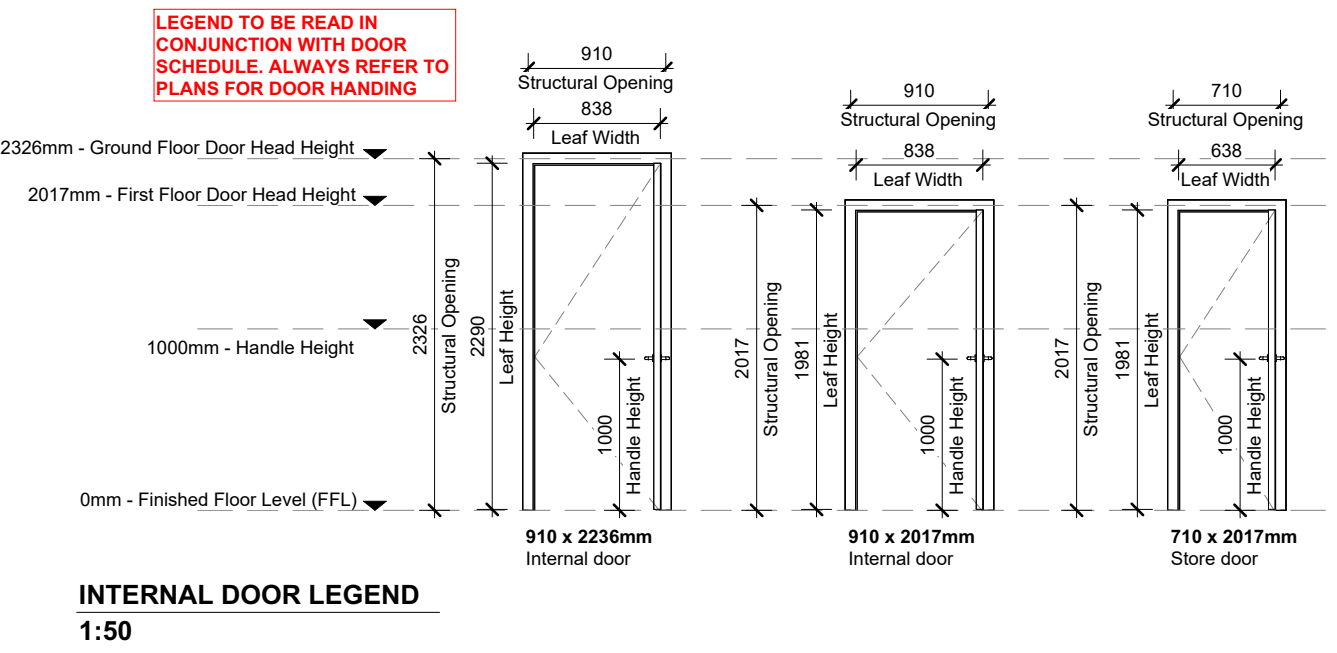
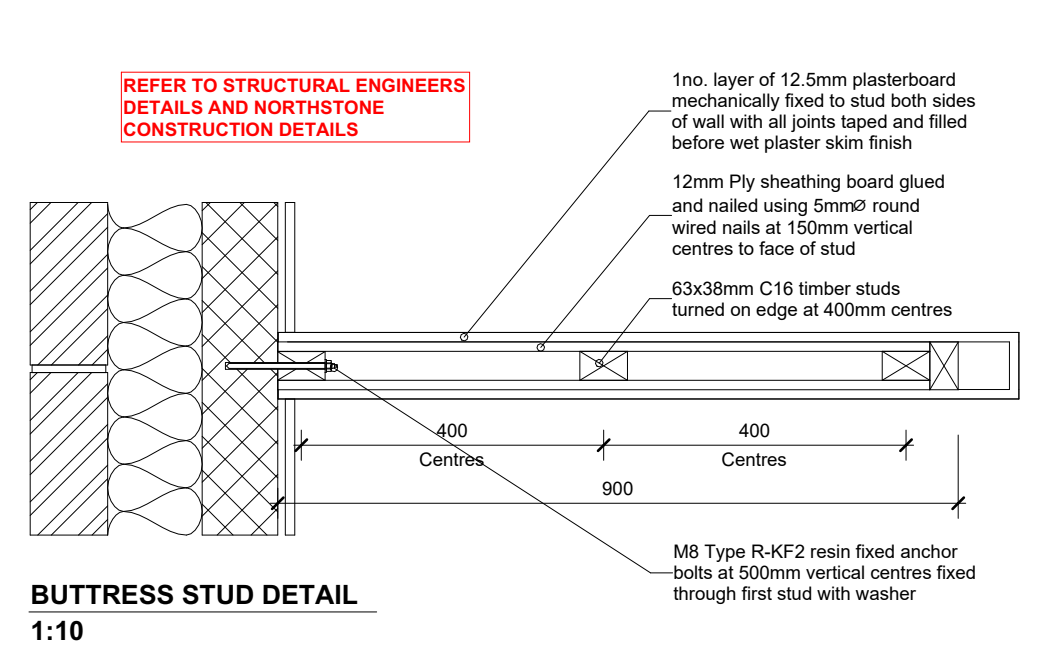
| Floor | Door Ref | Width | Height | Door Width | Reveal Depth | U-Value (Door / Sidelight) | Toughened Glass | Glazing Specification | MF Width | Sidelight MF Width | MF Height | Area of Glazing | Notes |
|----------------------|----------|--------|--------|------------|--------------|---|-----------------|-----------------------|----------|--------------------|-----------|----------------------|-------|
| Ground Floor FFL/DPC | ED01 | 1360 | 2110 | 1000 | 50 | 0.45Wm ² K / 0.55Wm ² K | Yes | Triple Glazed | 984 | 344 | 2061 | 0.451 m ² | |
| Ground Floor FFL/DPC | ED02 | 1022.5 | 2110 | 1022.5 | 60 | 0.45Wm ² K / 1.15Wm ² K | Yes | None | 1006.5 | 344 | 2061 | 0.000 m ² | |

V2 Window Schedule

| Floor | Window Ref | Width | Height | Toughened Glass | U-Value | Reveal Depth | Obscure Glazing | Escape Window | Trickle Vents | Glazing Specification | Area of Glazing | Notes |
|----------------------|------------|-------|--------|-----------------|-----------------------|--------------|-----------------|---------------|---------------|-----------------------|----------------------|-------|
| Ground Floor FFL/DPC | W01 | 1810 | 2110 | Yes | 0.55Wm ² K | 70 | No | No | Yes | Triple Glazed | 2.990 m ² | |
| Ground Floor FFL/DPC | W02 | 1360 | 2110 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 2.096 m ² | |
| Ground Floor FFL/DPC | W03 | 1360 | 2110 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 2.096 m ² | |
| Ground Floor FFL/DPC | W04 | 685 | 2110 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 1.021 m ² | |
| First Floor FFL | W05 | 1810 | 2110 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 2.990 m ² | |
| First Floor FFL | W06 | 1360 | 1510 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 1.438 m ² | |
| First Floor FFL | W07 | 1360 | 2110 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 2.096 m ² | |
| First Floor FFL | W08 | 1360 | 2110 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 2.096 m ² | |
| First Floor FFL | W09 | 2260 | 685 | Yes | 0.55Wm ² K | 70 | No | Yes | Yes | Triple Glazed | 1.104 m ² | |

Internal Door Schedule

| Floor | Door Ref | From Room | To Room | Structural Width | Structural Height | Leaf Width | Casing Depth | Fire Rating | Self Closer | Notes |
|----------------------|----------|-------------|-------------|------------------|-------------------|------------|--------------|----------------|-------------|-------|
| Ground Floor FFL/DPC | D01 | Bedroom 1 | Living Room | 910 | 2017 | 838 | 96 | Not Fire Rated | No | |
| Ground Floor FFL/DPC | D02 | Living Room | Bathroom | 910 | 2017 | 838 | 96 | Not Fire Rated | No | |
| Ground Floor FFL/DPC | D03 | Kitchen | Store | 910 | 2017 | 838 | 96 | Not Fire Rated | No | |
| First Floor FFL | D04 | Bedroom 1 | Living Room | 910 | 2017 | 838 | 96 | Not Fire Rated | No | |
| First Floor FFL | D05 | Living Room | Bathroom | 910 | 2017 | 838 | 96 | Not Fire Rated | No | |
| First Floor FFL | D06 | Kitchen | Store | 910 | 2017 | 838 | 96 | Not Fire Rated | No | |



| | | |
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NORTHSTONE
Peel L&P
Salford
M50 2TG

CONSTRUCTION

PROJECT
Gen2 House Type Portfolio

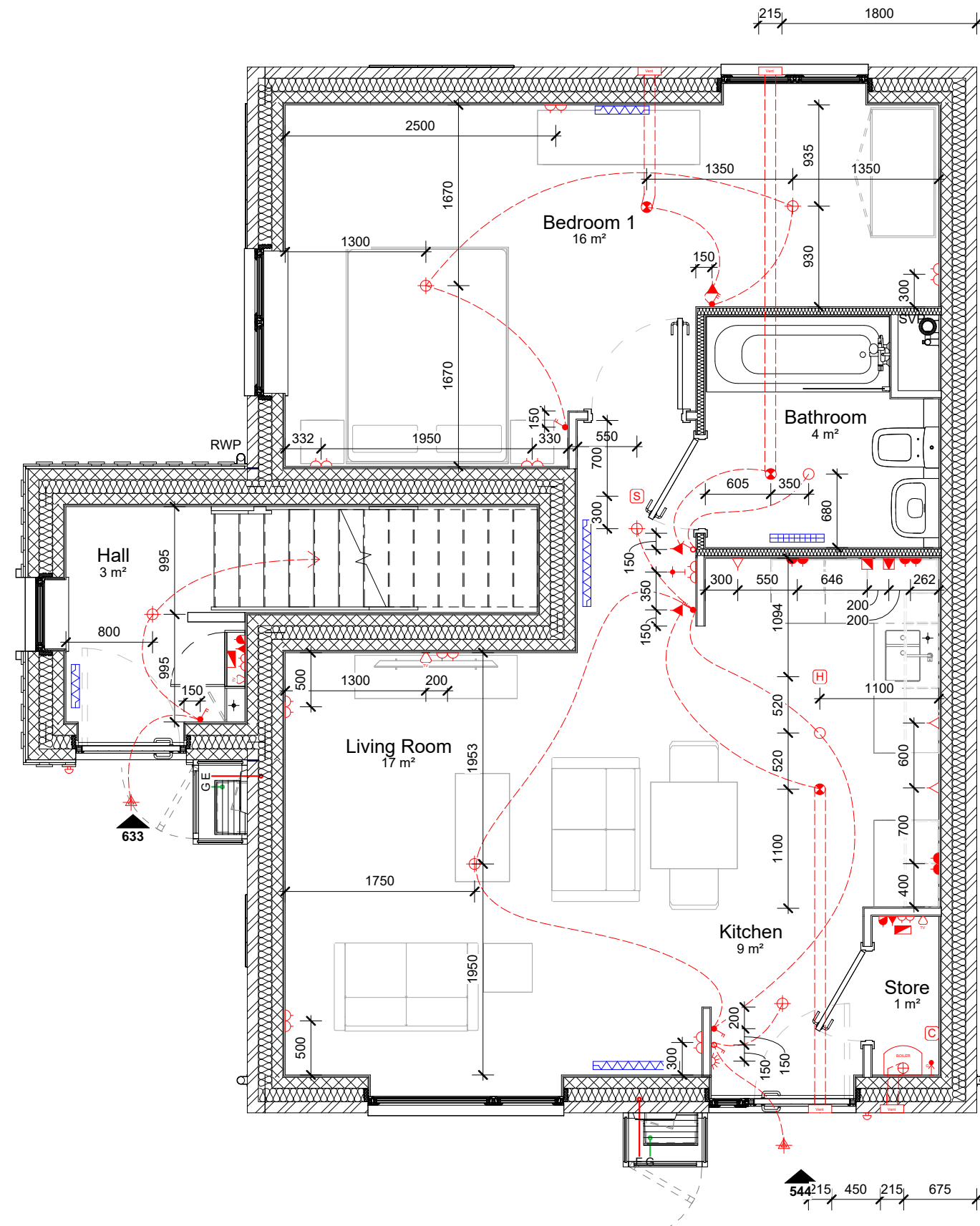
DRAWING NAME
544/633-V2-AR (As) - Affordable Rented Floor Plans

| | | |
|--------------------------------------|-------------------------------------|---------------------------|
| DRAWING NUMBER 544/633-220 | DESIGNATION AR | DRAWN BY Design |
| DATE June 2023 | SCALE (@ A1) As indicated | REV A |

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| Electrical Fixture Schedule | |
|---|----------|
| Electrical Item | Quantity |
| Door Bell Push | 3 |
| Recessed spot light | 2 |
| 544 - Ground Floor | |
| Kitchen | |
| 13A Unswitched Fused Spur | 3 |
| Bulkhead Light | 1 |
| Ceiling mounted fan CV2-GIP | 1 |
| Cooker Control Box | 1 |
| Door Bell Sounder | 1 |
| Double gang light switch - single way | 1 |
| Double gang light switch - two way | 1 |
| Double Socket | 3 |
| Heat Detector | 1 |
| Kitchen gang plate with appliance names | 1 |
| Pendant light | 1 |
| Living Room | |
| 13A Switched Fused Spur | 1 |
| Double Socket | 2 |
| Pendant light | 5 |
| Single gang light switch - single way | 1 |
| Smoke Detector | 1 |
| Triple gang light switch - two way | 1 |
| Wondwall thermostat | 1 |
| Bathroom | |
| Bulkhead Light | 1 |
| Ceiling mounted fan CV2-GIP | 1 |
| Bedroom 1 | |
| 13A Switched Fused Spur | 1 |
| Ceiling mounted fan CV2-GIP | 1 |
| Double gang light switch - two way | 1 |
| Double Socket | 4 |
| Pendant light | 2 |
| Triple gang light switch - two way | 1 |
| Store | |
| Carbon Monoxide Detector | 1 |
| Consumer Unit M&E - Refer to Detail | 1 |
| 633 - First Floor | |
| Hall | |
| Consumer Unit M&E - Refer to Detail | 1 |
| Double gang light switch - two way | 1 |
| Pendant light | 1 |
| Kitchen | |
| 13A Unswitched Fused Spur | 3 |
| Bulkhead Light | 1 |
| Ceiling mounted fan CV2-GIP | 1 |
| Cooker Control Box | 1 |
| Double Socket | 3 |
| Heat Detector | 1 |
| Kitchen gang plate with appliance names | 1 |
| Living Room | |
| 13A Switched Fused Spur | 2 |
| Door Bell Sounder | 1 |
| Double gang light switch - single way | 1 |
| Double Socket | 5 |
| Pendant light | 3 |
| Single gang light switch - single way | 1 |
| Smoke Detector | 1 |
| Triple gang light switch - two way | 1 |
| Wondwall thermostat | 1 |
| Bedroom 1 | |
| Double gang light switch - two way | 2 |
| Double Socket | 4 |
| Pendant light | 2 |
| Bathroom | |
| Bulkhead Light | 1 |
| Ceiling mounted fan CV2-GIP | 1 |
| Store | |
| Carbon Monoxide Detector | 1 |

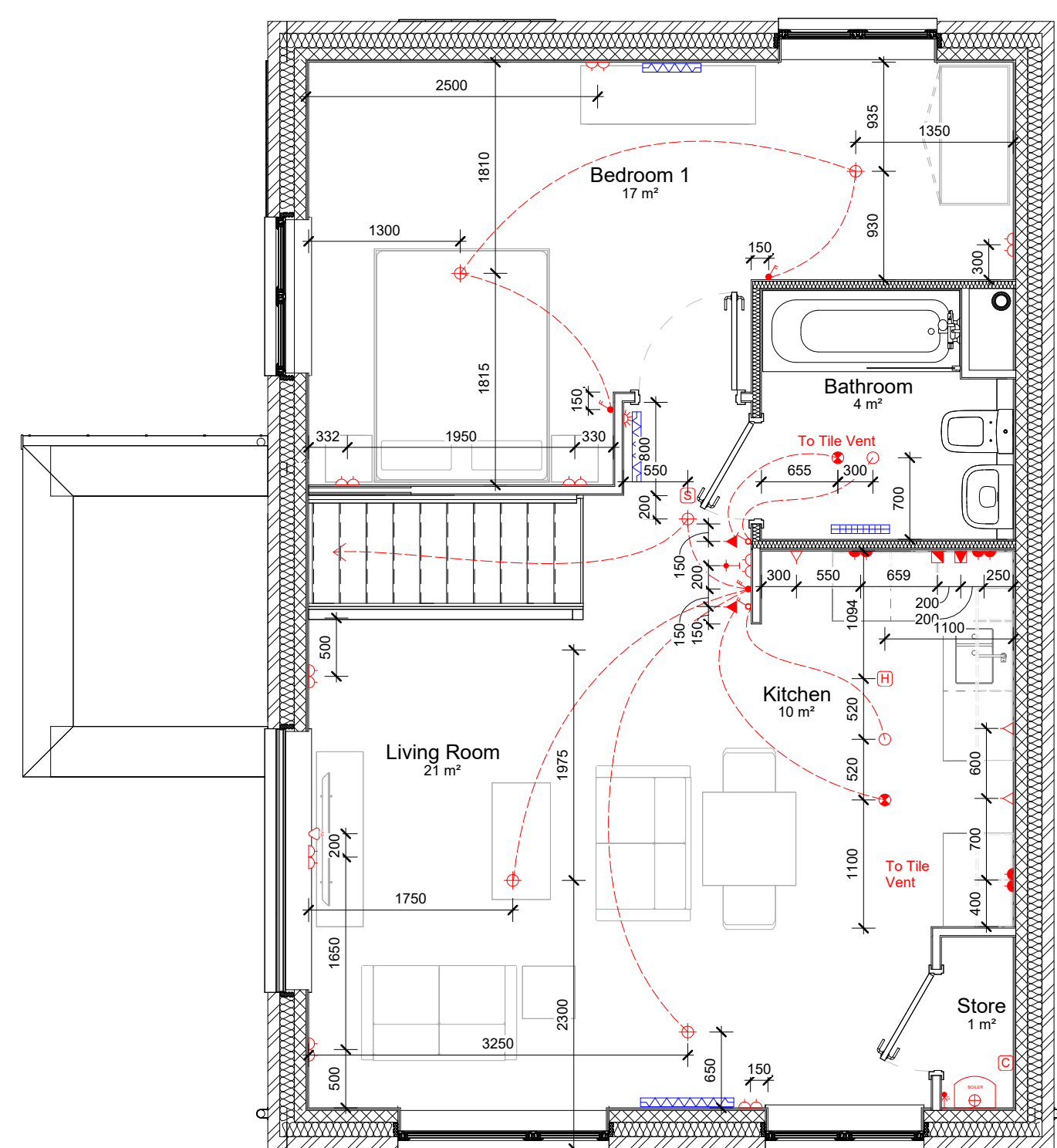
| Ventilation Fixture Schedule | |
|---------------------------------------|----------|
| Ventilation Item | Quantity |
| Single air brick for CV2-GIP fan | 4 |
| Flat Edge Tie Vent for Concrete Tiles | 2 |
| Boiler Flue Terminal and Flashing Kit | 1 |



225. Ground Floor MEP
1 : 50

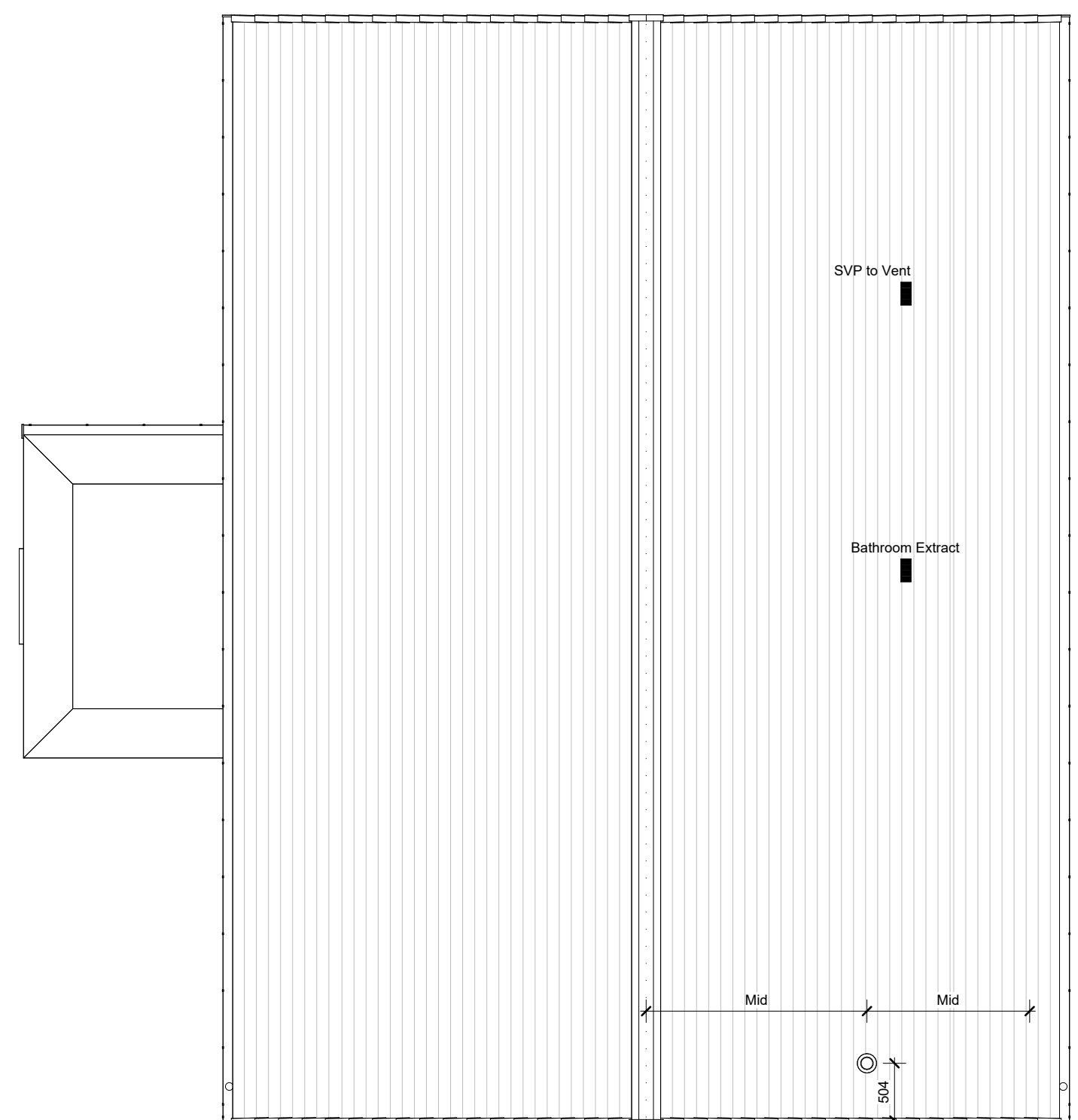
Note: Minimum 300mm required between the sink/hub and any electrical fixtures

Boiler flue to exhaust through wall



235. First Floor MEP
1 : 50

Note: Minimum 300mm required between the sink/hub and any electrical fixtures



239. Roof Plan
1 : 50

| M&E LEGEND | |
|--|--|
| LIGHTING | |
| External Wall Light | External Wall Light |
| Internal Wall Light | Internal Wall Light |
| Pendant Light | Pendant Light |
| Recessed Spot Light | Recessed Spot Light |
| Bulkhead Light | Bulkhead Light |
| SWITCHES | |
| Single Gang Switch | Single Gang Switch |
| Double Gang Switch | Double Gang Switch |
| Triple Gang Switch | Triple Gang Switch |
| Single Two-Way Switch | Single Two-Way Switch |
| Double Two-Way Switch | Double Two-Way Switch |
| Triple Two-Way Switch | Triple Two-Way Switch |
| Wondwall Switch | Wondwall Switch |
| 13A Switched Fused Spur | 13A Switched Fused Spur |
| 13A Unswitched Fused Spur | 13A Unswitched Fused Spur |
| Kitchen Gang Plate | Kitchen Gang Plate |
| Cooker Control Box | Cooker Control Box |
| SOCKETS | |
| Single Socket - Low Level | Single Socket - Low Level |
| Unswitched Single Socket - Low Level | Unswitched Single Socket - Low Level |
| 5 Amp Socket | 5 Amp Socket |
| Double Socket - Low Level | Double Socket - Low Level |
| Double Socket - Low Level With USB | Double Socket - Low Level With USB |
| Single Socket - Worktop Level | Single Socket - Worktop Level |
| Double Socket - Worktop Level | Double Socket - Worktop Level |
| Double Socket - Worktop Level With USB | Double Socket - Worktop Level With USB |
| External IP65 Rated Socket | External IP65 Rated Socket |
| Shaver Socket | Shaver Socket |
| MISC. ELECTRICAL | |
| Consumer Unit | Consumer Unit |
| Central Heating Room Thermostat | Central Heating Room Thermostat |
| Data Module with TV Point Inset | Data Module with TV Point Inset |
| Data Module with CAT6 Socket Inset | Data Module with CAT6 Socket Inset |
| Door Bell Sounder | Door Bell Sounder |
| Door Bell Push | Door Bell Push |
| FIRE & GAS PROTECTION | |
| Carbon Monoxide Detector | Carbon Monoxide Detector |
| Heat Detector | Heat Detector |
| Smoke Detector | Smoke Detector |
| Sprinkler Head | Sprinkler Head |
| VENTILATION | |
| Ceiling Mounted Fan | Ceiling Mounted Fan |
| Brick Vent - Plan | Brick Vent - Plan |
| Brick Vent - Elevation | Brick Vent - Elevation |
| Tile Vent | Tile Vent |
| HEATING & PLUMBING | |
| Central Heating Boiler | Central Heating Boiler |
| Gas Point | Gas Point |
| Radiator | Radiator |
| Towel Rail | Towel Rail |
| Boiler Flue Terminal | Boiler Flue Terminal |
| External Tap | External Tap |

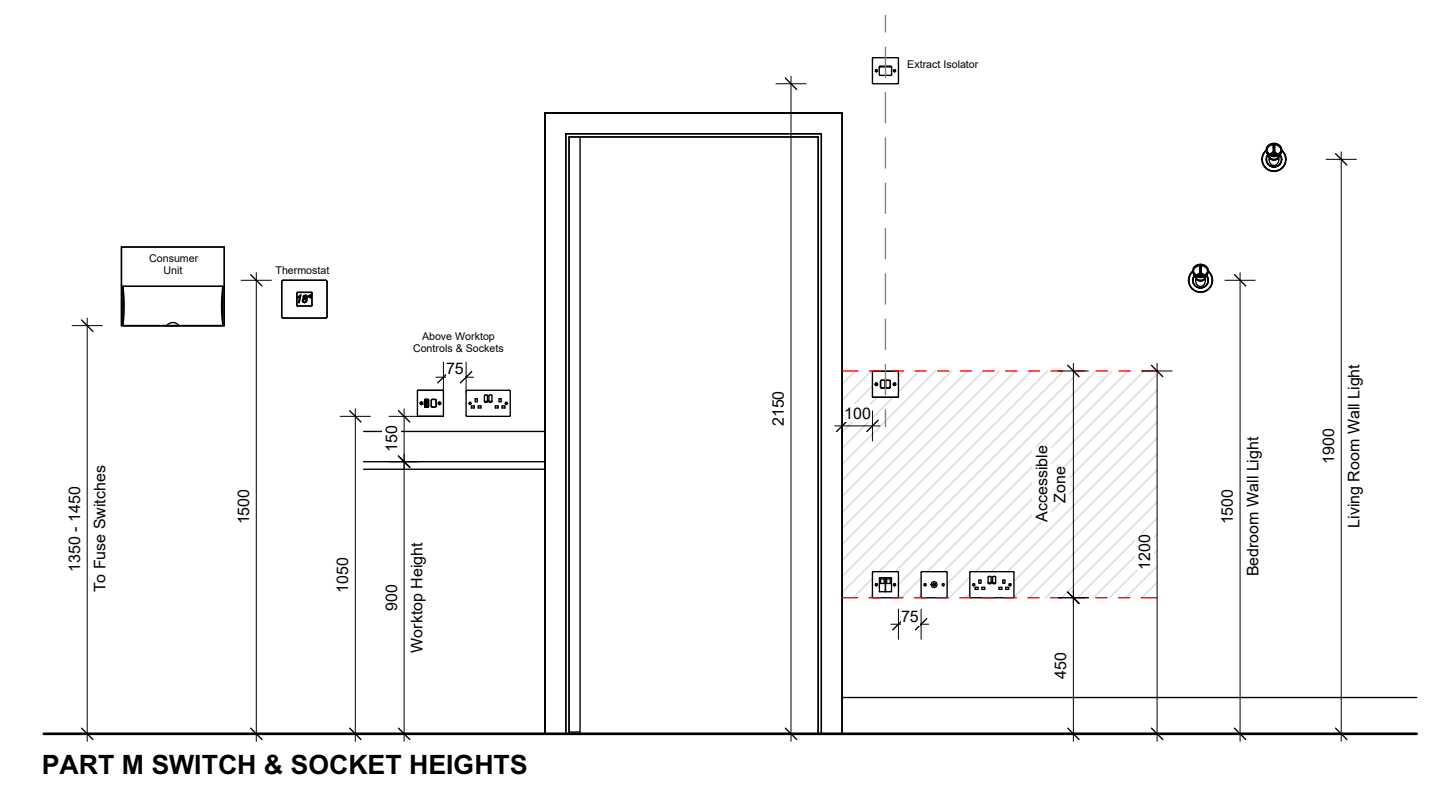
Note: All plumbing and ventilation items shown indicatively. Refer to independent third party designs for exact details of heating and ventilation designs.

IMPORTANT
THIS LEGEND MUST ALWAYS BE PRINTED WITH ANY MEP PLAN EXTRACTS

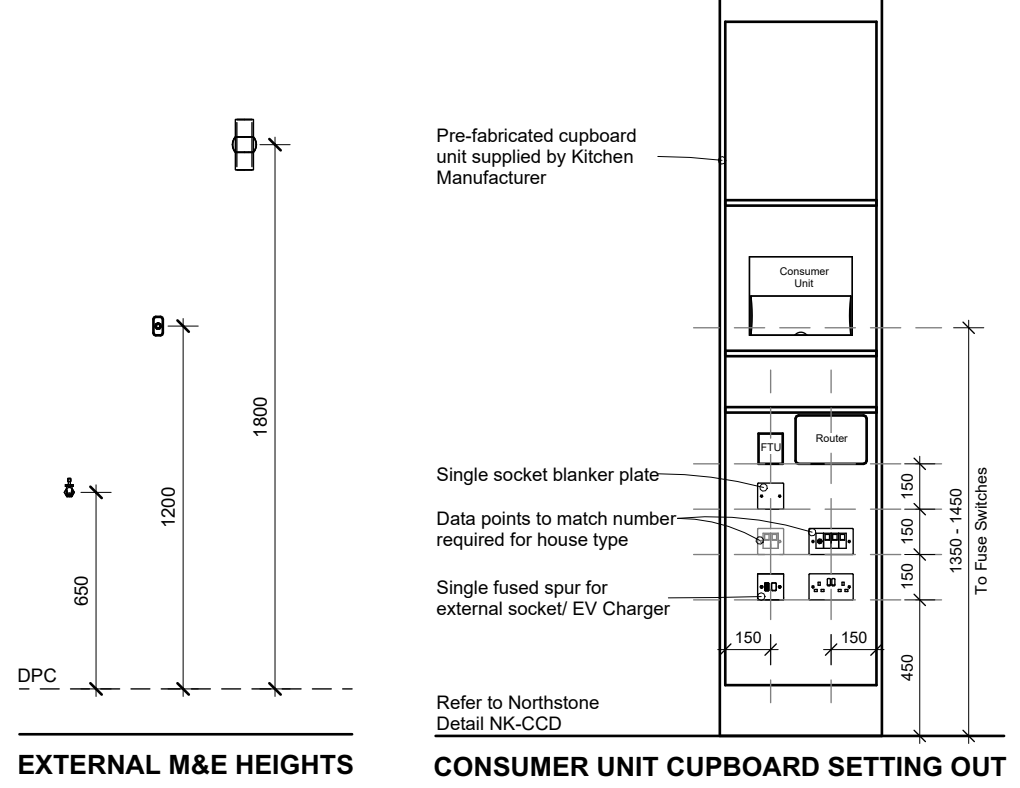
ANY CLASHES OR DISCREPANCIES MUST BE REPORTED TO NORTHSTONE TECHNICAL TEAM

| AIR SOURCE HEAT PUMP LEGEND | |
|--|--|
| CLEARANCE | |
| ASHP | ASHP |
| Min. 1000 | Min. 1000 |
| Min. 300 | Min. 300 |
| Min. 200 | Min. 200 |
| Min. 300 | Min. 300 |
| ELEVATIONS | |
| ASHP | ASHP |
| 840 | 840 |
| 322 | 322 |
| 1284 | 1284 |
| ANCILLARY EQUIPMENT | |
| IP67 Rated Rotary Pole Isolator Switch | IP67 Rated Rotary Pole Isolator Switch |
| IP66 Rated External Whisper Box | IP66 Rated External Whisper Box |
| Panasonic Smart Control Switch | Panasonic Smart Control Switch |

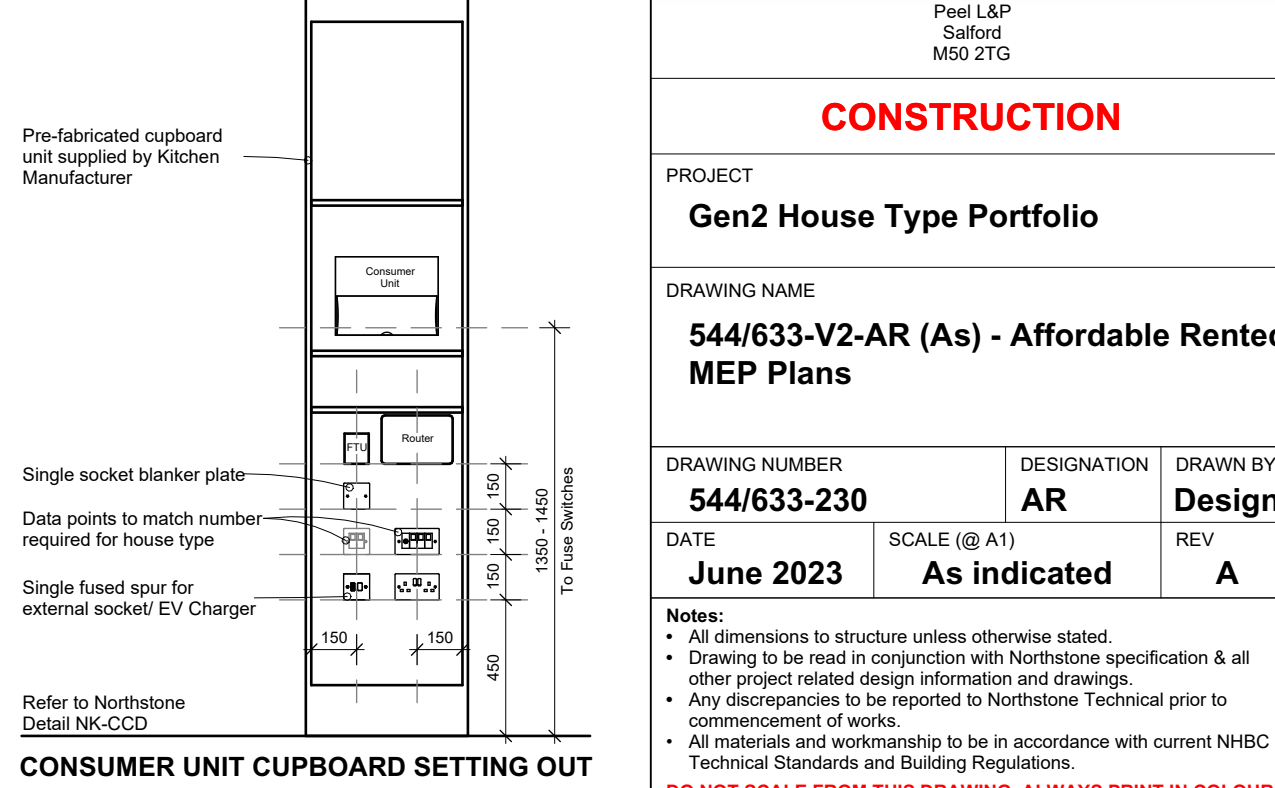
Note: Air Source Heat Pump, (ASHP), and ancillary equipment shown indicatively. Refer to independent third party designs for exact details of ASHP System



PART M SWITCH & SOCKET HEIGHTS

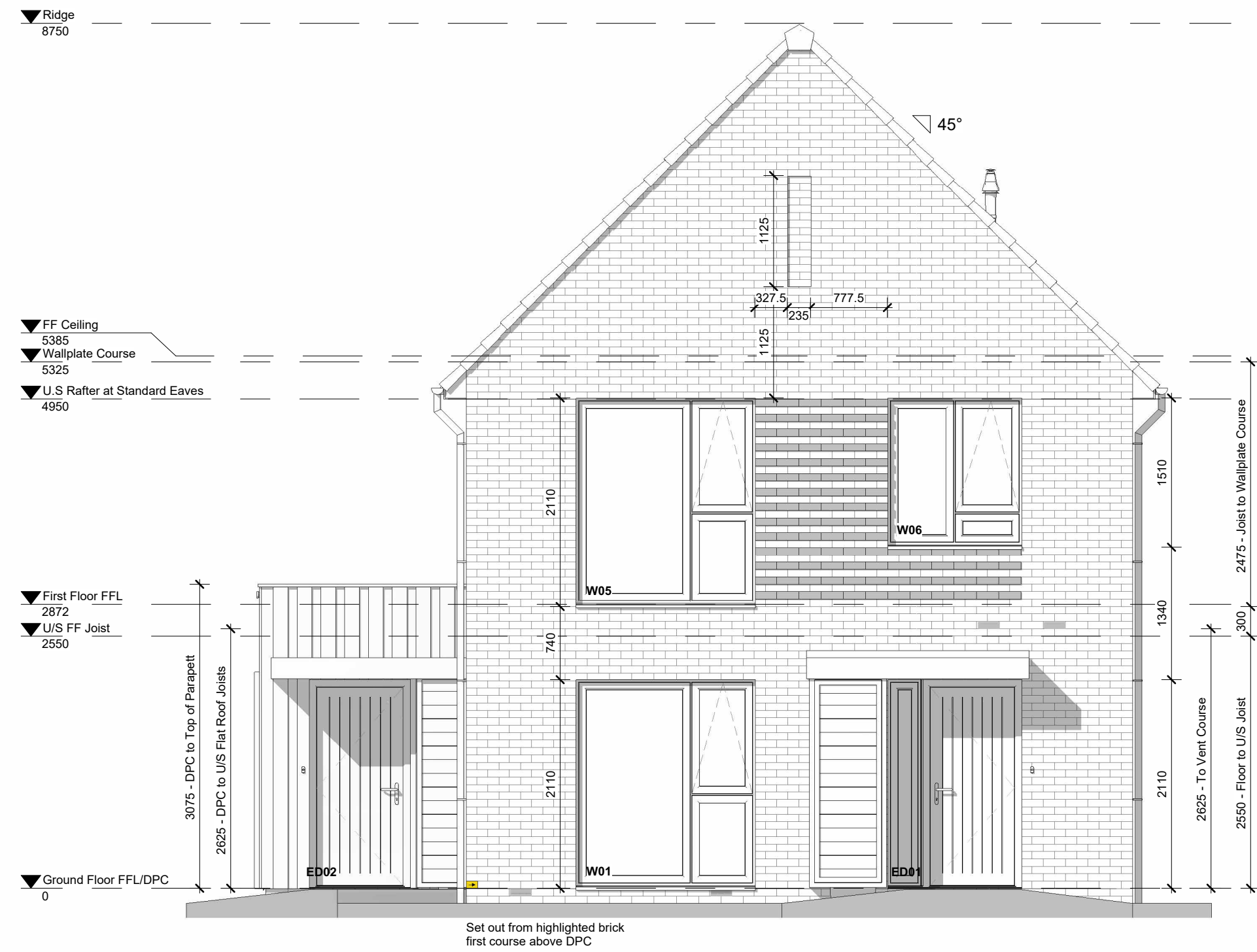


EXTERNAL M&E HEIGHTS

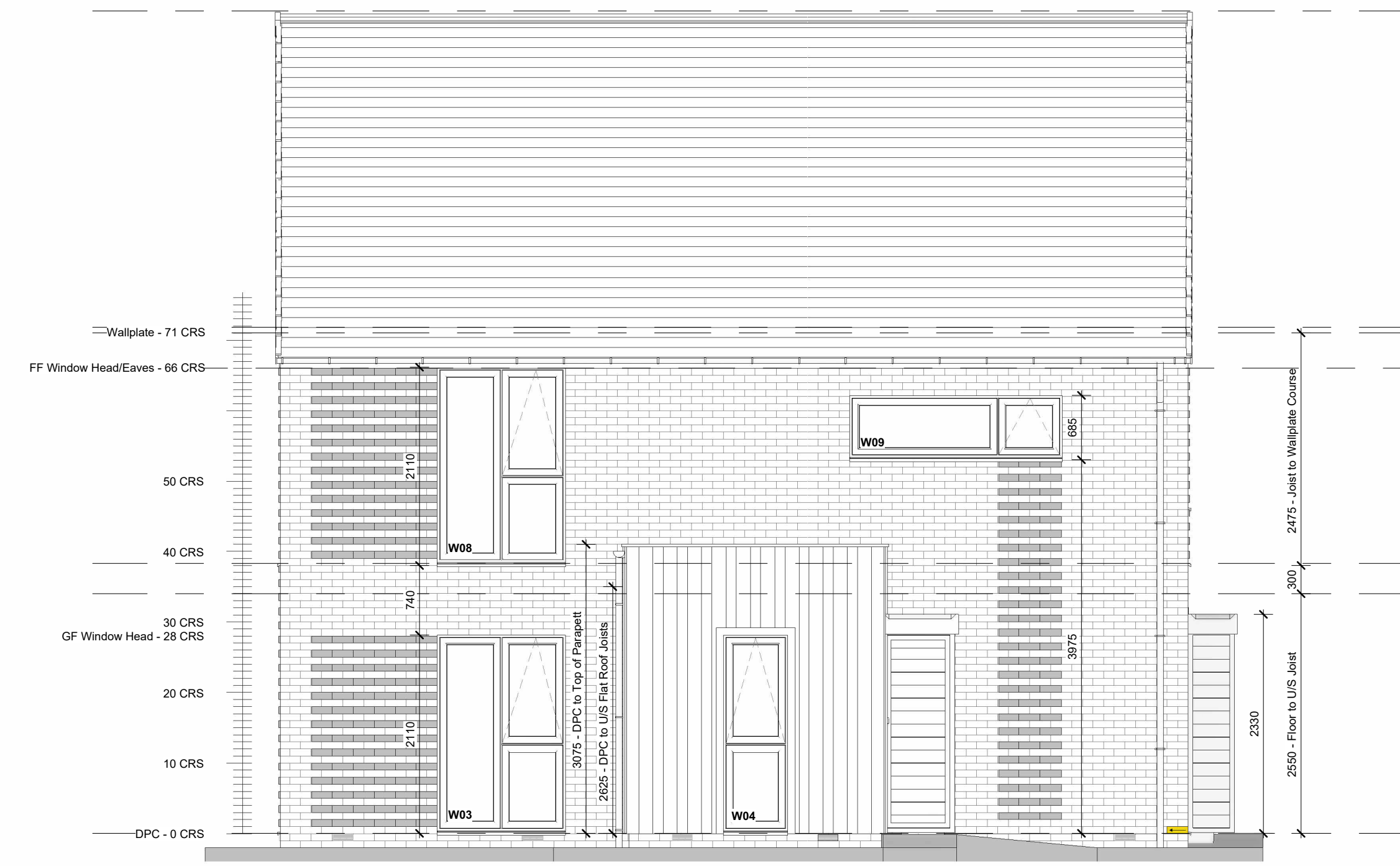


CONSUMER UNIT CUPBOARD SETTING OUT

| A | General updates as detailed within issue email dated 02.02.2024 | Feb 2024 |
|---|---|---------------------------|
| - | Construction Issue | July 2023 |
| Rev | Description | Date |
| NORTHSTONE | | |
| Peel L&P Salford M50 2TG | | |
| CONSTRUCTION | | |
| PROJECT Gen2 House Type Portfolio | | |
| DRAWING NAME 544/633-V2-AR (As) - Affordable Rented MEP Plans | | |
| DRAWING NUMBER 544/633-230 | DESIGNATION AR | DRAWN BY Design |
| DATE June 2023 | SCALE (@ A1) As indicated | REV A |
| Notes: <ul style="list-style-type: none"> All dimensions to structure unless otherwise stated. Drawing to be read in conjunction with Northstone specification & all other project related design information and drawings. Any discrepancies to be reported to Northstone Technical prior to commencement of works. All materials and workmanship to be in accordance with current NHBC Technical Standards and Building Regulations. | | |
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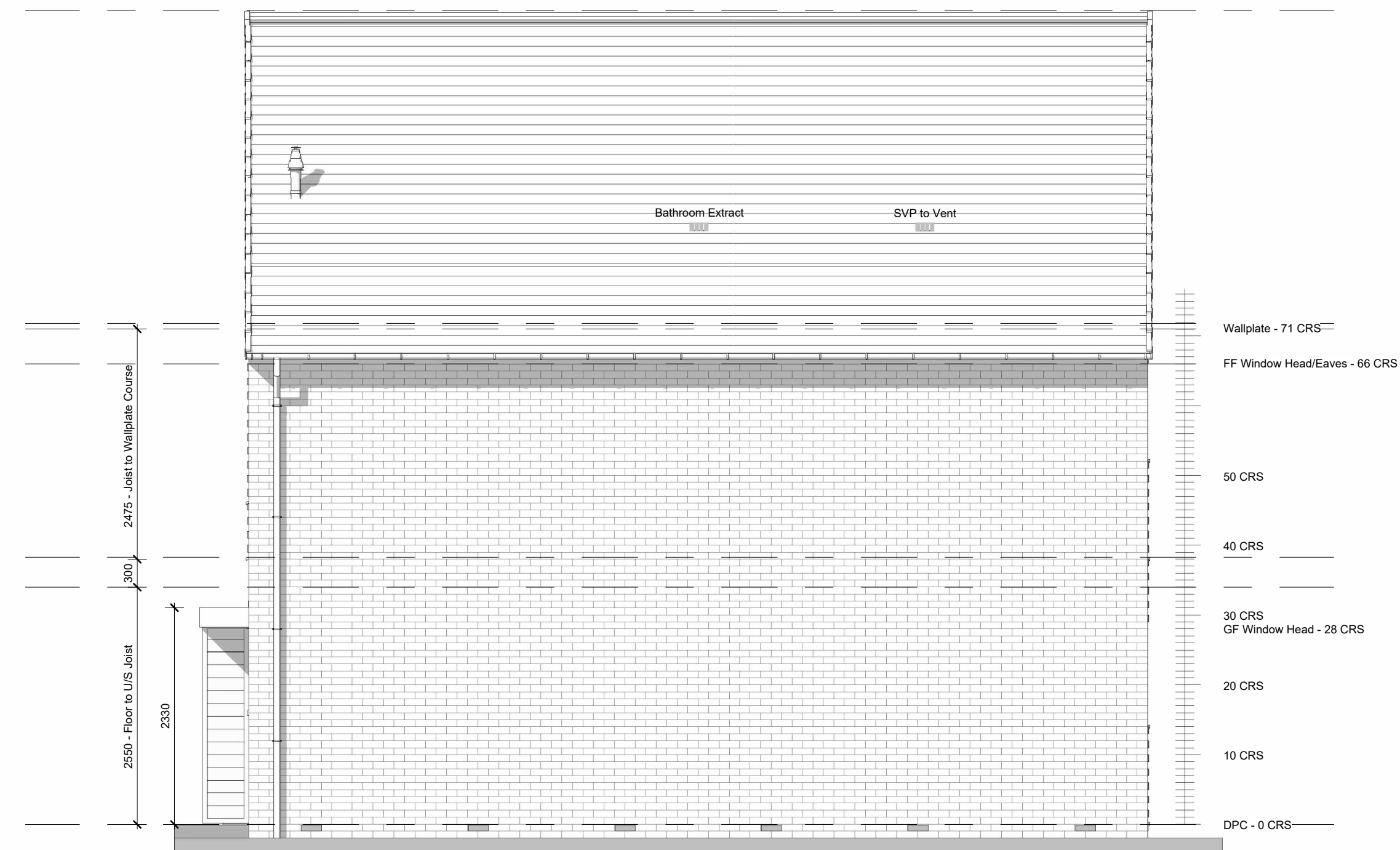
240. Front Elevation
1 : 50



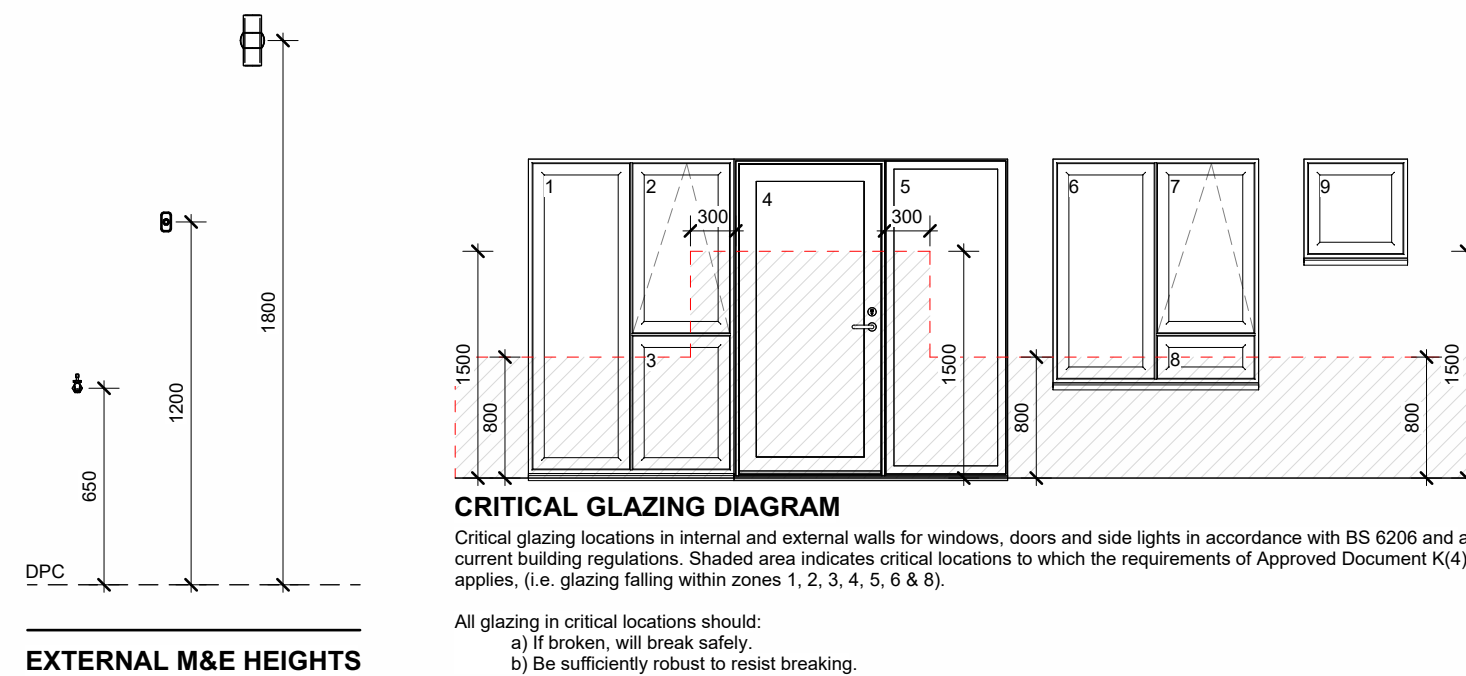
241. LHS Elevation
1 : 50



242. Rear Elevation
1 : 50



243. RHS Elevation
1 : 50



- Notes:**
- Schedules to be read in conjunction with all project specification documents, floor plans and elevations
 - Structural opening size includes any sidelights
 - Frame set back is taken from front face of brick
 - Refer to manufacturers information for detailed intel schedules
 - All accessible windows and doors to be PAS24 tested to comply with Part Q of building regulations
 - All dimensions to be checked on site prior to manufacture

Escape from upper storey a maximum of 4.5m above ground level: ALL inner rooms where applicable and all first floor habitable rooms (excluding kitchens) to be provided with an escape window (or external door) which complies with Approved Document B1 Section 2 Paragraph 2.2.

Dwellings with one storey more than 4.5m above ground level: A protected stairway should be provided with minimum 30 minute fire resisting construction at all storeys to comply with Approved Document B1 Section 2 Paragraph 2.5.

Unobstructed opening egress area to be at least 0.33M² and at least 450mm high and 450mm wide. Bottom of windows to be not more than 1100mm and not less than 800mm above the floor. Escape windows to have non lockable fasteners and hinged to achieve the minimum required opening.

| | |
|---|-----------|
| General updates as detailed within issue email dated 02.02.2024 | Feb 2024 |
| Construction Issue | July 2023 |

| Rev | Description | Date |
|-----|-------------|------|
|-----|-------------|------|

NORTHSTONE
Peel L&P
Salford
M50 2TG

CONSTRUCTION

PROJECT
Gen2 House Type Portfolio

DRAWING NAME
544/633-V2-AR (As) - Affordable Rented Elevations

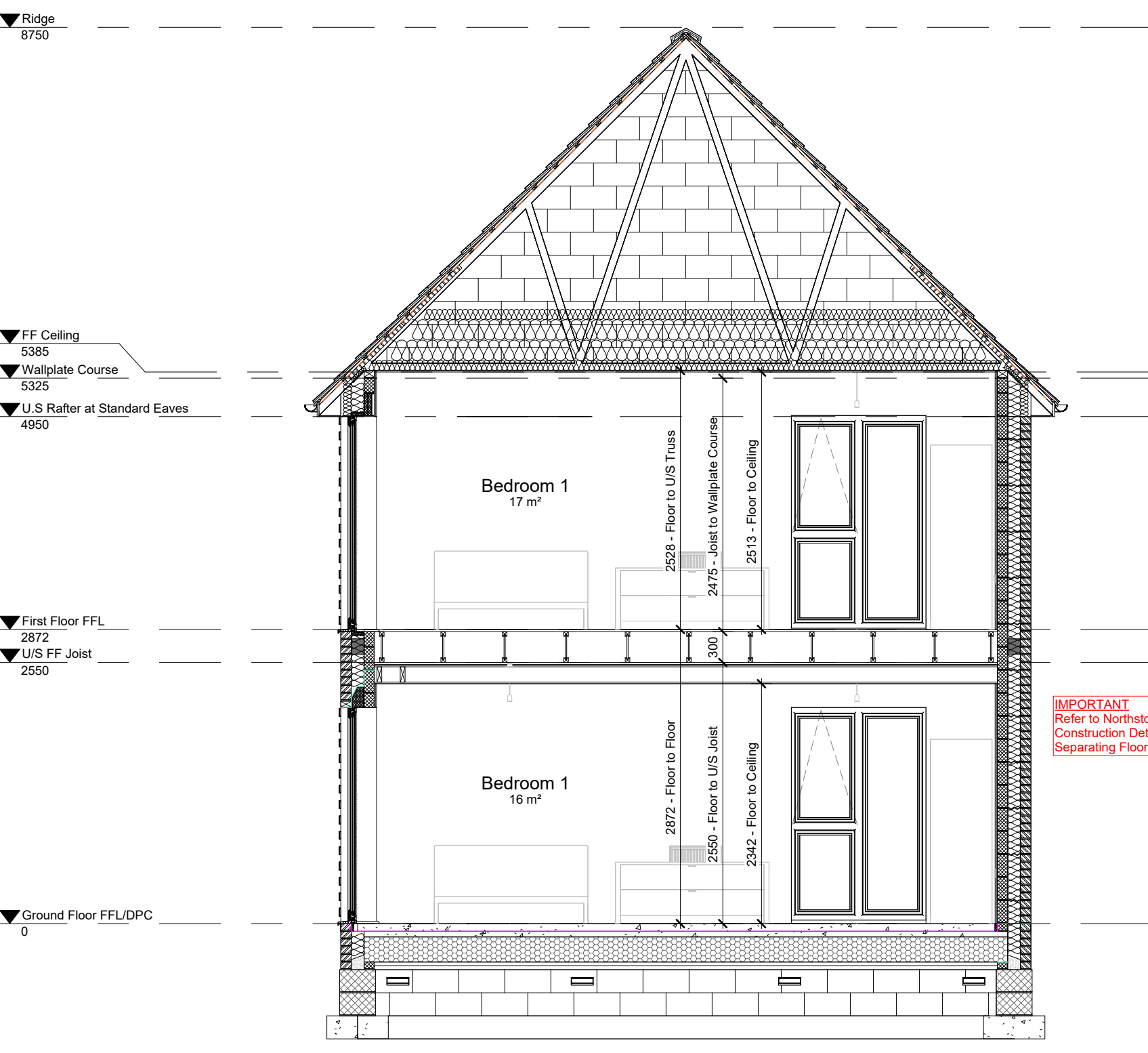
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| DRAWING NUMBER 544/633-240 | DESIGNATION AR | DRAWN BY Design |
| DATE June 2023 | SCALE (@ A1) As indicated | REV A |

Notes:

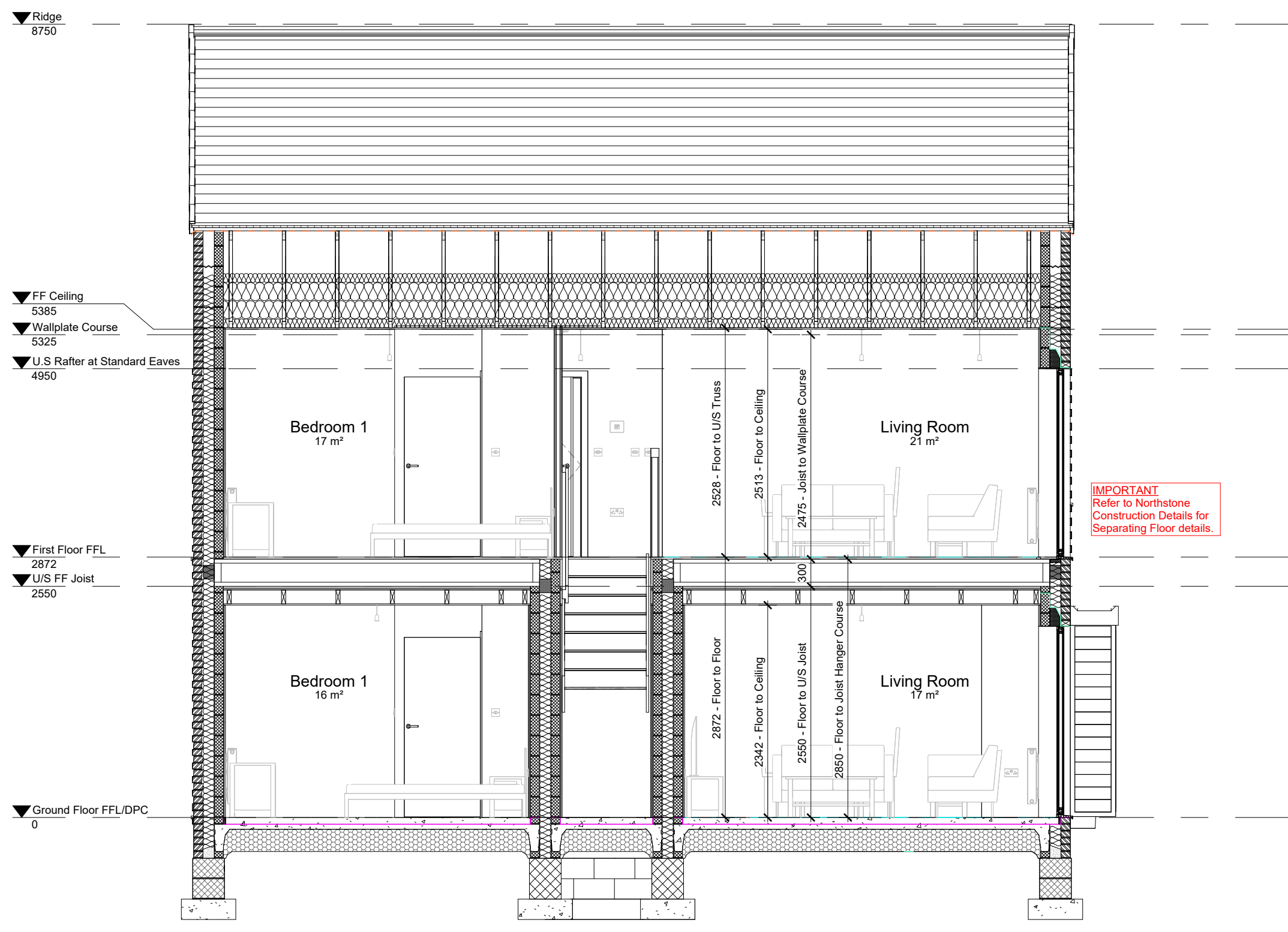
- All dimensions to structure unless otherwise stated.
- Drawing to be read in conjunction with Northstone specification & all other project related design information and drawings.
- Any discrepancies to be reported to Northstone Technical prior to commencement of works.
- All materials and workmanship to be in accordance with current NHBC Technical Standards and Building Regulations.

DO NOT SCALE FROM THIS DRAWING. ALWAYS PRINT IN COLOUR.

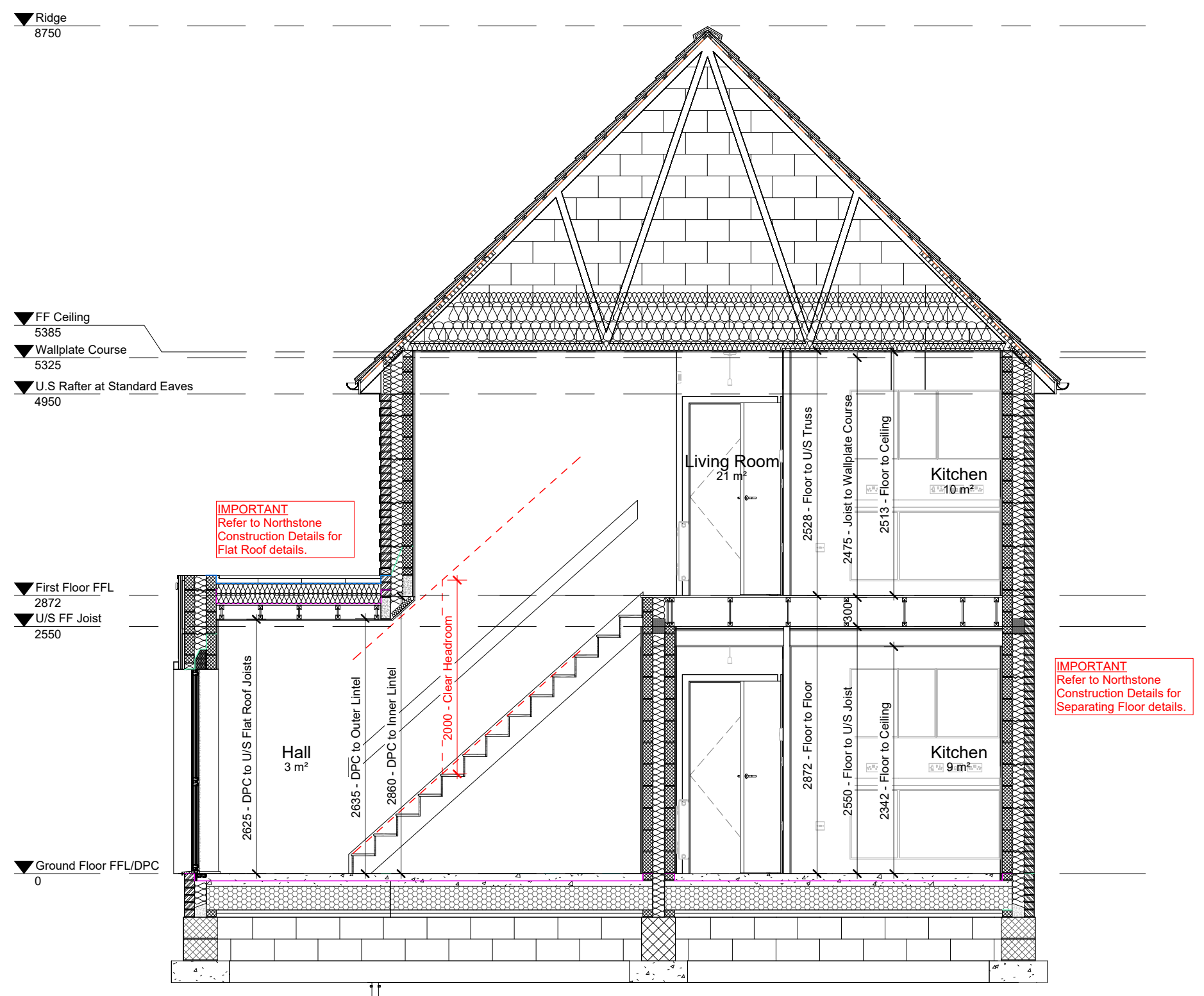
| MEMBRANE KEY | |
|--------------|---------------------------|
| | Damp Proof Course (DPC) |
| | Damp Proof Membrane (DPM) |
| | Roof Underlay |
| | Breather Membrane |



250. Section A-A
1 : 50



251. Section B-B
1 : 50



252. Section C-C
1 : 50

| | | |
|---|-------------------------------|---------------------------|
| A General updates as detailed within issue email dated 02.02.2024 | | Feb 2024 |
| - Construction Issue | | July 2023 |
| Rev | Description | Date |
| NORTHSTONE | | |
| Peel L&P Salford M50 2TG | | |
| CONSTRUCTION | | |
| PROJECT Gen2 House Type Portfolio | | |
| DRAWING NAME 544/633-V2-AR (As) - Affordable Rented Sections | | |
| DRAWING NUMBER 544/633-250 | DESIGNATION AR | DRAWN BY Design |
| DATE June 2023 | SCALE (@ A1) 1 : 50 | REV A |
| Notes: <ul style="list-style-type: none"> All dimensions to structure unless otherwise stated. Drawing to be read in conjunction with Northstone specification & all other project related design information and drawings. Any discrepancies to be reported to Northstone Technical prior to commencement of works. All materials and workmanship to be in accordance with current NHBC Technical Standards and Building Regulations. | | |
| DO NOT SCALE FROM THIS DRAWING. ALWAYS PRINT IN COLOUR. | | |