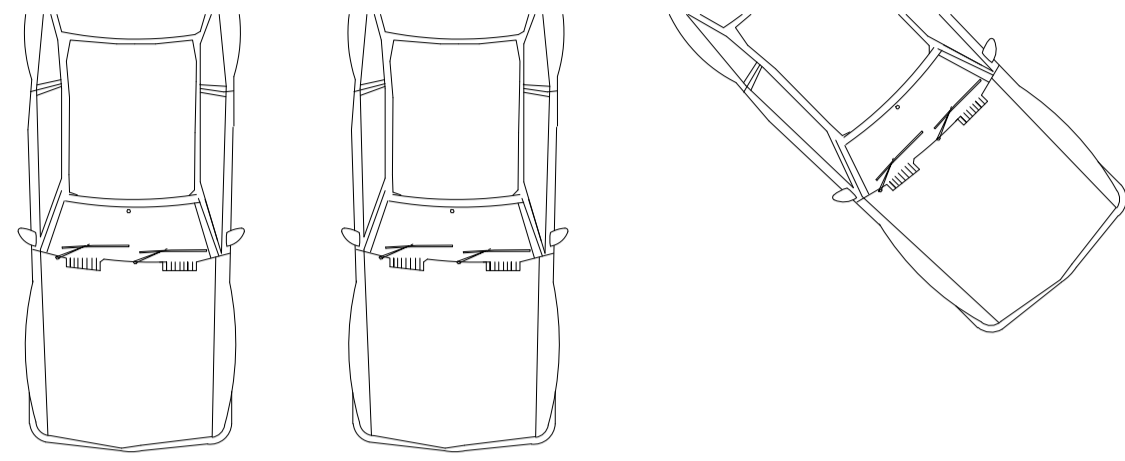


# FOR PLANNING PURPOSES ONLY

PRIOR TO COMMENCEMENT OF WORKS ON SITE AND WITH ADVANCED NOTICE, CLIENT-CONTRACTOR TO SUBMIT APPLICATION TO WELSH WATER AND A BUILDING NOTICE APPLICATION TO BUILDING CONTROL. NO WORKS TO COMMENCE UNTIL APPROVALS GRANTED. FULL PARTY WALL AGREEMENT TO BE SUBMITTED BY CLIENT APPOINTED PARTY WALL SURVEYOR.



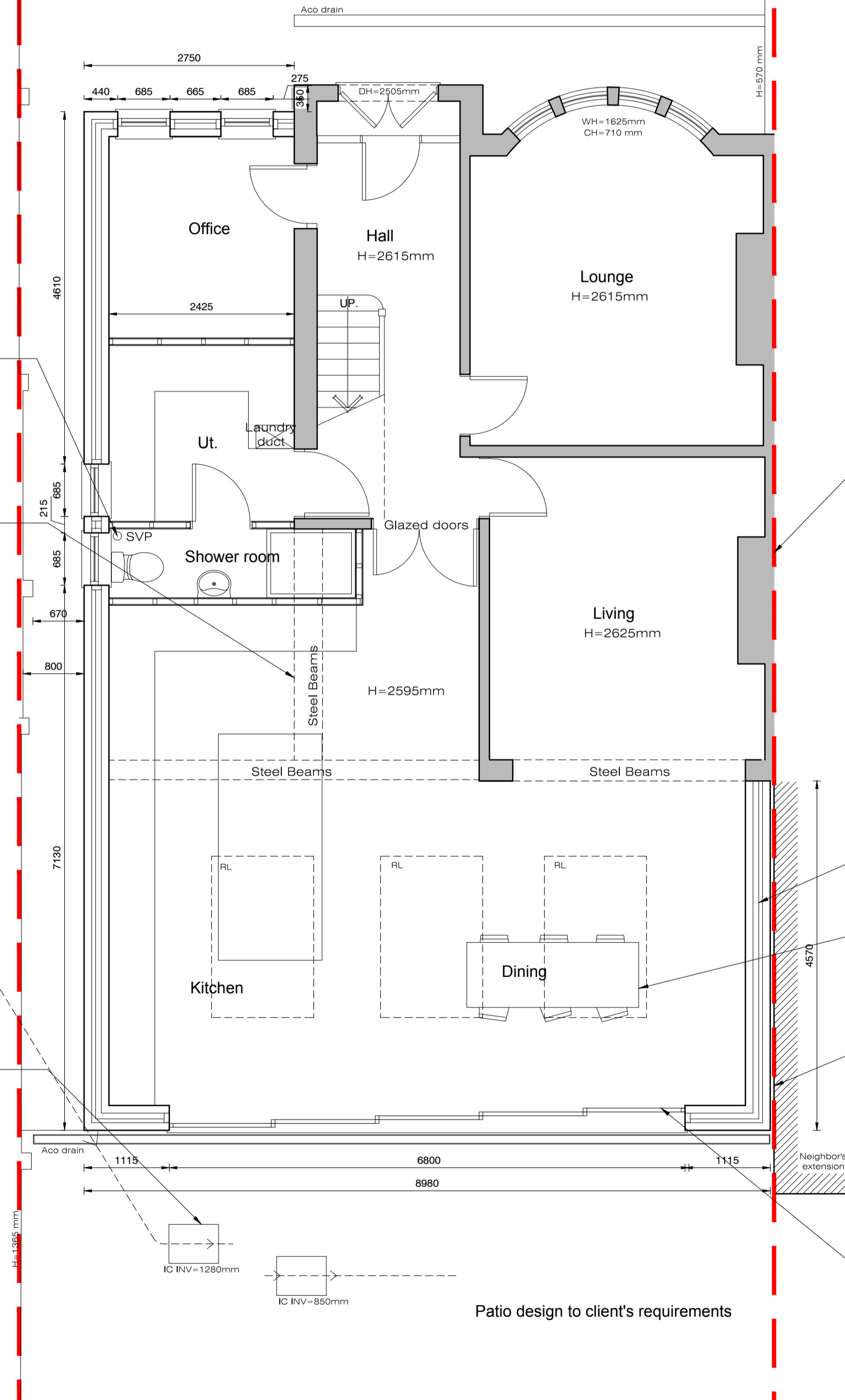
Note: Local authority approval obtained for drop kerb licence. Application approval reference CO 003586.

Proposed location of new SVP, all in accordance to drainage engineers recommendation.

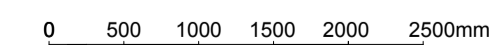
NOTE: All internal / external load bearing walls to be demolished and have support strictly in compliance with structural engineers design and specification. Full survey to be carried out to confirm load bearing walls. Please refer to structural engineers design and specification.

Proposed new steel beams to be installed all in compliance with structural engineers design and specification. Steel enclosed with plaster board & skim to achieve min 30 min fire resistance.

Prior to commencement of works contractor to search and find existing drainage run. All works must be carried out in compliance with building control and welsh water. Full application to be submitted to welsh water. Specialist drainage design details to be provided by drainage engineer.



PROPOSED GROUND FLOOR PLAN  
(Scale 1:50 @ A1)



ALL DIMENSIONS INDICATED TO BE CHECKED ON SITE

NOTE: All internal / external load bearing walls to be demolished and have support strictly in compliance with structural engineers design and specification. Full survey to be carried out to confirm load bearing walls. Please refer to structural engineers design and specification.

Proposed new steel beams to be installed all in compliance with structural engineers design and specification. Steel enclosed with plaster board & skim to achieve min 30 min fire resistance.

Assumed line of boundary, prior to commencement of works on site full confirmation to be obtained from deed plans and clients solicitor.

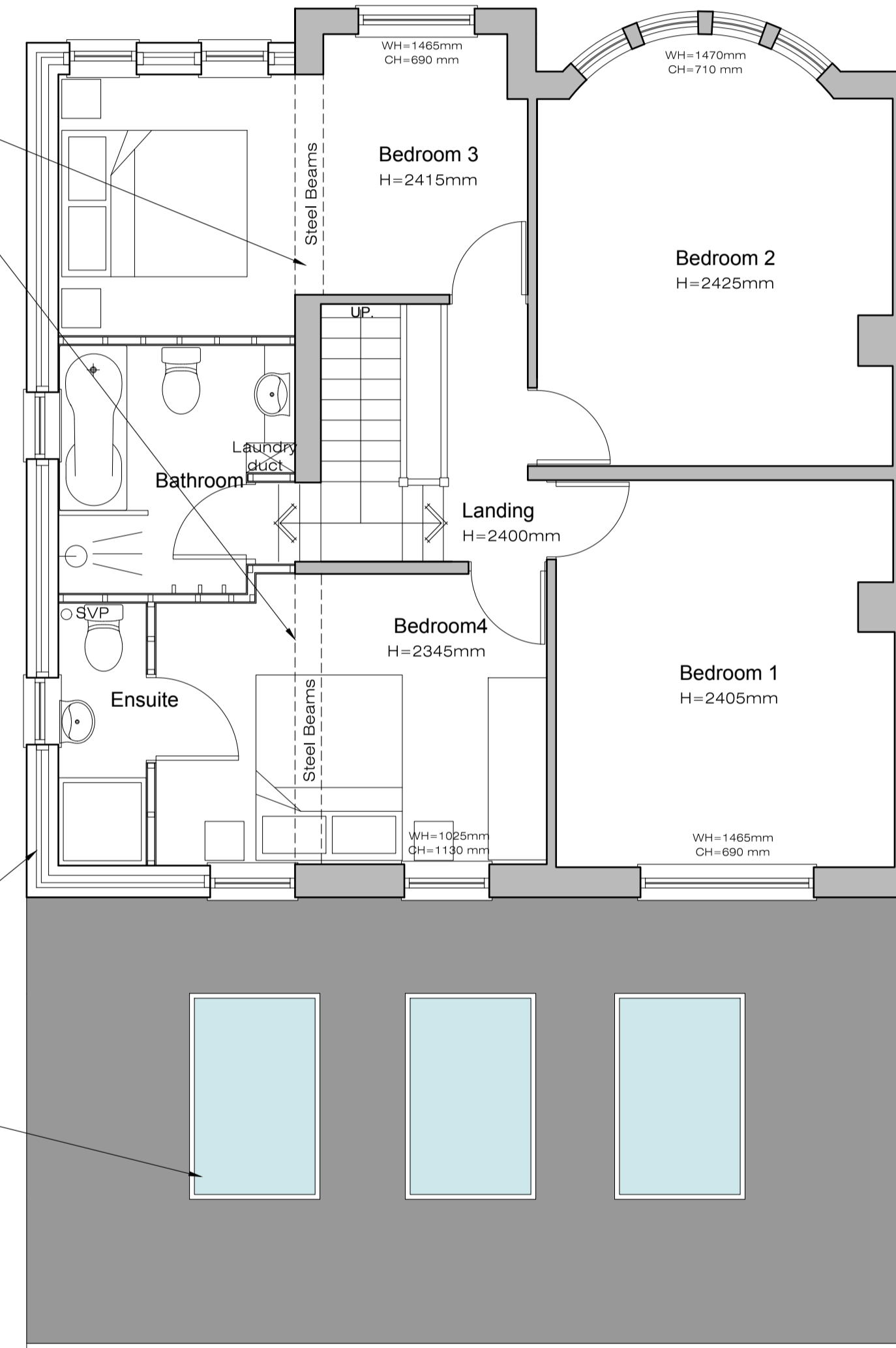
Prior to commencement works full discussion and agreement to be made with neighbours for confirmation of intended works to be carried out. Contractor must ensure full protection is provided to boundary. Client appointed party wall surveyor to confirm if party wall notice is required to be served.

Proposed 325mm cavity wall construction to achieve latest requirements for u value in compliance with building control requirements.

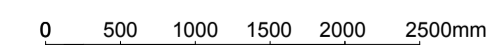
Proposed roof light. All necessary trimmers in compliance with structural engineers design and specification. Size and location to suit client requirement.

No element of proposed extension to over hang boundary line

Proposed white colour coated aluminum sliding doors with structural steel lintols above. Confirmation of edge beam to be confirmed by specialist supplier. Call Shaun Armstrong glasshouse: 07973233133.



PROPOSED FIRST FLOOR PLAN  
(Scale 1:50 @ A1)



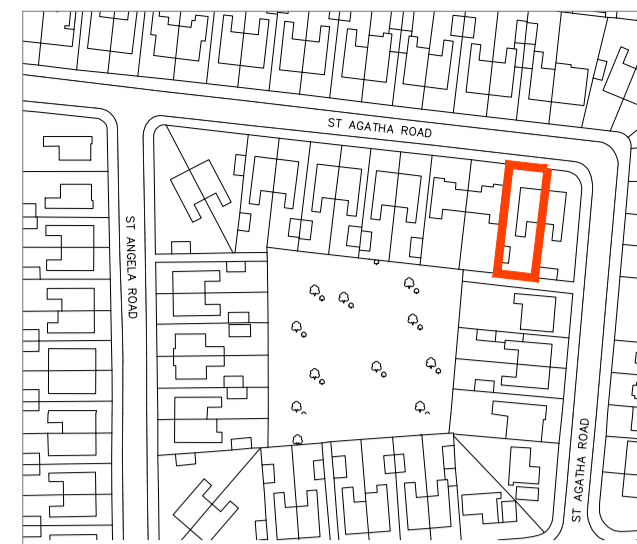
ALL DIMENSIONS INDICATED TO BE CHECKED ON SITE

## PROPOSED FINISHES LEGEND

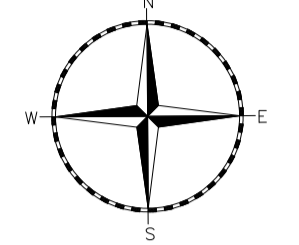
Roof Finish - Brown tiles.  
External Walls - Render & brick.  
Fascia and soffits in white upvc.  
External doors, windows and patio doors in white uPVC units.  
Gutters and Downpipes - black uPVC gutters and downpipes with matching fixings.

Prior to commencement works full discussion and agreement to be made with neighbors for confirmation of intended works to be carried out. Contractor must ensure full protection is provided to boundary. Client appointed party wall surveyor to confirm if party wall notice is required to be served.

NOTE: These drawings have been prepared for planning purposes only. Full building control approval to be obtained by the client/ contractor prior to commencement of works on site. All dimensions indicated to be checked on site prior to any fabrication of materials. note all dimensions indicated taken with standard tape measure for planning purposes. Full electronic station survey to be taken for complete accuracy.



LOCATION PLAN NTS



THE DRAWINGS RELATE TO THE PROPOSED EXTENSION WORKS AT 20 ST AGATHA RD, HEATH, CARDIFF CF14 4EB.

FOR STRUCTURAL DETAILS PLEASE REFER TO CLIENT APPOINTED STRUCTURAL ENGINEERS DESIGN AND FULL SPECIFICATION.

THE DRAWING HAS BEEN PRODUCED FOR PLANNING PURPOSES ONLY.

CONTRACTOR MUST ENSURE A FULL BUILDING CONTROL APPLICATION IS SUBMITTED PRIOR TO COMMENCEMENT OF ANY WORKS ON SITE.

ALL DEMOLITION WORKS SUBJECT TO STRUCTURAL ENGINEERS APPROVAL AND FULL DESIGN AND SPECIFICATION.

ALL PLANNING CONDITIONS TO BE APPROVED PRIOR TO COMMENCEMENT OF RELATED WORKS.

DRAINAGE DETAILS ARE INDICATIVE ONLY. CLIENT APPOINTED SPECIALIST TO PROVIDE DESIGN AND TO BE APPROVED BY BUILDING CONTROL AND WELSH WATER - PRIOR TO INSTALLATION.

CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE, BEFORE COMMENCEMENT OF ANY WORKS. ANY ANOMALIES MUST BE REPORTED. DO NOT SCALE FROM DRAWINGS.

REVISION NOTE:

DRAWING STATUS:

PLANNING

CLIENT:  
MR ROBERT VOKES

PROJECT:  
20 ST AGATHA RD, HEATH  
CARDIFF CF14 4EB

franks + toms  
ARCHITECTS

DRAWING TITLE:

GROUND & FIRST FLOOR PLANS  
AS PROPOSED

JOB NUMBER:	BY:	CHK:	DATE:
4172	NH	SF	JAN 2024
DRAWING NUMBER:	REV:	SCALE:	
(23) 200	*	1:50 @ A1	

Franks and Toms Architects Limited  
Office 8 St Andrews Crescent, Cardiff, CF10 3DD.  
T 02920 390099 E info@franksandtoms.com  
www.franksandtoms.com