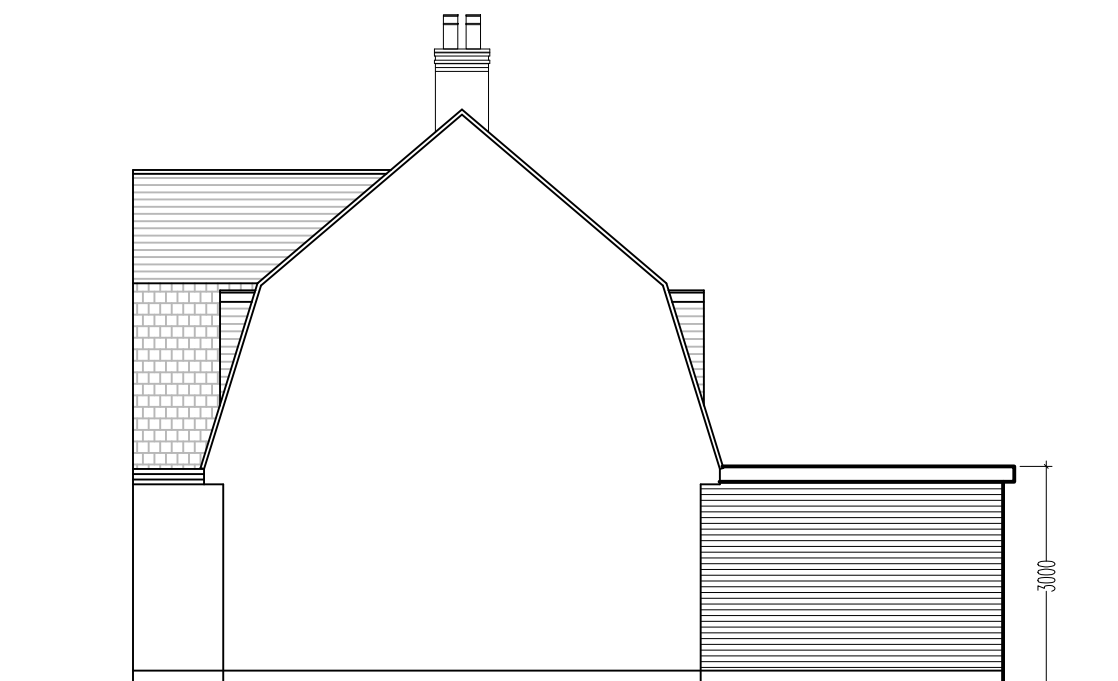
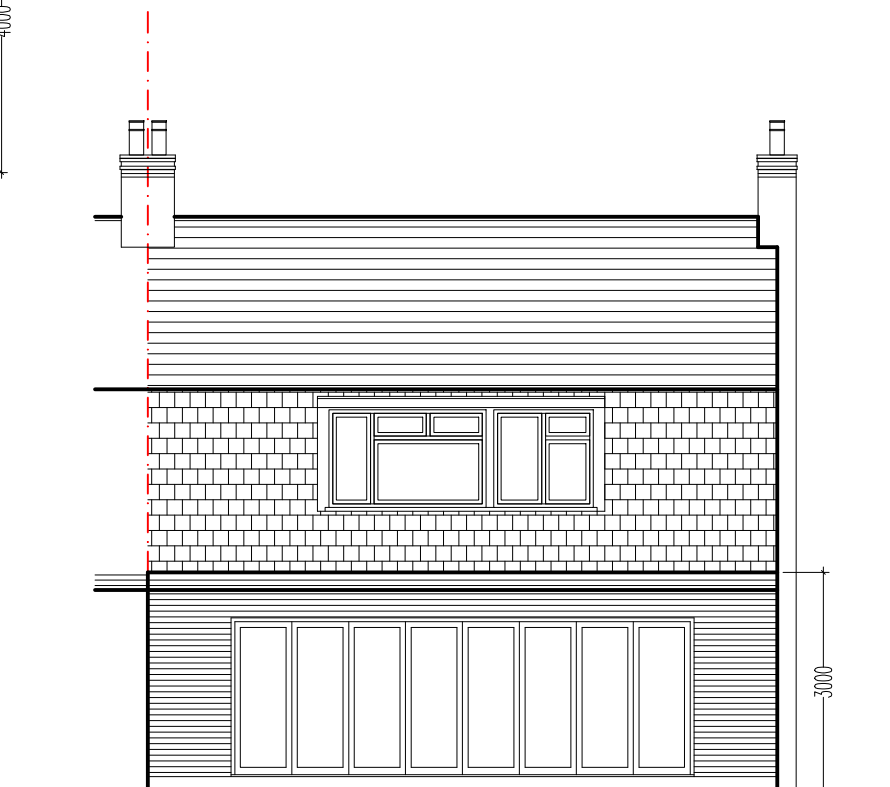
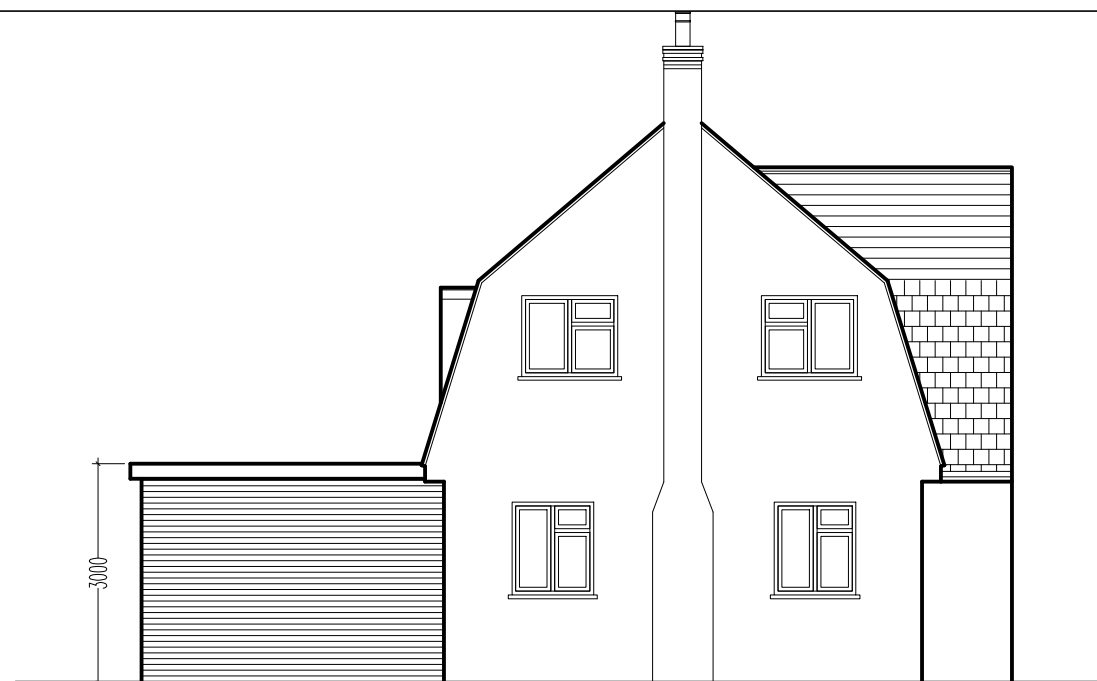
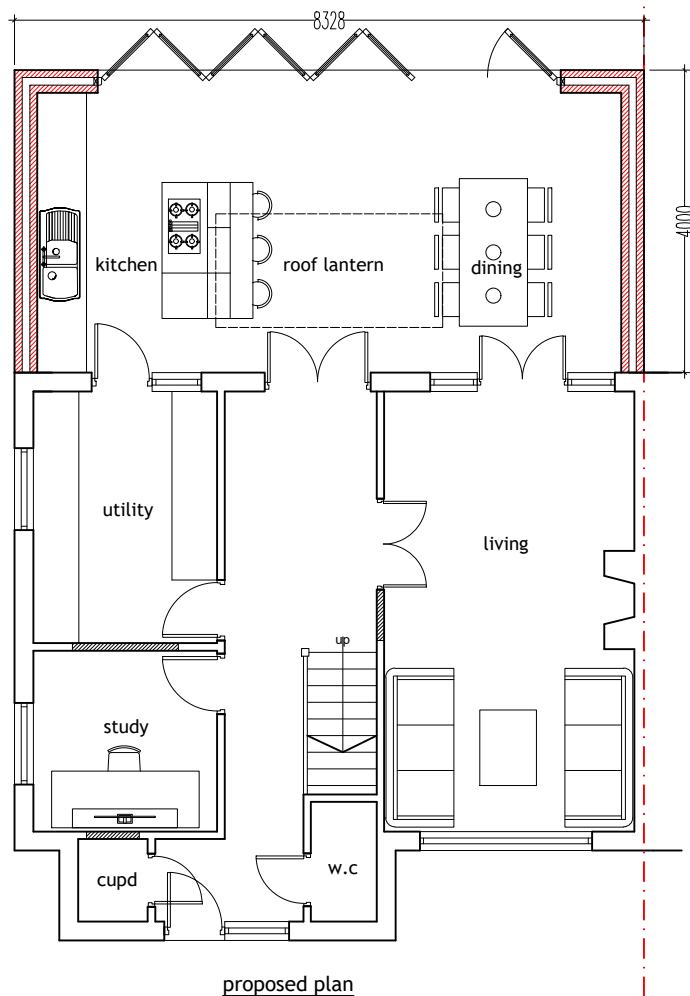


NOTES:
 ALL MEASUREMENTS TO BE DOUBLE CHECKED ON SITE BEFORE ORDERING MATERIAL & DO NOT SCALE FROM THE DRAWING.

IT IS OWNER'S RESPONSIBILITY TO SERVE APPROPRIATE PARTY WALL NOTICE.

PLANS ARE SUBJECT TO PLANNING AND BUILDING REGULATIONS APPROVAL.



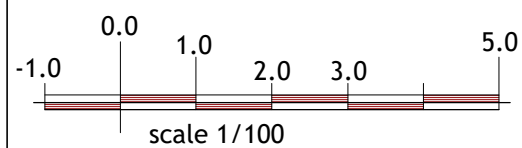
general notes

ALL EXTERNAL FINISHING MATERIALS TO MATCH EXISTING.

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR/BUILDER MUST ENSURE ALL NEW GUTTERING, FASCIA, ETC. OF THE NEW ROOF ARE WITHIN BOUNDARY LINE AND MUST NOT PROJECT OVER THE BOUNDARY LINE.

POSITION OF BOUNDARY LINE/WALL TO ADJACENT PROPERTIES TO BE AGREED IN WRITING BY PARTIES INVOLVED AS SET OUT IN THE PARTY WALL ACT 1996 PRIOR TO WORK COMMENCEMENT.



plan & build



PH. 07816611144

email: shamshadali@hotmail.co.uk

ADDRESS: 129 THE AVENUE, HERTFORD, SG14 3DX

TITLE: PROPOSED PLAN & ELEVATIONS

PROJECT: SINGLE STOREY REAR EXTENSION

DATE	26 FEB 2024	DWG NO.	02/03
DRAWN BY		SCALE	1:100