

EXISTING GROUND FLOOR PLAN

GARAGE TO BE CAREFULLY TAKEN DOWN AND REMOVED FROM SITE. ENSURE THAT ANY ASBESTOS IS REMOVED BY A LICENSED REMOVAL COMPANY. IF IN DOUBT - CHECK.

THE PARTY WALL ACT
ALTHOUGH NOT PART OF THE BUILDING REGULATIONS, THE REQUIREMENTS OF THE PARTY WALL ACT SHOULD BE NOTED AND IMPLEMENTED ACCORDINGLY. PLEASE REFER TO THE PARTY WALLS ACT 1996, WHICH PROVIDES A FRAMEWORK FOR PREVENTING AND RESOLVING DISPUTES IN RELATION TO PARTY WALLS, BOUNDARY WALLS AND EXCAVATIONS NEAR NEIGHBOURING BUILDINGS. A BUILDING OWNER PROPOSING TO START WORKS COVERED BY THE ACT MUST GIVE ADJOINING OWNERS NOTICE OF THEIR INTENTIONS IN THE WAY SET OUT IN THE ACT. ADJOINING OWNERS CAN AGREE OR DISAGREE WITH WHAT IS PROPOSED. WHERE THEY DISAGREE, THE ACT PROVIDES A MECHANISM FOR RESOLVING DISPUTES.

NOTE: BROKEN LINEWORK DENOTES ITEM(S) THAT NEED TO BE DEMOLISHED AND OR REMOVED FROM SITE.

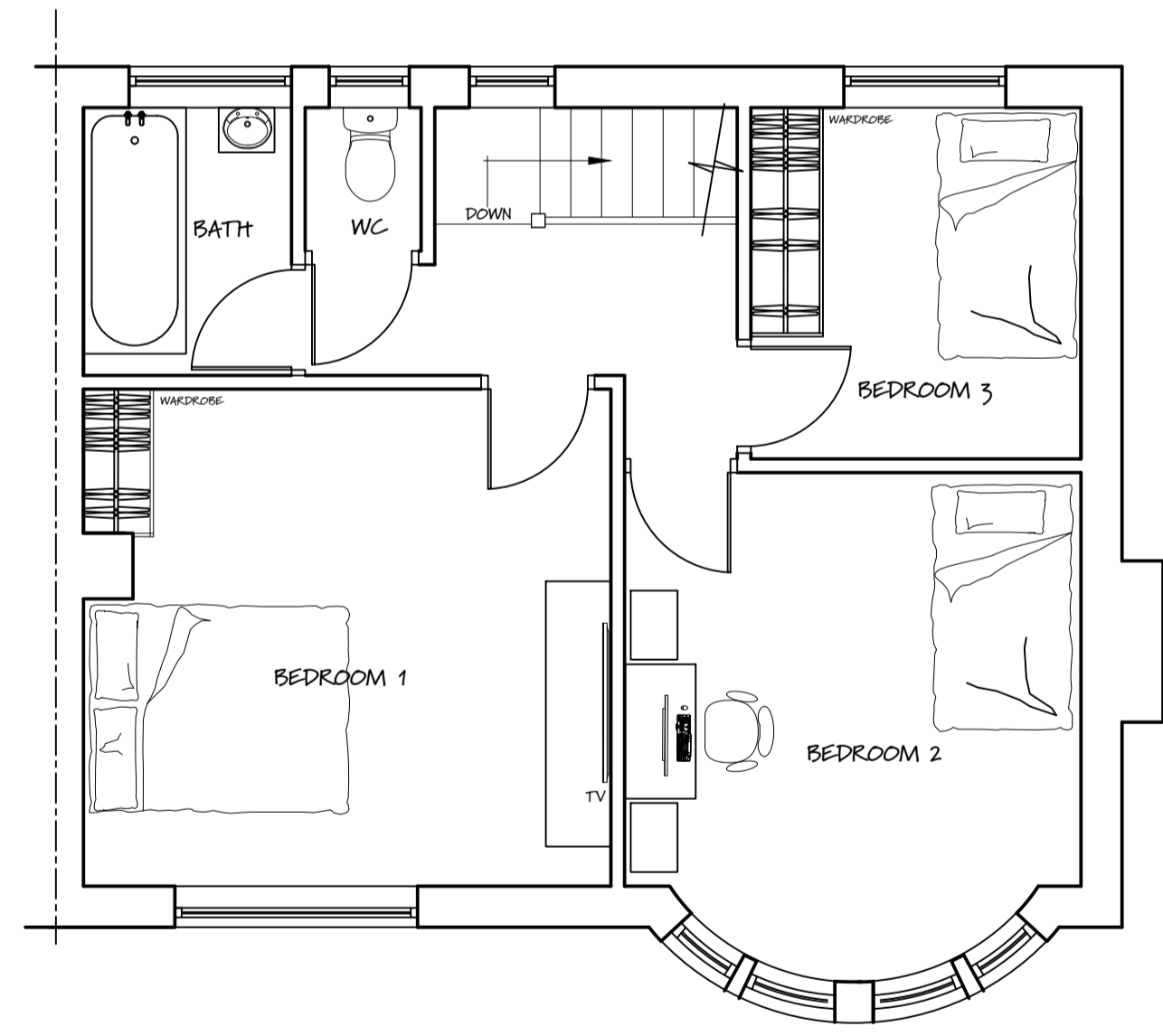
SITE PREPARATION:
GROUND TO BE PREPARED FOR NEW WORKS BY REMOVING ALL UNSUITABLE MATERIAL, VEGETABLE MATTER AND TREE OR SHRUB ROOTS TO A SUITABLE DEPTH TO PREVENT FUTURE GROWTH. SEAL UP, CAP OFF, DISCONNECT AND REMOVE EXISTING REDUNDANT SERVICES AS NECESSARY. REASONABLE PRECAUTIONS MUST ALSO BE TAKEN TO AVOID DANGER TO HEALTH AND SAFETY CAUSED BY CONTAMINANTS AND GROUND GASES E.G. LANDFILL GASES, RADON, VAPOURS ETC. ON OR IN THE GROUND COVERED OR TO BE COVERED IN THE BUILDING.

EXISTING STRUCTURE:
EXISTING STRUCTURE INCLUDING FOUNDATIONS, BEAMS, WALLS AND LINTELS CARRYING NEW AND ALTERED LOADS ETC BE EXPOSED AND CHECKED FOR ADEQUACY PRIOR TO COMMENCEMENT OF NEW WORK AND AS REQUIRED BY THE BUILDING CONTROL OFFICER.

MECHANICAL EXTRACTION:
PROVIDE MECHANICAL EXTRACTION TO BATH/SHOWER OPERATING AT 15 LITRES/SEC AND BE CAPABLE OF OPERATING INTERMITTENTLY AND HAVE AN OVER-RUN PERIOD OF 15 MINUTES.

NOTE:
ALL NEW WORK, INCLUDING FOOTINGS, GUTTERINGS, ETC. TO BE KEPT WITHIN CURTILAGE OF OWNERSHIP.

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EXISTING FIRST FLOOR PLAN

EXISTING PLANS

CLIENT:
MR LIAL GREEDY
PROPOSED SINGLE STOREY
EXTENSION TO SIDE AND REAR
WITH RE-MODELLING @
13 PURCELL ROAD
LLANRUMNEY
CF3 5RZ

DESCRIPTION:
EXISTING PLANS

t: 029 2051 4300
m: 07584 163786
e: sales@zenithdesigns.co.uk

DATE: FEBRUARY 2024
SCALE: 1:50 @ A1 1:100 @ A3
DRAWING NO: 13PURCELL/01

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