

Report No	Date
OE/1702/1058/R1	JANUARY 2024
Project	Land behind 22 to 34, Goldney Avenue, Warley, Bristol, BS30 5JG PHASE I GEOENVIRONMENTAL ASSESSMENT
Client	M & A Commercials (Bristol) Limited




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Issue Number	Status	Description of Amendments

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EXECUTIVE SUMMARY

Instruction	Obsidian Environmental Ltd was commissioned by Mr Mark J Palmer (on behalf of M & A Commercials (Bristol) Limited, 30-31 St James Place, Mangotsfield, Bristol, BS16 9JB), on 15 November 2023.
Existing Conditions	<p>Site</p> <p>The site is rectangular in shape and covers an area of approximately 0.17ha(0.42 acres). The site is slopes gently from south to north with site levels estimated to from fall between 42.5 to 40.0m AOD.</p> <p>The site is currently partitioned. The southern area has generally been cleared of vegetation, whilst at the northern end of the site there remains two rows of former garage blocks. The garages, all currently empty and awaiting demolition, are constructed of pcc wall units, with steel doors and an asbestos roof. The roof panels are made of cement bonded asbestos (chrysotile) sitting on a reinforced concrete slab.</p>
Proposed Development	It is proposed to construct circa 6 new semi-detached and detached two storey dwellings.
Site History	Between 1882 and 1963 historical maps denoted disturbed ground in the area of the area of the mine entry. On the 1963 -66 map edition several sheds/garages were shown. On the 1986 map the former sheds had been removed and replaced with the current rows of pcc garages. One row of garages was demolished in 2019 to allow the establishment of the mine entry position more accurately. The southern area of the site has never been developed and remains open space.
Geology & Hydrogeology	<p>Superficial deposits consist, below a veneer of Made Ground, Alluvium described as a sequency of Clays, Sands and Gravels, above bedrock deposits of MUDSTONE, and possibly SILTSTONE and SANDSTONE.</p> <p>The bedrock deposits have been designated as Secondary A – Permeable layers capable of supporting water supplies at a local rather than strategic scale, and in some cases forming an important source of base flow to rivers. These are generally aquifers formerly classified as minor aquifers.</p> <p>Groundwater vulnerability is deemed to be low to medium.</p>
Coal Mining	<p>There have been five coal seams worked beneath the site between 1870 and 1880, at depths between 153 and 235m below ground level. There is a significant risk of unrecorded shallow mining beneath the site.</p> <p>There is a former mine entry at the site, that has been exposed, following a permit application to the Coal Authority. The mine entry has yet to receive a new cap.</p>
Geotechnical	Made Ground soils and any soft Alluvial soils such as Clays will not be suitable for traditional foundations. Ground bearing ground floor slabs will not be applicable for the site. Piled foundation solutions may be required at the site.
Environmental	There does not appear to be any significant contamination issues at the site. However, there remains asbestos cladding to the remaining garages. Invasive weeds such as Japanese Knotweed (JKW) were not observed on the site.
Ground & Radon Gas	<p>As part of any Phase II intrusive site investigation ground gas and groundwater installations should be completed to allow monitoring sufficient to establish the ground gas regime at the site.</p> <p>Radon gas levels are advised to be <1.0% and hence, mitigation measures are not required for all new dwellings.</p>
Buried Concrete & Services	There may be a requirement for specialist concrete if there is ground contamination at the site.
Waste Management	There is asbestos roof cladding to the remaining garages at the site.
Recommendations	<p>A suitable intrusive site investigation should be completed across the site to establish the type, degree, and extent of Made Ground and Superficial deposits at the site as part of a Phase II Geoenvironmental Assessment. Ground gas and groundwater installations, for monitoring purposes, should be included within the Works.</p> <p>A shallow mining intrusive site investigation should be completed to circa 30.0 to 35.0m depth bgl across the site. A new Permit application will be required from the Coal Authority. The reporting should be part of the Phase II Assessment.</p> <p>A copy of this Phase I Assessment should be forwarded to the Planning Authority for review by the Local Contaminated Land Officer as applicable.</p>

1.0 INTRODUCTION

1.1 Instruction

Obsidian Environmental Ltd was commissioned by Mr Mark J Palmer (on behalf of M & A Commercials (Bristol) Limited, 30-31 St James Place, Mangotsfield, Bristol, BS16 9JB), on 15 November 2023, following the submission of a Budget Estimate on 12 May 2023. The instruction included the completion of a Phase I Geoenvironmental Assessment on a site known as Land behind 22 to 34 Goldney Avenue, Warmley, Bristol, BS15 5JG – see Figure OE/1072/1058/LR01/Fo1 – Site Location Plan.

The objectives of the investigation were to determine the sub-surface conditions in respect of:

- History of the sites development and its environs
- Preliminary geotechnical advice relating to the anticipated ground conditions
- Preliminary contamination assessment to consider potential significant pollutant linkages arising from the historic site use.
- Potential Flood Risk
- Potential Radon Gas levels
- Assessment of shallow coal mining issues and on-site adit (shaft).

1.2 Report Layout

- Section 2.0 - provides a record of the Phase I assessment including the site history, as established from available public record information and summarises information from previous site assessments.
- Section 3.0 - presents a preliminary Conceptual Model for the site.
- Section 4.0 - details the anticipated geotechnical and environmental conditions identified by the desk study.
- Section 5.0 - provides conclusions and recommendations arising from this assessment.

1.3 Proposed Development & Planning Permission

Planning Permission has been granted for the demolition of pcc garage units and the erection of six new dwellings – detached and semi-detached - see Figure OE/1702/1058/R1/F01 – Proposed Development Plan.

1.4 Limitations

Subsoils are inherently variable and by their very nature are hidden from view such that no investigation can be exhaustive to the extent that all soil conditions are revealed. Conditions may therefore be present beneath the site that were not apparent from the data available for review. Similarly, this assessment has been based to a large extent on third party data acquired from Groundsure. This data has been taken at face value and has not been subjected to any third party validation.

Unless specifically noted to the contrary, it should be assumed that this report has not been submitted to any regulatory authorities for approval. Redevelopment sites in particular may have planning conditions attached in respect of contaminated land assessment. Where we are made



aware of such conditions in advance of scoping the works, we can tailor the report to the regulatory authority requirements. Where we are not made aware of any such requirements there can be no certainty that our investigation will meet any or all of the regulatory authority requirements.



2.0 PHASE I ASSESSMENT

2.1 Site Location

The site is located within 4.0km of the centre of the City of Bristol, at approximate National Grid Reference 367296E, 173274N. A site location plan is presented as OE/1702/938/R1/F01.

2.2 Site Description

The site was last visited on 15 December 2023 and the following site description completed. The weather at the time was fine and dry. Collated within Appendix C is the Groundsure Report. Typical photos of the site are included in Appendix B – Site Reconnaissance Photofile.

- The site is rectangular in shape and covers an area of approximately 0.17ha (0.42 acres).
- The site slopes from south to north with site levels estimated to fall from circa 42.5m AOD to circa 40.0m AOD.
- The site is currently partitioned. The southern area has generally been cleared of vegetation, whilst at the northern end of the site there remains two rows of former garage blocks. The garages, all currently empty and awaiting demolition, are constructed of pcc wall units, with steel doors and with cement bonded asbestos rooves (chrysotile). The pcc wall panels sit directly onto a reinforced concrete slab.
- The site will have a shared access road between existing rear gardens to Numbers 22 to 34 Goldney Avenue. The existing access road external surface is of tarmac construction.
- The site is bounded to the north by part commercial and residential development, to the east by residential development (existing Goldney Avenue), to the south by a church yard and church, and to the west a Public Footpath and ancient woodland.
- There were no streams or water courses immediately adjacent to the site.
- Evidence of significant contamination/spillages was not seen at the site, however, during the site inspections the asbestos cladding to the rooves of the derelict garages was noted.
- Previously, circa 2019, one length of the original garages was carefully demolished to allow the ground floor slabs to be excavated. This was to expose a known former coal mine entry (shaft/adit) on the site. A Permit from the Coal Authority was obtained to allow an intrusive investigation of the mine entry, as it was marked beneath the garage bases – see Section 2.7 for further details. The adit remains uncapped.
- There are mature trees near tot the boundary of the site (off-site) – on the west side – within the wood.
- The southern area of the site has been cleared/stripped of vegetation/weeds. There is a mound of scrapped up vegetation stockpiled in the open area at the southern area. In the northern area of the site, between the two remaining rows of pcc garages there are two stockpiles of previously excavated concrete ground floor slabs and broken pcc wall panels stockpiled on the site.
- Ther was no visual evidence of asbestos contaminated roof panels mixed in with the existing stockpiles, or the immediately surrounding areas.
- Evidence of fly tipping was not observed on site, as it a controlled area/fenced/gated area.
- Japanese Knotweed was not observed on site,

2.3 Geology

The geology of the site is shown on the 1:50,000 scale British Geological Survey map, obtained and interpreted by Groundsure.



This indicates that the Superficial deposits consist, below a veneer of Made Ground, thence Alluvium described as a sequence of Clays, Sands and Gravels, above bedrock deposits of MUDSTONE and possibly SILTSTONE and SANDSTONE. The bedrock is from the Bolsovian sub-age (Diamantina) of Westphalian origins. The formation is circa 310 million years old.

The BGS website provided details from a borehole 133m from the site at former working colliery. It defines 0.6m below ground level (bgl). A thickness of Made Ground – Topsoil - overlying 0.6 to 5.4m bgl of CLAY, which in turn overlie MUDSTONE Bedrock confirmed to 6.1m bgl.

2.4 Hydrology and Hydrogeology

Surface water features in the vicinity of the site include at 164m Siston Brook as the only near surface water feature. Due to the proximity the potential risk to this receptor is deemed to be low.

Guidance from the Environment Agency indicates that the site area does not have an Agency Aquifer designation for Superficial deposits. This is due to the Alluvial soils being probably Clay type materials. At 195m from the site the Superficial deposits are defined as Secondary A - Permeable layers capable of supporting water supplies at a local rather than strategic scale, and in some cases forming an important source of base flow to rivers. These are generally, aquifers formerly classified as minor aquifers.

The bedrock deposits have been designated as Secondary A – Permeable layers capable of supporting water supplies at a local rather than strategic scale, and in some cases forming an important source of base flow to rivers. These are generally aquifers formerly classified as minor aquifers.

Groundwater vulnerability at the site is defined under the following Summary Classification: Secondary bedrock aquifer - Medium Vulnerability - Combined classification: Productive Bedrock Aquifer, No Superficial Aquifer.

2.5 Site History

Historical maps of the site area have been obtained via Groundsure. Large and small Historical Maps have been reviewed for the site and its environs – maps date from 1882 to 2023. The maps have been collated within Appendix D.

Pertinent information determined from review of these maps is set out in Table 2.1 below:



Table 2.1 - Historic Mapping Review

Date	On-site	Off-site
1882	Disturbed ground at location of known mine entry (adit/vent)	Disturbed ground immediately off site – Goldney Avenue rear gardens. Old pit 120m north of the site – Crown Colliery. St Barnabas` s Church and grave immediately south of the site, and vicarage beyond. Railway cutting at west boundary, old quarry shown, and clay pits at 150 and 120m respectively.
1903	Wider distribution of disturbed ground throughout the area – on and off site.	Old coal pit defined as disused – Crown Colliery. Railway Station noted to the northeast. Railway line to the west defined as the Magotsfield & Bath line. Clay pit enlarged to the west. Old quarry noted to the south. At 150m residential development on the Bath Road – beyond Goldney Avenue to the east.
1915	No change	Pit and quarry defined as old. Ochre & oxide works detailed 130m to the northwest – other side of railway. Old pit detailed.
1963-66	Small garages shown on the site – defined disturbed area removed.	Nos. 22 to 34 Goldney Avenue shown, with the rear access road. Nearest railway spur abandoned immediately to the west. Other, more westerly railway remains, together with Ochre & Oxide plant. Siston & Warmley RC School detailed on map – southeast of site. Additional residential development in the area shown.
1986	Three rows of pcc garages shown on the site.	Westerly railway appears unused. The Ochre & Oxide plant has been removed from the map.
1988	No change	Siston & Warmley RC School now renamed as Barnabas` s House (original area of former vicarage). Old tram way marked immediately off site. Railway now dismantled and converted to cycleway – Bristol to Bath. Electricity sub-station marked circa 110m to the north.
1992	No change	No significant change
2003	No change	No significant change
2023	No change	Wooded area covers old tramway and path.



Summary

Early maps provided by Groundsure show site development as general disturbed ground presumed from former mining activities. It should be noted that the known mine entry never appeared on the historical maps. The initial area, detailed on the earliest historical map (1882). Through to the 1960s. On the 1963 to 1966 map small sheds/garages are noted on the northern area of the site. They are then removed by 1986 and three rows of pcc units is shown for the first time. The three rows remained until circa 2019 when one row was demolished (central section) to allow the original mine entry to be exposed.

2.6 Environmental Database

A Groundsure report was commissioned to provide an indication of the site history and surrounding land uses available on the public registers. The report provides data from a number of service providers including the British Geological Survey, Environment Agency, and English Nature. The report is included in Appendix C.

The location of data point references is provided relative to the National Grid Reference for the site centre. The search radius extends 1km from the site centre.

Table 2.2 below indicates the risk scoring used on the potential pollutant linkages identified from the historic data search. The degree of risk (R) is calculated by multiplying the likelihood (L) with the effect (E):

Table 2.2 - Degree of risk (R) = Likelihood (L) x Effect (E)

Likelihood (L)	Description	Probability	Effect (E)	Description	Increase in cost and time
5	Almost certain	>70%			
4	Probable	50-70%	4	Very high	>10%
3	Likely	30-50%	3	High	4-10%
2	Unlikely	10-30%	2	Low	1-4%
1	Negligible	<10%	1	Very low	<1%
Risk (R)	Risk Level	Action			
1-5	Trivial	None			
6-10	Significant	Undertake appropriate mitigation measures to reduce the risk level by appropriate on-site practice at little additional cost.			
>10	Substantial	Designers should take such risks into account and avoid or reduce risk level to acceptable levels. Additional resources required.			

The following table provides a summary of the data reference points, together with an indication of the hazard, likelihood, severity, and degree of risk.

Table 2.3 - Environmental Data Review

Data Type	Distance from site	Hazard	Likelihood	Effect	Degree of risk	Mitigation measures
Local Authority Pollution Prevention and Controls	116 & 270m	Pollution/contamination migration to the site	1	3	3	Non required
Discharge consents	264m	Pollution/contamination migration to the site	1	3	3	Non required
Pollution incidents to controlled waters	>500m	Pollution/contamination migration to the site	1	3	3	Non required
Substantiated Pollution Incident Register	.500m	Pollution/contamination migration to the site	1	3	3	Non required
Water Abstractions – groundwater - Commercial	1221 & 1609m	Site contaminates migrating to groundwater	1	4	4	Non required
Water Abstractions – groundwater - Potable	>2000m	Site contaminates migrating to groundwater	1	4	4	Non required
Groundwater vulnerability	At site	Site contaminates migrating to groundwater	2	3	6	Intrusive site investigation
Extreme flooding from rivers or sea without defences.	At site	Flooding from ground 7 surface waters	2	2	4	Non required
Licensed Waste Management Facilities	59m	Migration of leachate and gases to the site	2	3	6	Intrusive site investigation
Registered Landfill sites	119 & 97m	Migration of leachate and gases to the site	2	3	6	Intrusive site investigation
Registered Waste Transfer Site	59m	Migration of leachate and gases to the site	2	3	6	Intrusive site investigation
Shallow Mining Hazard	At site	Ground instability, voids, and mine gases	3	3	9	Intrusive site investigation to 30.0m
Potential for collapsed ground stability hazards	At site	Future settlement of new dwellings	1	3	3	Intrusive site investigation

Table 2.3 - Environmental Data Review (cont.)

Data Type	Distance from site	Hazard	Likelihood	Effect	Degree of risk	Mitigation measures
Potential for compressible ground stability hazards	At site	Future settlement of new dwellings	1	3	3	Intrusive site investigation
Potential for ground dissolution stability hazards	At site	Future settlement of new dwellings	1	3	3	Intrusive site investigation
Potential for landslip subsidence hazard	At site	Structural damage to new dwellings	1	3	3	Intrusive site investigation
Potential for running sand ground stability hazards	At site	Future settlement of new dwellings	1	3	3	Intrusive site investigation
Potential for shrinking or swelling ground stability hazards	At site	Structural damage to new dwellings	1	3	3	Intrusive site investigation
Coal Mining Affected Areas	On site	Former shaft and possible shallow mining	3	3	p	Intrusive site investigation to 30.0m
Radon Affected Areas	On site	Migration of radon gas into the new dwellings	1	3	3	Non required
Contemporary Trade Directory Entries	92m	Migration of leachate and gases to the site	2	3	6	Intrusive site investigation
Fuel Station Entries	>250m	Migration of fuels/hydrocarbon liquids & vapours	2	3	6	Intrusive site investigation
Environmentally Sensitive Areas	>1000 & 2000m	Migration of pollutants off site	1	2	6	Not required

2.7 Coal Mining Report

A coal mining search was commissioned from the Coal Authority (ref: 51001959235001). The results of the search established the following:

- *Past Coal Mining Activity* – Five seams were worked between 1870 and 1880, between 153-235m below the site, and surrounding area. It is anticipated that there may also be unrecorded shallow mining activities prior to the recoding of such works.
- *Shafts & Adits* – The report defined a mine entry on site at co-ordinates 367280E, 173280N – see Section 2.8 below.
- *Faults and Fissures* – There are no records on or near the site.
- *Opencast mining* – There are no records of such works within 500m of the site.
- *Subsidence* – There are no records of any subsidence within 50m of the site.
- *Coal mining licenses* – There are none recorded within 200m of the site.

A copy of the report is presented in Appendix E.

In addition to the Coal Authority Report a second report was commissioned from Bristol Coalmining Archives Limited (Ref: 55373, dated 20 February 2019 – collated in Appendix F).

2.8 Other Information

In 2019, based on the Coal Mining Authority Report, the current owners of the site applied for a Permit to investigate and expose the advised mine entry on the site. A series of intrusive site investigations were completed, which required the dismantling of one row of the original garages on the site, and removal of the ground floor slab.

An application was made for a Permit to investigate and expose the former mine adit. The Coal Authority issued a Permit (Ref17858), dated 22 March 2019 – see Appendix F.

The excavation works to uncover the former mine entry was completed in June 2019. Copies of the correspondence with the Coal Authority have been collated in Appendix H. A Photofile is collated with the various correspondence between Obsidian Environmental Ltd and the Coal Authority.

3.0 PRELIMINARY CONCEPTUAL MODEL

The site characterisation attempts to identify potential previous and existing site sources of contamination. The conceptual model links the identified sources likely to cause significant possibility of significant harm via pathways to identified critical receptors. The conceptual model is therefore based on a number of identified source-pathway-receptor scenarios. For land to be classified as contaminated a significant pollutant linkage will need to be identified which will include each component of the conceptual model. The absence or removal of a source or interception of a pathway will 'break' the pollutant linkage.

The conceptual model is characterised by identification of the following:

- On-site sources, which may impact on-site receptors via plausible pathways.
- On-site source, which may impact off-site receptors via plausible pathways.
- Off-site sources, which may impact on-site receptors via plausible pathways.

The change of land use will require assessment of the new site development layout within the context of introducing new exposure pathways. The planning regime will require assessment of the site to ensure the new development will not be classed as contaminated land under the definition provided by the Part 2A of the Environment Act 1990 as defined in the Environment Protection Act 1995.

The Contaminated Land Legislative Background is presented in Appendix I.

The preliminary conceptual model is presented in Table 3.1 over leaf. The table provides an indication of the potential hazards and consequences. A qualitative score is given to the likelihood and effect to provide an indication of the degree of risk.

Table 3.1 Conceptual Model – Risk Assessment

Item	Sources	Potential Contaminates	Potential Risks	Pathways	Receptors	Linkage, without Mitigation	Likelihood of Significant Pollutant Linkage	Mitigation
1	Leaks/spills from parking of vehicles at the site - hydrocarbons	Residual diesel, petrol fuels, lubricants, and oils.	Migration onto the site through soils beneath tarmac surfacing – front gardens to new properties.	Through Made Ground and existing drains.	Groundworkers, Utility companies, & Landscape workers. Construction workers and Residents	Yes	Medium	Intrusive Site Investigation
2	Storage of engine oils & lubricants on site	Hydrocarbon contamination	Impact on MG and Natural soils beneath the site and local groundwater regime, and off site contamination through damaged drains.	Through Made Ground and existing drains.	Groundworkers, Utility companies, & Landscape workers. Construction workers and Residents	Yes	Medium	Intrusive Site Investigation
3	Made Ground soils at the site from historical sources – heavy metals, hydrocarbons etc.	Heavy metals and hydrocarbons	Percolation of contaminants through Made Ground soil and leaching of contaminants to groundwater	Directly through permeable Made Ground and Natural soils. Former drains and services not removed during original site clearance works. New drainage and utility services trenches, foundations, and general excavations.	Groundworkers, Utility companies, & Landscape workers. Construction workers Residents and the general Public	Yes	Very Low	Removal of Made Ground soils from the site.
4	Ground Gas from Made Ground & Natural soil	Carbon monoxide Carbon dioxide, Methane, & depleted Oxygen.	Migration into new dwellings via the ground floor slab	Through ground floor slab and service entries.	Occupants of new dwellings	No	Medium	Intrusive Site Investigation & gas membrane
5	Mine gas from shallow workings	Carbon monoxide Carbon dioxide, Methane, Hydrogen Sulphide & depleted Oxygen.	Migration into new dwellings via the ground floor slab	Through ground floor slab and service entries.	Occupants of new dwellings	No	Medium	Intrusive Site Investigation & gas membrane
6	Radon Gas	Radon gas	Migration into new dwellings via the ground floor slab	Through ground floor slab and service entries.	Occupants of new dwellings	No	Very low (,1%)	Not required
7	Leaks/spills from new car parking and hardstanding areas - hydrocarbons	Residual diesel, petrol fuels, lubricants, and oils.	Percolation of contaminants through soil and leaching of contaminants to groundwater	Directly through permeable Natural soils.	Groundworkers, Utility companies, & Landscape workers. Construction workers Residents and the general Public	Yes	Very Low	None required

4.0 GEOTECHNICAL AND ENVIRONMENTAL CONSIDERATIONS

4.1 Proposed Development

It is understood that the current development proposals are to construct circa 6 new semi-detached and detached two storey dwellings.

4.2 Anticipated Ground Conditions

The anticipated ground conditions for the majority of the site are summarised in Table 4.1 below and are based on the available geological information and previous site investigation data from nearby sites.

Table 4.1 – Summary of anticipated ground conditions

Depth (m)	Brief Description
0.0 to 0.5	Made Ground reinforced concrete slabs, over rock fill and relic Topsoil – silt. Sandy clay,
0.5 to 3.00-5.00	Natural Alluvial soils – Soft to firm orange CLAYs
3.0 to - 5.00 to 6.0	Stiff grey, brown CLAY – Weathered Mudstone
5.0 – 6.0 to 40.0m +	Weak to strong MUDSTONE bedrock

Groundwater is likely to be encountered at the top of the weathered Mudstone.

4.3 Geotechnical Considerations

The following geotechnical aspects should be considered:

- Made Ground is present beneath the site and will not provide an adequate bearing stratum for conventional shallow foundations.
- The weathered Mudstone should be suitable for conventional strip or pad foundations. An intrusive site investigation should be completed to confirm the soil profile across the site.
- Soft Natural CLAYs will not provide an adequate bearing stratum for conventional shallow foundations, and it is likely that the construction will require a piled foundation solution. An intrusive site investigation should be completed to confirm the soil profile across the site.
- Ground bearing floor slabs will not be appropriate due to the probable the nature of the shallow soils.
- Soakaway drainage may not be possible at the site. If considered, soakaway testing should be completed in line with BRE Digest 365: *Soakaway Design*, 2007.
- A number of mature trees have been observed just beyond the west side of the site – wooded area- providing the potential for localised soil desiccation. Several of the species observed are classified by NHBC Standards Chapter 4.2, *Building Near Trees*, 2007 as having high water demand, Natural moisture content and soil plasticity profiles should be defined at critical locations.

- Special measures for the protection of buried concrete may be required. Chemical analysis of the Made Ground should be completed, and the grade of concrete assessed in line with BRE Special Digest 1, *Concrete in Aggressive Ground*, 2005, 3rd Edition.
- An intrusive site investigation should be completed in accordance with the Planning Conditions, together with a Phase II Geoenvironmental Assessment.
- The existing exposed mine entry should be suitably capped as per the exiting agreement between the site owners and the Coal Authority.
- A rotary drilling rig should be mobilised to the site and boreholes should be drilled at the site to circa 35.0m bgl to investigate the potential for unrecorded shallow mine working below the site.

4.4 Environmental Considerations

The desk study completed to date highlights the following sources of contamination on site:

Existing Made Ground – The site is potentially by circa 0.6m of Made Ground (MG), and possibly deeper areas of disturbed MG, the chemical composition of which is not known.

Invasive Species – Japanese Knotweed has not been observed on site.

Car Parking – There is the potential for hydrocarbon impact from fuel oils/lubricant leakage from the original car parking areas/garages.

Asbestos – Cement bonded asbestos rooves (chrysotile) were observed on the original pcc garages. Prior to demolition of the garages an asbestos survey should be carried out, and the shallow soils analysed for its presence.

Fly tipping – There is no observed evidence of burning and/or fly tipping on the site. The analysis of key marker contaminants, however, should be included within the site investigation as a precaution.

Contemporary Trade Entries – The environmental database search did not find any locations in close proximity to the site that could be potential sources of contamination. If the underlying geological conditions were right, there could be the potential for contaminant migration beneath the site.

Ground Gases - Precautions due to the presence of ground gases (Carbon Dioxide, Carbon Monoxide, Methane and Hydrogen Sulphide) may be a consideration at this site, due to the presence of Made Ground, the mine entry, and potential unrecorded shallow mining. Installation of gas monitoring standpipes and an appropriate gas-monitoring regime should be completed as part of any future Phase II site investigations.

Radon Gas – The environmental database showed that <1% of homes in the site vicinity were above the action level. Therefore, radon protection measures are not required for the construction of new dwellings or extensions at the site.

The general risk of significant contamination is considered to be low to medium. The potential impact to the groundwater and local environment should be assessed by appropriate analysis of the soils and groundwater together with a risk assessment based on the site-specific criteria.

5.0 CONCLUSIONS AND RECOMMENDATIONS

5.1 Conclusions

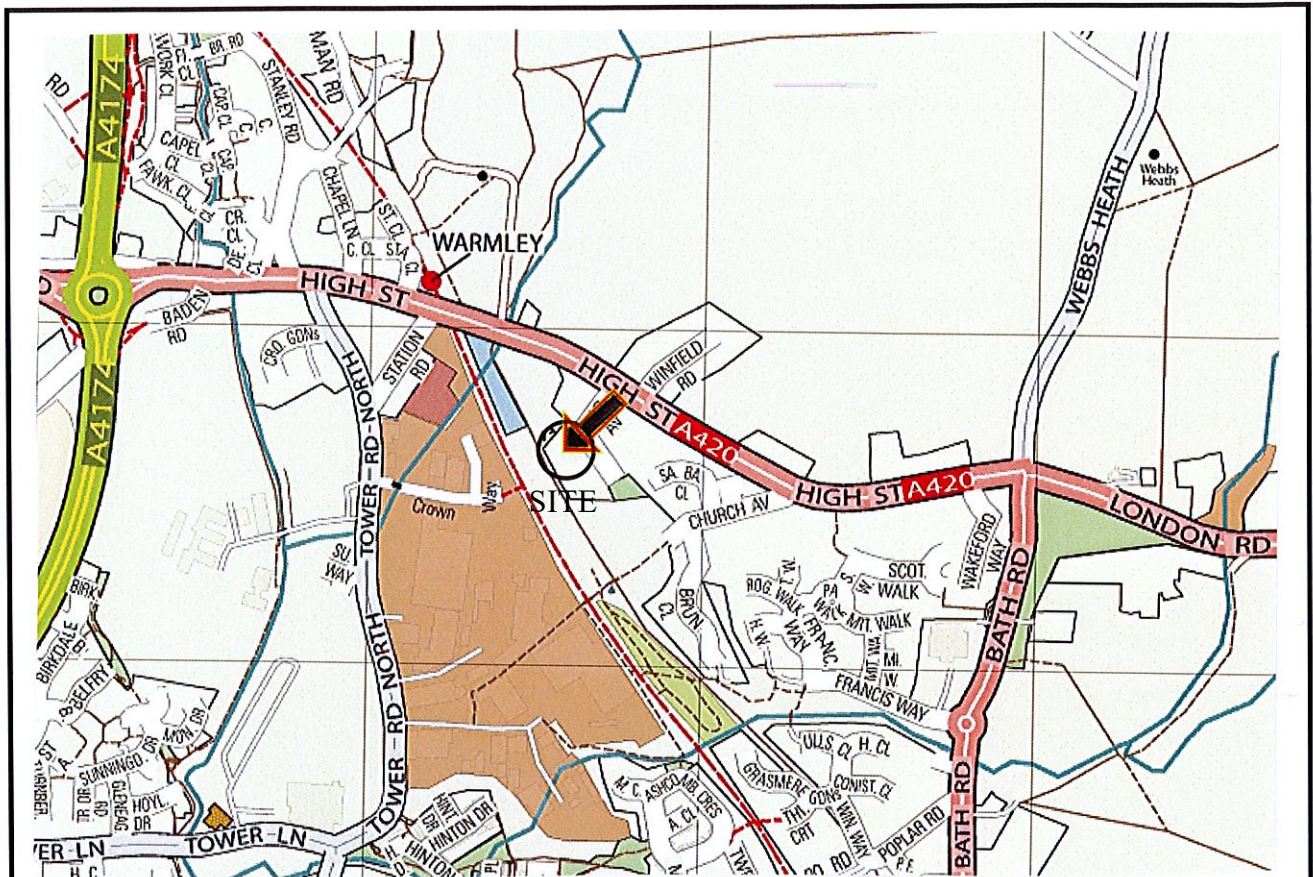
- C.1 The site is rectangular in shape and covers an area of approximately 0.17ha (0.42 acres). The site slopes gently from south to north with site levels estimated to fall between 42.5m AOD down to 40.0m AOD.
- C.2 The site is currently partitioned. The southern area has generally been cleared of vegetation, whilst at the northern end of the site there remains two rows of former garage blocks. The garages, all currently empty and awaiting demolition, are constructed of pcc wall units, with a steel door and an asbestos roof. The roof panels are made of cement bonded asbestos (chrysotile) sitting on a reinforced concrete slab.
- C.3 Previously, circa 2019, one length of the original garages was carefully demolished to allow the ground floor slabs to be excavated. This was to expose a known former mine entry shaft/adit on the site. A Permit was obtained from the Coal Authority to allow an intrusive investigation of the adit (air shaft) to expose its position. The adit remains uncapped.
- C.4 Superficial deposits consist, below a veneer of Made Ground, Alluvium described as a sequence of Clays, Sands and Gravels, above bedrock deposits of MUDSTONE and possibly SILTSTONE and SANDSTONE. These are from the Bolsovian sub-age (Diamantina) of Westphalian origins. The formation is circa 310 million years old.
- C.5 There does not appear to be any significant flood risk at the site.
- C.6 Radon Gas is defined <1.0 and hence, Radon Gas mitigation measures are not required.
- C.7 Groundwater vulnerability beneath the site appears low to medium.
- C.8 Made Ground is present beneath the site and will not provide an adequate bearing stratum for conventional shallow foundations. The weathered Mudstone should be suitable for conventional strip or pad foundations. An intrusive site investigation should be completed to confirm the soil profile across the site. The soft Natural CLAYs will not provide an adequate bearing stratum for conventional shallow foundations, and it is likely that the construction will require a piled foundation solution. An intrusive site investigation should be completed to confirm the soil profile across the site. Ground bearing floor slabs will not be appropriate due to the probable soft the nature of the shallow soils.
- C.9 Soakaway drainage may not be possible at the site due to the presence of alluvial CLAYs. If considered, soakaway testing should be completed in line with BRE Digest 365: *Soakaway Design*, 2007.
- C.10 A number of mature trees have been observed just off site, within the adjacent woods on the west side, giving the potential for localised soil desiccation. Several of the species observed are classified by NHBC Standards Chapter 4.2, *Building Near Trees*, 2007 as having high water demand, Natural moisture content and soil plasticity profiles should be defined at critical locations.
- C.11 Special measures for the protection of buried concrete may be required. Chemical analysis of the Drift should be completed, and the grade of concrete assessed in line with BRE Special Digest 1, *Concrete in Aggressive Ground*, 2005, 3rd Edition.
- C.12 There does not appear to be a significant risk of contamination from historical sources. Asbestos, however, will be within the roof cladding to existing garages.


5.2 Recommendations

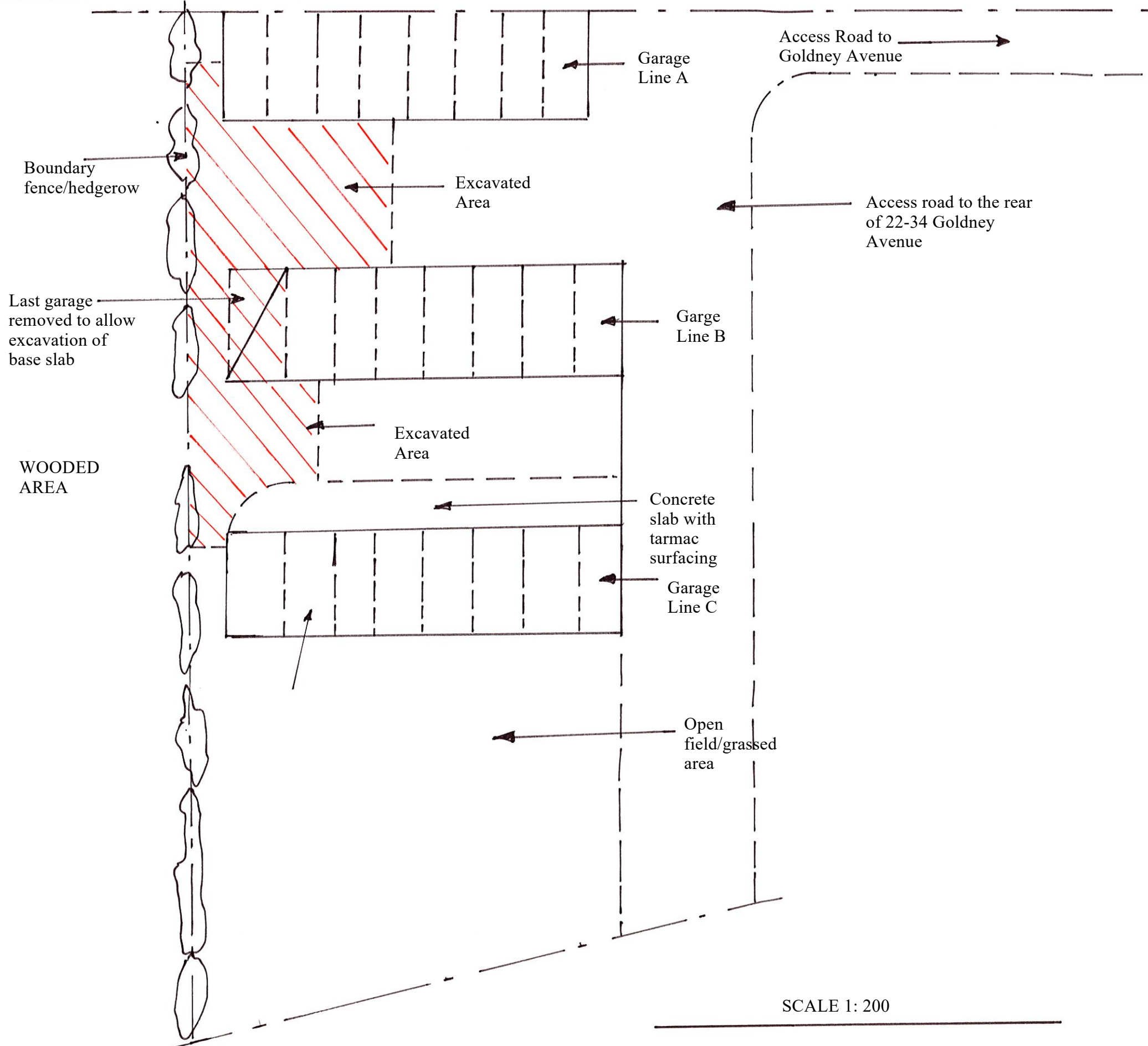
- R1.** A suitable intrusive site investigation should be completed across the site to establish the type, degree, and extent of Made Ground and Superficial deposits at the site as part of a Phase II Geoenvironmental Assessment of the site. Ground gas installations, for monitoring purposes, should be included within the Works.
- R2.** A shallow mining intrusive site investigation should be completed to circa 30.0 to 35.0m depth bgl across the site. A new Permit application will be required from the Coal Authority. The reporting should be part of the Phase II Assessment.
- R3.** A copy of this Phase I Assessment should be forwarded to the Planning Authority for review by the Local Contaminated Land Officer as applicable.

FIGURES

OE/1702/938/LR1/F1	-	Site Location Plan
OE/1702/938/LR1/F2	-	Mine Entry excavation area plan
OE/1702/938/LR1/F3	-	Current adit location plan
OE/1702/1058/R1/F01	-	Proposed Development Plan with Adit shown
OE/1702/1058/R1/F02	-	Proposed Site Investigation Location plan



 <p>OBSIDIAN ENVIRONMENTAL</p> <p>Obsidian Environmental Ltd The Foundry Business Centre Marcus Street Birkenhead Wirral CH41 1EU Te: 01516457571</p> <p>www.obsidianenvironmental.co.uk</p>	<p>Project: Land behind 22-34, Goldney Avenue, Warmley, Bristol, BS30 5JG Investigation of Adit</p>	<p>Drawn: LS</p>	<p>Scale Not to Scale</p>
	<p>Title: Site Location Plan</p>	<p>Checked: LS</p>	<p>Date 01/06/2019</p>
		<p>Client: M & A Commercials (Bristol) Ltd</p>	
		<p>Drawing No. OE/1702/938/LR1/F01</p>	



NOTES:



Total excavated area for location of adit = 140m².

Project:
Land behind 22-34, Goldney Avenue, Warmley, Bristol, BS30 5JG

Title:
Excavation Area Plan - Adit

Client:
M & A Commercials (Bristol) Limited

Project No:
OE/1702/938

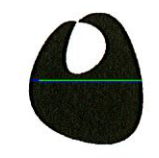
Date:
01/06/2019

Drawn By:
JW

Checked By:
LS

Scale:
As shown

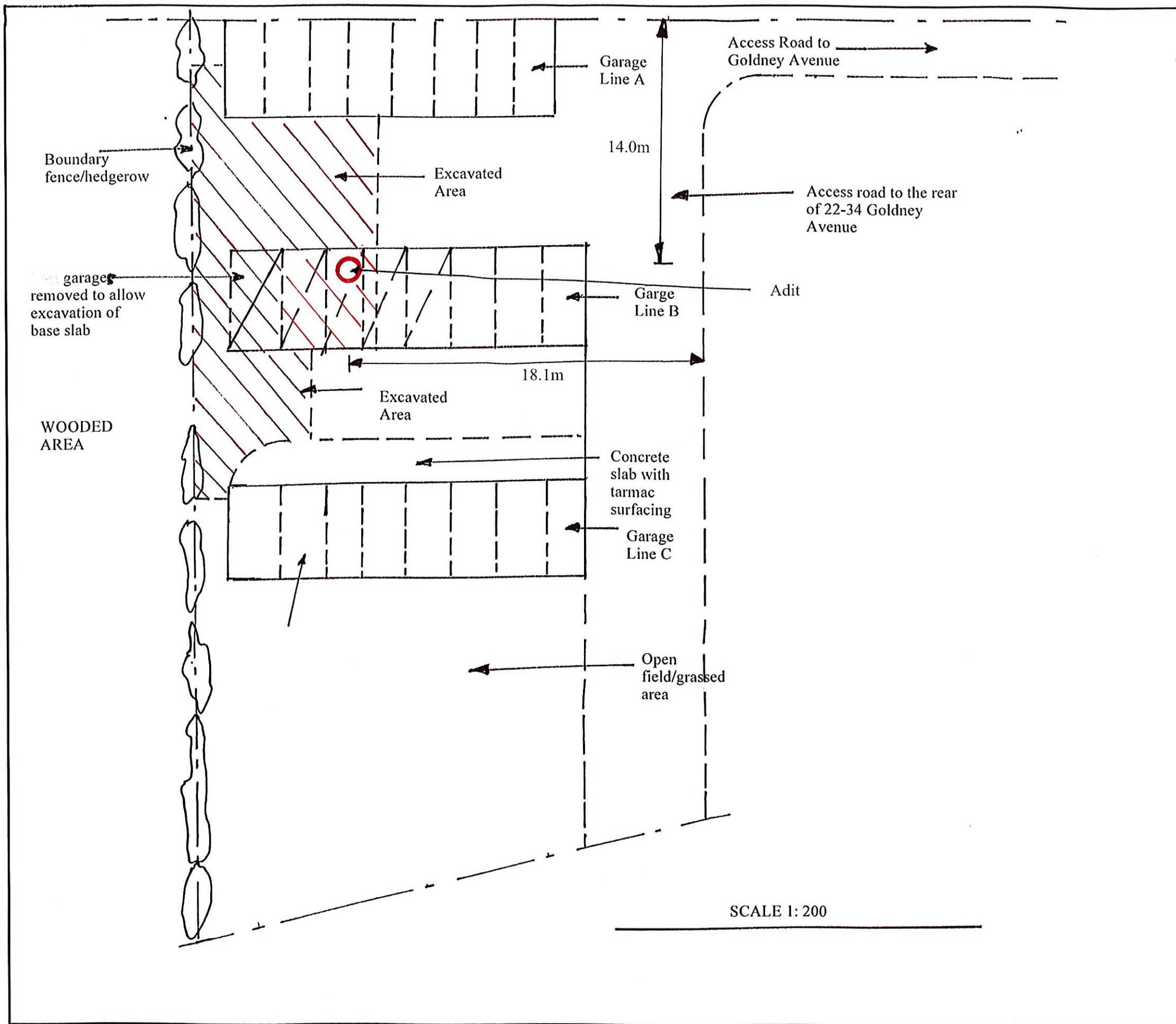
DWG No:
OE/1702/938/LR1/F02





OBSIDIAN
ENVIRONMENTAL

Obsidian Environmental Ltd
The Foundry Business Centre
Marcus Street
Birkenhead
Wirral
CH41 1EU
Tel: 01516457571

www.obsidianenvironmental.co.uk



NOTES:
 Total excavated area for location of adit = 140m².

 1.5m diameter Adit

Project:
 Land behind 22-34, Goldney Avenue, Warmley, Bristol, BS30 5JG

Title:
 Excavation Area Plan - Adit

Client:
 M & A Commercials (Bristol) Limited

Project No:
 OE/1702/938

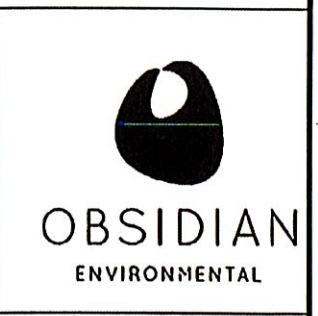
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 01/06/2019

Drawn By:
 JW

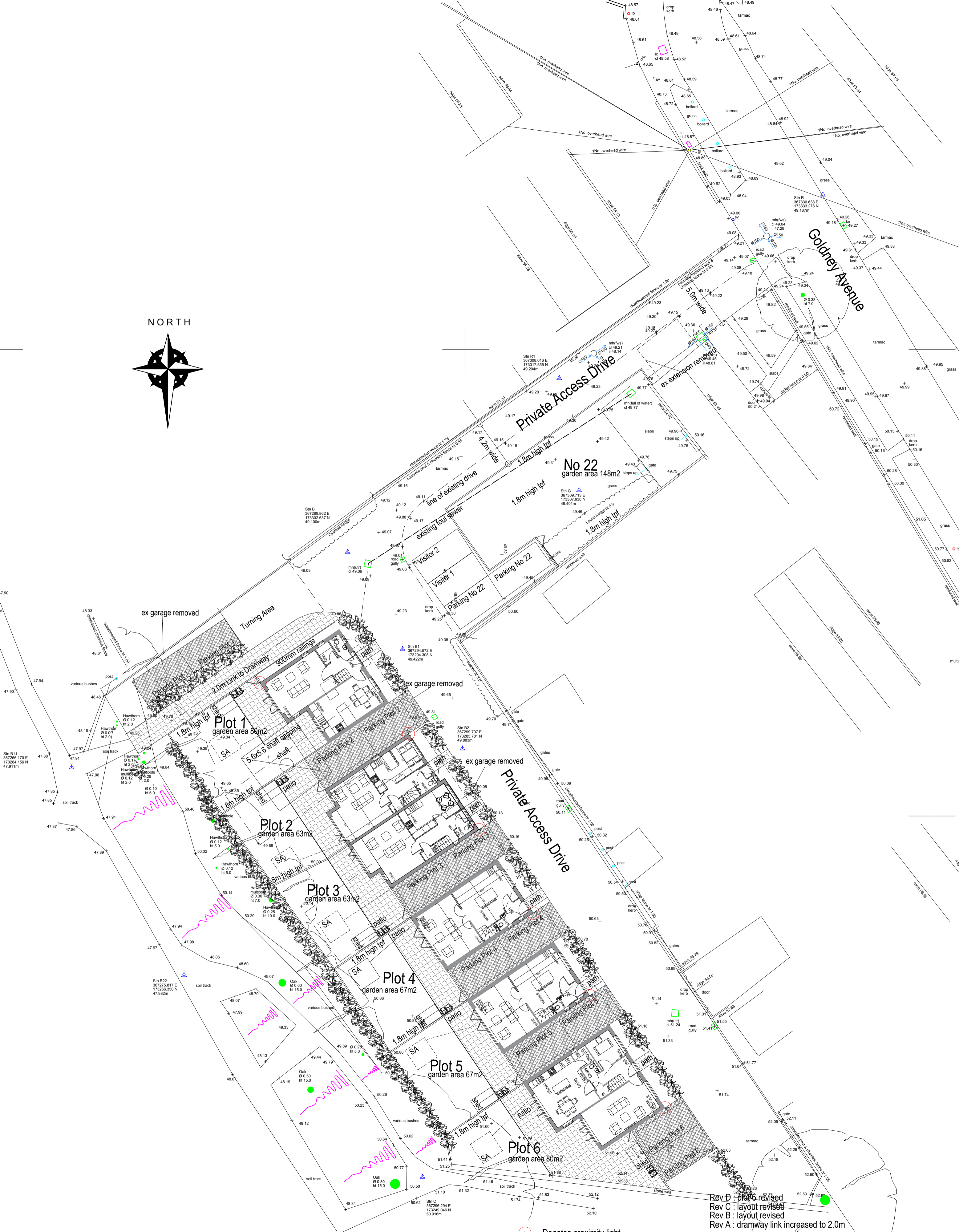
Checked By:
 LS

Scale:
 As shown

DWG No:
 OE/1702/938/LR1/F03



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Stn B11
367268.170 E
173294.156 N
47.911m

Stn B22
367275.917 E
173268.350 N
47.982m

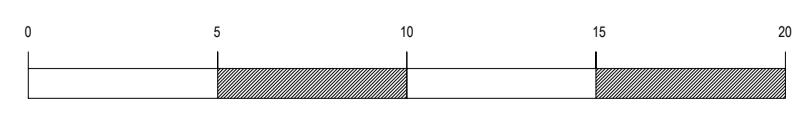
Stn C
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50.916m






Stn R1
367308.016 E
173317.552 N
49.204m

Stn B2
367296.707 E
173266.781 N
49.883m

Stn G
367309.713 E
173307.930 N
49.401m

Stn R
367330.638 E
173333.278 N
49.187m



-  Denotes proximity light
-  Denotes Permeable paviers
-  Denotes grated soakaways
-  Denotes foul drain runs
-  Denotes storm drain runs

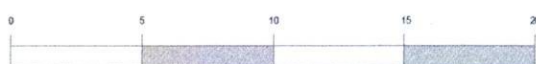
Rev D : plot 6 revised
Rev C : layout revised
Rev B : layout revised
Rev A : dramway link increased to 2.0m
Proposed Residential Development
on land to the rear of
22-34 Goldney Avenue Warmley Bristol
Proposed Site Plan: Drainage
Scale : 1:200@A2
Date : Aug 2018
Drwg No 2990/12
David Cahill Design Consultant

KEY

- Existing mine entry exposed on the site.
- Proposed Window Sample Borehole
- Proposed Rotary Borehole



Obsidian Environmental Ltd
 Proposed Site Investigation Location Plan
 Ref: OE/1702/1058/R1/F02, December 2023



- Denotes proximity light
- Denotes Permeable paviers
- Denotes grated soakaways
- Denotes foul drain runs
- Denotes storm drain runs

Rev D: plot 6 revised
 Rev C: layout revised
 Rev B: layout revised
 Rev A: dramway link increased to 2.0m
Proposed Residential Development
 on land to the rear of
22-34 Goldney Avenue Warmley Bristol
Proposed Site Plan: Drainage
 Scale : 1: 200@A2
 Date : Aug 2018
Drwg No 2990/12
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APPENDICES

Appendix A	Planning Permission
Appendix B	Site reconnaissance photofile
Appendix C	Groundsure Report
Appendix D	Groundsure Historical Maps (large & small)
Appendix E	Coal Authority Mining Report
Appendix F	Bristol Coalmining Archives Report February 2019
Appendix G	Coal Authority Permit 17858 – Investigation of mine entry
Appendix H	Obsidian Letter Reports to Coal Authority - 2019.
Appendix I	Contaminated Land & Waste Legislation

Appendix A - Planning Permission

Mr David Cahill
Unit 2 Office 4
Tower Lane Business Park
Warmley
Bristol
BS30 8XT

APP REF: P19/18713/F
DATE VALID: 12th December 2019
DECISION DATE: 6th April 2021
PARISH: Siston Parish Council

NOTICE OF DECISION TOWN AND COUNTRY PLANNING ACT 1990

South Gloucestershire Council in pursuance of powers under the above mentioned Act hereby PERMIT:

APPLICATION NO: P19/18713/F

DESCRIPTION OF DEVELOPMENT: Demolition of existing garages. Erection of 6 no detached dwellings with new access and associated works

APPLICANT: Mr David Cahill

LOCATION: Land At 22-34 Goldney Avenue Warmley Bristol South Gloucestershire BS30 5JG

In accordance with the application and accompanying plans, subject to the conditions specified below:

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (as amended).

2. No development, other than any necessary demolition shall commence until;
 - a) a scheme of intrusive site investigations has been carried out on site to establish the exact risks posed to the development by past coal mining activity, and;
 - b) any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.

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Telephone: 01454 868004 Email: planningapplications@southglos.gov.uk

The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

Reason

The undertaking of intrusive site investigations, prior to the commencement of development, is considered to be necessary to ensure that adequate information pertaining to ground conditions and coal mining legacy is available to enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework and PSP22 of the South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017.

3. Prior to the occupation of the development a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

Reason

to demonstrate that appropriate remedial and mitigatory measures as identified have been carried out as agreed. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework and PSP22 of the South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017.

4. Developments with the potential to be affected by land contamination

A) Desk Study - Previous historic uses(s) of the site and land within 250m of the site may have given rise to contamination. No development shall commence until an assessment of the risks posed by any contamination shall have been carried out and submitted to and approved in writing by the local planning authority. This assessment must be undertaken by a suitably qualified contaminated land practitioner, in accordance with British Standard BS 10175 Investigation of potentially contaminated sites and the Environment Agency's Model Procedures for the Management of Land Contamination (CLR 11) (or equivalent British Standard and Model Procedures if replaced), and shall assess any contamination on the site, whether or not it originates on the site.

B) Intrusive Investigation/Remediation Strategy - Where following the risk assessment referred to in (A), land affected by contamination is found which could pose unacceptable risks, no development shall take place until detailed site investigations of the areas affected have been carried out. The investigation shall include

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surveys/sampling and/or monitoring, to identify the extent, scale and nature of contamination. A report shall be submitted for the written approval of the local planning authority and include a conceptual model of the potential risks to human health; property/buildings and service pipes; adjoining land; ground waters and surface waters; and ecological systems.

Where unacceptable risks are identified, the report submitted shall include an appraisal of available remediation options; the proposed remediation objectives or criteria and identification of the preferred remediation option(s). The programme of the works to be undertaken should be described in detail and the methodology that will be applied to verify the works have been satisfactorily completed.

The approved remediation scheme shall be carried out before the development (or relevant phase of development) is occupied.

C) Verification Strategy - Prior to first occupation, where works have been required to mitigate contaminants (under condition B) a report providing details of the verification demonstrating that all necessary remediation works have been completed satisfactorily shall be submitted to and agreed in writing by the Local Planning Authority.

D) Any contamination found during the course of construction of the development that was not previously identified shall be reported immediately to the local planning authority. Development on the part of the site affected shall be suspended and a risk assessment carried out and submitted to and approved in writing by the local planning authority. Where unacceptable risks are found additional remediation and verification schemes shall be submitted to and approved in writing by the local planning authority. These approved schemes shall be carried out before the development (or relevant phase of development) is resumed or continued.

Reason

In the interests of the future occupiers, in accordance with policy PSP21 of the South Gloucestershire Local Plan Policies Sites and Places Plan 2017, CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework. This is a pre-commencement condition because the works necessary to complete the condition may require remedial action if not carried out before development commences.

5. Prior to the demolition of the garage block adjoining 20 Goldney Avenue detail of a means of securing that property from the site works (demolition, road alterations) shall be submitted to and agreed in writing by the Local Planning Authority. The works shall then proceed in accordance with those details.

Reason

In the interests of residential amenity, to accord with policy PSP8 of the South Gloucestershire Local Plan: Policies Sites and places plan 2017 and the National Planning Policy Framework.

6. No development shall commence until surface water drainage details including SUDS (Sustainable Drainage Systems e.g. soakaways if ground conditions are satisfactory), for flood prevention; pollution control and environmental protection have been submitted and approved by the Local Planning Authority. A detailed development layout showing the location of surface water proposals is required along with results of percolation tests and infiltration calculations to demonstrate that the proposal is suitable for this site.

Reason

To comply with South Gloucestershire Local Plan: Policies, Sites and Plans Plan (Adopted) November 2017 Policy PSP20; South Gloucestershire Local Plan: South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 Policy CS1 and Policy CS9; and National Planning Policy Framework 2019

For the avoidance of doubt the following details should be submitted when seeking to discharging the above drainage condition:

- o A clearly labelled drainage layout plan showing the exact location of any soakaways and the Root Protection Zones of trees.
 - o Evidence is required to confirm that the ground is suitable for soakaways. Percolation / Soakage test results in accordance with BRE Digest 365 and as described in Building Regs H - Drainage and Waste Disposal
 - o Evidence that the soakaway is appropriately sized in accordance with BRE Digest 365 Soakaway Design.
 - o Sp. Note; - Soakaways must be located 5 Metres from any structure including the Public Highway
 - o Sp. Note: - No surface water discharge will be permitted to an existing foul sewer without the expressed approval of the sewage undertaker.
 - o Sp. Note; - No public surface water sewer is available.
7. Prior to occupation of any dwelling its off-street car parking and turning area, in addition to the widened access shown on Proposed site plan 2990/11 Rev C received 16/9/2020 shall be set out and finished in accordance with the materials submitted and approved in the landscape condition (number ten). This shall subsequently be maintained satisfactory thereafter.

Reason

To ensure continued provision and maintenance of a satisfactory means of access in the interests of highway safety and the appearance of the area in accordance with PSP1 and PSP11 of the South Gloucestershire Policies Site and Places Plan 2017 and CS1 of the South Gloucestershire Local Plan: Core Strategy adopted 2013.

8. Prior to the commencement of development details of a management company which shall have responsibility for maintaining the means of access implemented under condition 7 shall be submitted to and approved in writing by the Local Planning Authority . The details of the management company shall include their name and address and details of all parts of the means of access to be maintained and frequency of maintenance.

Reason

To ensure continued provision and maintenance of a satisfactory means of access in the interests of highway safety in accordance with PSP11 of the South Gloucestershire Policies Site and Places Plan 2017.

9. Prior to occupation of the first dwelling on site, details of the private refuse/recycling contractor (including name and address) and type of vehicle to be used to service the site shall be submitted to and agreed in writing by the Local Planning Authority. The refuse collections shall thereafter continue as such thereafter.

Reason

The developer is unable to accommodate the vehicles used by South Gloucestershire Council in their private road design and this would prevent the need for future residents to drag their bins an unreasonable distance, to accumulate rubbish bins and associated un-neighbourliness close to houses on Goldney Avenue. In accordance with PSP8 of the South Gloucestershire Local Plan Policies Sites and Places Plan 2017.

10. Prior to the occupation of the first house full details of both hard and soft landscaping works shall be submitted in writing to the Local Planning Authority for approval and these works shall be carried out as approved prior to occupation of the first house. These details shall include as a minimum:
 - details of mesh or wire security fencing to be positioned along the Dramway facing side of the gardens in the position shown on the proposed block plan,
 - details of all other fencing paying particular regard to and addressing any change in levels once the garages alongside 20 Goldney Avenue are demolished;
 - a proposed scheme of native hedge planting to be located on the Dramway side of the rear garden fences and planting to the front of the houses [planting plans; written specifications (including cultivation and other operations associated with plant establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities; implementation programme].

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The scheme shall be completed prior to the occupation of the final house and maintained as such thereafter.

Reason

The use of standard solid fencing at the Dramway would detract from the non designated heritage asset of the Dramway and solid fencing would also prevent establishment of screen planting. To protect the character and appearance of the Dramway non-designated heritage asset and to protect the privacy of neighbouring properties, to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the , policies PSP2, PSP3 and PSP17 of the South Gloucestershire Local Plan: Policies Sites and places plan 2017 and the National Planning Policy Framework.

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

11. All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation of any part of the development or in accordance with the programme agreed with the Local Planning Authority.

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

12. The development shall proceed in strict accordance with the Mitigation Measures provided in Chapter 6 of the Ecological Appraisal (Ethos, November 2018) (PSP19);

Reason

To ensure the works are carried out in an appropriate manner and in the best interests of the ecological value of the site and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013, policy PSP17 of the South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

13. Prior to occupation, a "lighting design strategy for biodiversity and car security" shall be submitted to and approved in writing by the local planning authority. The strategy shall:
 - o Identify those areas/features on site that are particularly sensitive for bats, badgers and hedgehog and that are likely to cause disturbance in or around

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- their breeding sites and resting places or along important routes used to access key areas of their territory, for example, for foraging; and
- o Show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.

All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.

Reason

To ensure the works are carried out in an appropriate manner and in the best interests of the ecological value of the site and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013, policy PSP17 of the South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

- 14. Prior to first occupation of any of the houses, evidence of the installation of the ecological enhancement features recommended in the Ecological Appraisal (All Ecology, November 2018) shall be submitted to the local planning authority for approval in writing. This shall include, but is not limited to, bird boxes, bat boxes, permeable fencing and native planting (PSP19).

Reason

To ensure the works are carried out in an appropriate and timely manner and in the best interests of the ecological value of the site and to accord with Policy CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013, policy PSP17 of the South Gloucestershire Local Plan Policies Sites and Places Plan Adopted November 2017 and the National Planning Policy Framework.

- 15. Only land to the north and east of the rear garden fence line shown on proposed site plan 2990 11C received 16/09/2020 shall be considered to be residential curtilage.

Reason

To protect the character and appearance of the woodland Dramway to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

- 16. Notwithstanding the provisions of Schedule 2 of the Town & Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification) no development as specified in

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Part 1 (Classes A (extensions), B (additions to the roof), D (porches), E (incidental buildings), F (hardstanding)), or any minor operations as specified in Part 2 (Class A Gates/fences/walls), other than such development or operations indicated on the plans hereby approved, shall be carried out without the prior written consent of the Local Planning Authority.

Reason

To protect the surrounding trees, minimal garden areas and character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013, PSP8 of the South Gloucestershire Local Plan Policies sites and places plan and the National Planning Policy Framework.

17. Prior to the commencement of development details of the render and bricks/mortar for the external facing materials proposed to be used shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason

To protect the character and appearance of the area to accord with Policies CS1 and CS9 of the South Gloucestershire Local Plan: Core Strategy (Adopted) December 2013 and the National Planning Policy Framework.

18. The development shall proceed in accordance with the following plans:

2992/16 Rev A Location plan received 16/9/2020

2990/10 Existing site plan rec 12/12/2019

2990/11 Rev C Proposed site plan received 16/9/2020

2992/12 Rev D Proposed Block Plan received 10/11/2020

2992/18 Existing and proposed elevations to 22 Goldney Avenue received 24/7/2020

2990/14 Rev A proposed plans and elevations of plot 4 and 5 received 29/9/2020

2990/13 rev A proposed elevations and floor plans Plot 1 received 16/9/2020

2990/17 proposed elevations and floor plans Plots 2/3 received 10/11/2020

2990/15 Rev A proposed elevations and floor plans Plot 6 received 10/11/2020.....

Swept path analysis 1 refuse vehicle 9.07m long vehicle

Swept path analysis 2 fire appliance

Swept path analysis 3 fire tender /van

Swept path analysis 4 large car All received 12/12/2019

Arboricultural Report - including Churchyard trees close to site received 22/7/2020

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Bat report received 12/12/2019

Coal Mining Risk Assessment received 12/12/2019

Obsidian Environmental Report letter to coal authority #LR2 dated 28/6/2019
RECEIVED 16/7/2020

Obsidian Environmental Report letter to coal authority #LR3 dated 3/6/2019
RECEIVED 16/7/2020

Obsidian Environmental Report letter to coal authority #LR4 dated 22/10/2019
RECEIVED 16/7/2020

Reason

In the interests of clarity and to prevent the need for remedial action.

**IN ACCORDANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY PLANNING
(DEVELOPMENT MANAGEMENT PROCEDURE) ORDER 2015**
POSITIVE AND PROACTIVE STATEMENT:

In dealing with this planning application the Local Planning Authority have worked with the applicant in a positive and proactive manner on seeking solutions to problems arising in the following ways: by seeking and assessing additional information which has resulted in a defined and positive recommendation. BY dealing with the application in a democratic manner.

ADDITIONAL INFORMATION

1. The developer is responsible for exploring whether any covenants included in the deeds of the land need to be addressed before commencing development.
2. The development authorised by this Decision Notice affects a public highway and you should contact the Transportation Network Manager, PO Box 1775, Broad Lane, Engine Common, Yate BS37 5PN, before commencing any work.
3. It is the responsibility of Developers/Contractors to ensure that all foundations (buildings and external walling) are designed and constructed so as to take into account, of any existing or proposed trees, hedgerows or other vegetation on the application site or adjacent to the site at the time of maturity. The foundations must also take account of any trees, hedgerows felled or removed on or adjacent to the application site within the last 15 years.
4. This permission shall not be construed as granting rights to carry out works on, or over, land not within the ownership, or control, of the applicant.

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5. You must obtain the prior written consent of the owner and occupier of any land upon which it is necessary for you to enter in order to construct, externally finish, decorate or in any other way carry out any works in connection with this development including future repairs/maintenance, or to obtain support from adjoining property. This permission does not authorise you to take such action without first obtaining this consent. Your attention is also drawn to the Access of Neighbouring Land Act 1992 and Party Wall Act 1996.

PLEASE NOTE: The development hereby permitted must be implemented in accordance with plans hereby approved and any conditions specified above. The conditions may specify that works are to be carried out or details are required to be submitted for further approval, before all or part of the development is otherwise commenced. For further information regarding the discharge of Planning Conditions and the relevant forms please view "compliance with conditions" on our website, www.southglos.gov.uk If the permission is commenced without these requirements being fully met, or in any other manner, the development may be unauthorised and the permission invalidated. The council holds a definitive copy of this planning decision notice. You should be aware of the risk that subsequent copies of the decision notice may be subject to unauthorised alteration and if necessary you are advised to refer to the council for verification. The definitive copy can be viewed via the council's planning website.



DEVELOPMENT MANAGER

DATE: 6th April 2021

PLANNING PERMISSION THE NEXT STEPS

Your Decision could be subject to conditions. It is essential that you comply with these conditions in order to protect your planning permission. If you have conditions requiring details to be submitted prior to the commencement of development then failure to discharge these conditions could invalidate your planning permission and result in enforcement action being taken against the development.

HOW TO APPLY TO DISCHARGE CONDITIONS ON YOUR PLANNING PERMISSION

If the condition requires you to agree something in writing with the Authority before development commences then you will need to consider submitting these details at least 8 weeks prior to starting work. In order to submit your application, you can do so by one of the following options:

- Submit an online application using the Planning Portal online application service www.planningportal.gov.uk/
- Complete an application form online via the Planning Portal online Application service, www.planningportal.gov.uk/ printing it off and enclosing it with the correct plans, fee and details before sending it to Development Services.
- Download a copy of the application form from the South Gloucestershire website on www.southglos.gov.uk/planning.
- Request a paper copy from our PT&SE Customer Contact Centre by calling 01454 868004.
- Visit one of the Council One Stop Shop receptions to collect a paper copy of the application form.

The fee amount is £34 per request relating to 'householder' applications and £116 for any other full planning applications.

The fee is payable for each submission (a single submission may be for more than one condition to be discharged).

COMMUNITY INFRASTRUCTURE LEVY (CIL)

If this application has been identified as being liable to CIL you should not commence development until the requirements and obligations under CIL have been established. If we require further information we will write to you requesting this. Where we already have clear information about the proposal and assumed liability we will issue a liability notice shortly. Further information can be found on our website at www.southglos.gov.uk/environment-and-planning/planning/community-infrastructure-levy

BUILDING REGULATIONS

You might require separate Building Control approval and you can also secure this through the Council. For advice on development requiring Building Regulations approval please visit the Planning Portal or contact our Team on 01454 863451

ACTING AS AN AGENT?

Please forward the full copy of this decision to your client and advise them of any conditions. The Council continues to be involved with enforcement action taken against applicants who claim not to have been passed the decision by their Agent.

APPEALS AGAINST THE DECISION OF THE LOCAL PLANNING AUTHORITY (LPA)

If the applicant is aggrieved by the decision to refuse this proposal – or to grant subject to conditions – they may appeal to the Secretary of State under section 78 of the Town and Country Planning Act 1990 or section 20 of the Planning (Listed Buildings and Conservation Areas) Act 1990. Appeals can be made online at: <https://www.gov.uk/planning-inspectorate>. If they are unable to access the online appeal form, please contact the Planning Inspectorate to obtain a paper copy of the appeal form on 0303 444 5000.

Appeals must be made to the Planning Inspectorate in accordance with the provisions below:

- (a) for a **householder application**, an appeal must be made within 12 weeks of the date of this notice;
- (b) for a **minor commercial application**, an appeal must be made within 12 weeks of the date of this notice;
- (c) for the **display of an advertisement**, an appeal must be made within 8 weeks of the date of receipt of this notice;
- (d) for **works to trees** subject to a Tree Preservation Order or part of a woodland, an appeal must be made within 28 days of the date of this notice;
- (e) if this planning application relates to the same, or substantially the same, land and development as is **already the subject of an enforcement notice**, an appeal must be made within 28 days of the date of this notice;
- (f) if an **enforcement notice is served** relating to the same or substantially the same land and development as in this application an appeal must be made within: 28 days of the date of service of the enforcement notice, or within 6 months [12 weeks in the case of a householder appeal] of the date of this notice, whichever period expires earlier;
- (g) in **all other cases**, an appeal must be made within 6 months of the date of this notice.

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal. The Secretary of State need not consider an appeal if it seems to the Secretary of State that the local planning authority could not have granted planning permission/listed building consent for the proposed development/works or could not have granted it without the conditions imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.

If you intend to submit an appeal that you would like examined by inquiry then you must notify the Planning Inspectorate (inquiryappeals@planninginspectorate.gov.uk) and local planning authority (registrationteam@southglos.gov.uk) at least 10 days before submitting the appeal. Further details are available on [GOV.UK](https://www.gov.uk) website.

When submitting an appeal, it is a requirement that an identical set of documents be submitted to the local planning authority. A copy of all appeal documents (and any subsequent documents required to validate the appeal) should be sent to registrationteam@southglos.gov.uk when the appeal is made. Please ensure this instruction is complied with in order to avoid any unnecessary delay.

Appendix B - Site reconnaissance photofile



Photo OE/1702/1058/R1/P01 – View along access road to rear of gardens 22 to 34 from Goldney Avenue – looking west to east



Photo OE/1702/1058/R1/P02 – View towards site form access road – looking east to west.



Photo OE/1702/1058/R1/P03 – View of northern area of the site and original garage blocks.



Photo OE/1702/1058/R1/P04– Rear access road, with fence/garages to rear gardens on the left hand side, and site on the RHS – looking north to south.



Photo OE/1702/1058/R1/P05 – View of northern garage block.



Photo OE/1702/1058/R1/P06 – Centre of concrete slab between original garage blocks – looking east to west.



Photo OE/1702/1058/R1/P07 – Southerly row of garages – northern area of the site.



Photo OE/1702/1058/R1/P08 – Looking back – south to north and garage block on northern boundary.



Photo OE/1702/1058/R1/P09 – End of southerly garage block.



Photo OE/1702/1058/R1/P10 – Rear of southerly garage block.



Photo OE/1702/1058/R1/P11 – Rear of southerly garage block, and stockpile of cleared scrub.



Photo OE/1702/1058/R1/P12 – Looking back – south to north and southerly garage.



Photo OE/1702/1058/R1/P13 – Centre of cleared southern area of the site – looking east to west.



Photo OE/1702/1058/R1/P14 – Southern end of rear access track.



Photo OE/1702/1058/R1/P15 – Southern end of cleared site, with stockpile of vegetation.



Photo OE/1702/1058/R1/P16 – Southern boundary wall to the site – with churchyard beyond.



Photo OE/1702/1058/R1/P17 – Southern boundary wall to the site – with churchyard beyond.



Photo OE/1702/1058/R1/P18 – Graveyard immediately south of the site.



Photo OE/1702/1058/R1/P19 – Existing surfacing to rear access track.



Photo OE/1702/1058/R1/P20 – Boundary to immediately adjacent woodland on the western boundary.



Photo OE/1702/1058/R1/P 21 – Excavated area beneath original slabs to central section of the garages.



Photo OE/1702/1058/R1/P22 – Exposed former mine entry in 2019.



Photo OE/1702/1058/R1/P23 – Current mine entry area.

Appendix C - Groundsure Report

Appendix D - Groundsure Historical Maps (large & small)

Appendix E - Coal Authority Mining Report

Consultants Coal Mining Report

This report is based on and limited to the records held by the Coal Authority at the time the report was produced.

Client name

THE COAL AUTHORITY

Enquiry address

22-34 Goldney Avenue
Warmley
Bristol


How to contact us


0345 762 6848 (UK)
+44 (0)1623 637 000 (International)

200 Lichfield Lane
Mansfield
Nottinghamshire
NG18 4RG

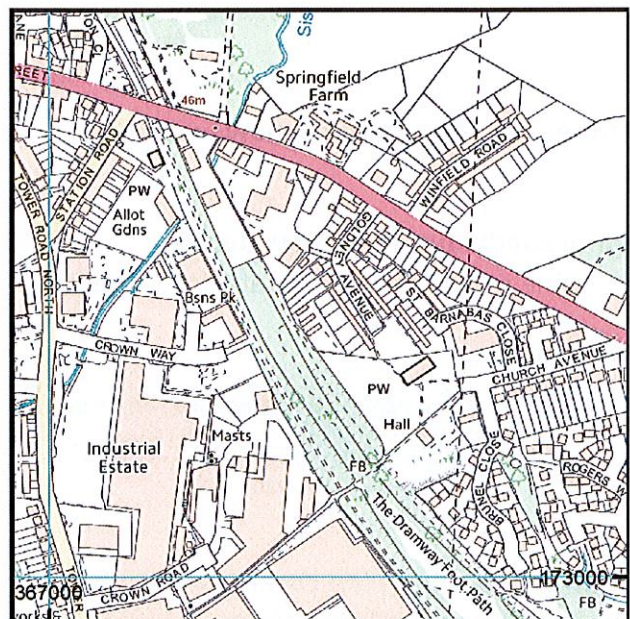
www.groundstability.com

 @coalauthority

 /company/the-coal-authority

 /thecoalauthority

 /thecoalauthority



Approximate position of property



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Section 1 – Mining activity and geology

Past underground mining

Colliery	Seam	Mineral	Coal Authority reference	Depth (m)	Direction to working	Dipping rate of seam worked (degrees)	Dipped direction of seam worked	Extraction thickness (cm)	Year last mined
unnamed	GRAIGOG	Coal	3BTK	153	Beneath Property	10.3	South-West	40	1880
unnamed	TWO FOOT NINE	Coal	3APC	168	Beneath Property	10.3	South	60	1870
unnamed	FOUR FEET	Coal	3VE0	194	Beneath Property	12.2	South-West	122	1880
unnamed	RED	Coal	3BAG	228	Beneath Property	10.9	South-West	50	1880
unnamed	RED	Coal	3BAF	235	West	11.0	South-West	50	1880

Probable unrecorded shallow workings

Yes.

Spine roadways at shallow depth

No spine roadway recorded at shallow depth.

Mine entries

Entry type	Reference	Grid reference	Treatment description	Mineral	Conveyancing details
Shaft	367173-021	367280 173280		Coal	

Abandoned mine plan catalogue numbers

The following abandoned mine plan catalogue numbers intersect with some, or all, of the enquiry boundary:

R11180	17639	2411
16739	16736	PO0

Please contact us on **0345 762 6848** to determine the exact abandoned mine plans you require based on your needs.

Outcrops

No outcrops recorded.

Geological faults, fissures and breaklines

No faults, fissures or breaklines recorded.

Opencast mines

None recorded within 500 metres of the enquiry boundary.

Coal Authority managed tips

None recorded within 500 metres of the enquiry boundary.

Section 2 – Investigative or remedial activity

Please refer to the 'Summary of findings' map (on separate sheet) for details of any activity within the area of the site boundary.

Site investigations

None recorded within 50 metres of the enquiry boundary.

Remediated sites

None recorded within 50 metres of the enquiry boundary.

Coal mining subsidence

The Coal Authority has not received a damage notice or claim for the subject property, or any property within 50 metres of the enquiry boundary, since 31st October 1994.

There is no current Stop Notice delaying the start of remedial works or repairs to the property.

The Coal Authority is not aware of any request having been made to carry out preventive works before coal is worked under section 33 of the Coal Mining Subsidence Act 1991.

Mine gas

None recorded within 500 metres of the enquiry boundary.

Mine water treatment schemes

None recorded within 500 metres of the enquiry boundary.

Section 3 – Licensing and future mining activity

Future underground mining

None recorded.

Coal mining licensing

None recorded within 200 metres of the enquiry boundary.

Court orders

None recorded.

Section 46 notices

No notices have been given, under section 46 of the Coal Mining Subsidence Act 1991, stating that the land is at risk of subsidence.

Withdrawal of support notices

The property is not in an area where a notice to withdraw support has been given.

The property is not in an area where a notice has been given under section 41 of the Coal Industry Act 1994, cancelling the entitlement to withdraw support.

Payments to owners of former copyhold land

The property is not in an area where a relevant notice has been published under the Coal Industry Act 1975/Coal Industry Act 1994.

Section 4 – Further information

The following potential risks have been identified and as part of your risk assessment should be investigated further.

Development advice

The site is within an area of historical coal mining activity. Should you require advice and/or support on understanding the mining legacy, its risks to your development or what next steps you need to take, please contact us.

For further information on specific site or ground investigations in relation to any issues raised in Section 4, please call us on 0345 762 6848 or email us at groundstability@coal.gov.uk.

Section 5 – Data definitions

The datasets used in this report have limitations and assumptions within their results. For more guidance on the data and the results specific to the enquiry boundary, please **call us on 0345 762 6848** or **email us at groundstability@coal.gov.uk**.

Past underground coal mining

Details of all recorded underground mining relative to the enquiry boundary. Only past underground workings where the enquiry boundary is within 0.7 times the depth of the workings (zone of likely physical influence) allowing for seam inclination, will be included.

Probable unrecorded shallow workings

Areas where the Coal Authority believes there to be unrecorded coal workings that exist at or close to the surface (less than 30 metres deep).

Spine roadways at shallow depth

Connecting roadways either, working to working, or, surface to working, both in-seam and cross measures that exist at or close to the surface (less than 30 metres deep), either within or within 10 metres of the enquiry boundary.

Mine entries

Details of any shaft or adit either within, or within 100 metres of the enquiry boundary including approximate location, brief treatment details where known, the mineral worked from the mine entry and conveyance details where the mine entry has previously been sold by the Authority or its predecessors British Coal or the National Coal Board.

Abandoned mine plan catalogue numbers

Plan numbers extracted from the abandoned mines catalogue containing details of coal and other mineral abandonment plans deposited via the Mines Inspectorate in accordance with the Coal Mines Regulation Act and Metalliferous Mines Regulation Act 1872. A maximum of 9 plan extents that intersect with the enquiry boundary will be included. This does not infer that the workings and/or mine entries shown on the abandonment plan will be relevant to the site/property boundary.

Outcrops

Details of seam outcrops will be included where the enquiry boundary intersects with a conjectured or actual seam outcrop location (derived by either the British Geological Survey or the Coal Authority) or intersects with a defined 50 metres buffer on the coal (dip) side of the outcrop. An indication of whether the Coal Authority believes the seam to be of sufficient thickness and/or quality to have been worked will also be included.

Geological faults, fissures and breaklines

Geological disturbances or fractures in the bedrock. Surface fault lines (British Geological Survey derived data) and fissures and breaklines (Coal Authority derived data) intersecting with the enquiry boundary will be included. In some circumstances faults, fissures or breaklines have been known to contribute to surface subsidence damage as a consequence of underground coal mining.

Opencast mines

Opencast coal sites from which coal has been removed in the past by opencast (surface) methods and where the enquiry boundary is within 500 metres of either the licence area, site boundary, excavation area (high wall) or coaling area.

Coal Authority managed tips

Locations of disused colliery tip sites owned and managed by the Coal Authority, located within 500 metres of the enquiry boundary.

Site investigations

Details of site investigations within 50 metres of the enquiry boundary where the Coal Authority has received information relating to coal mining risk investigation and/or remediation by third parties.

Remediated sites

Sites where the Coal Authority has undertaken remedial works either within or within 50 metres of the enquiry boundary following report of a hazard relating to coal mining under the Coal Authority's Emergency Surface Hazard Call Out procedures.

Coal mining subsidence

Details of alleged coal mining subsidence claims made since 31 October 1994 either within or within 50 metres of the enquiry boundary. Where the claim relates to the enquiry boundary confirmation of whether the claim was accepted, rejected or whether liability is still being determined will be given. Where the claim has been discharged, whether this was by repair, payment of compensation or a combination of both, the value of the claim, where known, will also be given.

Details of any current 'Stop Notice' deferring remedial works or repairs affecting the property/site, and if so the date of the notice.

Details of any request made to execute preventative works before coal is worked under section 33 of the Coal Mining Subsidence Act 1991. If yes, whether any person withheld consent or failed to comply with any request to execute preventative works.

Mine gas

Reports of alleged mine gas emissions received by the Coal Authority, either within or within 500 metres of the enquiry boundary that subsequently required investigation and action by the Coal Authority to mitigate the effects of the mine gas emission.

Mine water treatment schemes

Locations where the Coal Authority has constructed or operates assets that remove pollutants from mine water prior to the treated mine water being discharged into the receiving water body.

These schemes are part of the UK's strategy to meet the requirements of the Water Framework Directive. Schemes fall into 2 basic categories: Remedial – mitigating the impact of existing pollution or Preventative – preventing a future pollution incident.

Mine water treatment schemes generally consist of one or more primary settlement lagoons and one or more reed beds for secondary treatment. A small number are more specialised process treatment plants.

Future underground mining

Details of all planned underground mining relative to the enquiry boundary. Only those future workings where the enquiry boundary is within 0.7 times the depth of the workings (zone of likely physical influence) allowing for seam inclination will be included.

Coal mining licensing

Details of all licenses issued by the Coal Authority either within or within 200 metres of the enquiry boundary in relation to the under taking of surface coal mining, underground coal mining or underground coal gasification.

Court orders

Orders in respect of the working of coal under the Mines (Working Facilities and Support) Acts of 1923 and 1966 or any statutory modification or amendment thereof.

Section 46 notices

Notice of proposals relating to underground coal mining operations that have been given under section 46 of the Coal Mining Subsidence Act 1991.

Withdrawal of support notices

Published notices of entitlement to withdraw support and the date of the notice. Details of any revocation notice withdrawing the entitlement to withdraw support given under Section 41 of the Coal Industry Act 1994.

Payment to owners of former copyhold land

Relevant notices which may affect the property and any subsequent notice of retained interests in coal and coal mines, acceptance or rejection notices and whether any compensation has been paid to a claimant.

Appendix F - Bristol Coalmining Archives Report February 2019

Mr Adrian Pike
The Powder Keg
Chesley Hill
Bristol BS15 5NE

Date: 20/02/19

Our Ref: 55373

Your Ref: -

Dear Sirs

Re: - Land at the rear of 22-34 Goldney Avenue Warmley Bristol BS30 5JG

Thank you for your enquiry which we received on 20/02/19.

We have searched our records and report as follows:-

Past Mining Activity

The property is situated in an area that was worked for coal in the 19th century and is over the workings of Crown Colliery.

One source in our possession, a report commissioned in the 1980s for the then Department of the Environment and conducted by Howard Humphries, a firm of consulting engineers, suggests that the five seams of the Stibbs group all outcrop to the south and dip in that direction away from the property. These seams and any workings they may contain will therefore be of no concern.

This source also indicated that the first workable seams beneath this part of Goldney Avenue will lie at depths in excess of 150 feet.

Crown Colliery worked a number of seams from the 1820s until closure in 1902.

The site of the colliery was extensive and spanned both sides of London Road, with the main pumping engine (Engine Pit) located on the northern side of the road and the main coaling shaft (South Pit) located on the southern side. Later in its working life the colliery was linked to Goldney Pit, which lies further to the south, when both collieries came under the ownership of the same proprietor.

Plans of Crown Colliery show that the three foot thick Pound Vein; known elsewhere in Bristol as the Lower Five Coals and the three foot eight inch thick Kingswood Great Vein were both worked beneath the property at depths of 595 feet and 670 feet respectively.

Generally, workings of this depth and age will be of no concern, ground movement having normally long since ceased.

Shafts and Adits

The nearest recorded shaft is an unnamed concern and lies just within the western boundary of the site. We hold no information as to whether the shaft has been filled or capped.

The shaft of South Pit is situated 330 feet to the north west, a further shaft is present 440 feet in that direction and that of Engine Pit is located 450 feet to the north. From these distances these three shafts will be of no concern.

Water and Drainage Levels

None are known in the vicinity.

Surface Geology

The property stands on beds of Carboniferous shales and sandstones, which contain the coal seams of the Middle Coal Measures.

Subsidence

We have no knowledge of damage to the property caused by subsidence specifically attributable to mining activity in the immediate area.

Disclaimer

Whilst we believe that our archive is truly comprehensive we nevertheless acknowledge that there may be documentary sources unknown to us. Consequently this report is limited to the information in our possession.

Because the information in the report is obtained from records and documents prepared by others, it follows that the company cannot accept responsibility for any inaccuracies in those records or omissions from them.

If we express an opinion as to whether any mine workings revealed by this report would affect the property, we do so, on the basis of a theoretical relationship between the depth of the workings and the size of the seam. Any risk of subsidence also diminishes with the age of the workings. However, recent experience makes it plain that if there are workings under or adjacent to the property, there may be some degree of risk.

Yours faithfully

Bristol Coalmining Archives Limited



Appendix G - Coal Authority Permit 17858 – Investigation of mine entry



The Coal
Authority

Permit to Enter or Disturb Coal Authority Mining Interests

Permit Reference Number 17858

Name and Address of Permit Holder:

*M & A Commercials (Bristol) Ltd
1 Strawberry Crescent
St Georges
Bristol
South Gloucestershire
BS5 8BD*

Site Location:


*Land to the Rear of
22-34 Goldney Avenue
Warmley
Bristol
BS30 5JG*

This certificate hereby grants the above named Permit Holder a Permit to carry out:-

Investigation of mine shaft 367173-021 by excavations

Investigation of mine workings by two boreholes to 40m bgl

within the Authority's mining interests at the identified site location for the period of 12 months from the granted date shown below. The granting of this Permit does not constitute advice given by the Authority in relation to the proposed operations. It is the Applicant's responsibility to obtain appropriate health, safety, environmental, technical and legal advice.

Signed: _____  _____ Granted Date: 22/03/2019

For and on behalf of The Coal Authority

*Nominated Representative: Paul Heap, Permitting Manager;
The Coal Authority, Permitting Office, 200 Lichfield Lane, Mansfield, Notts, NG18 4RG
Tel: 01623 637339; E-Mail: permissions@coal.gov.uk*