

CONTRACTORS DO NOT SCALE THIS DRAWING

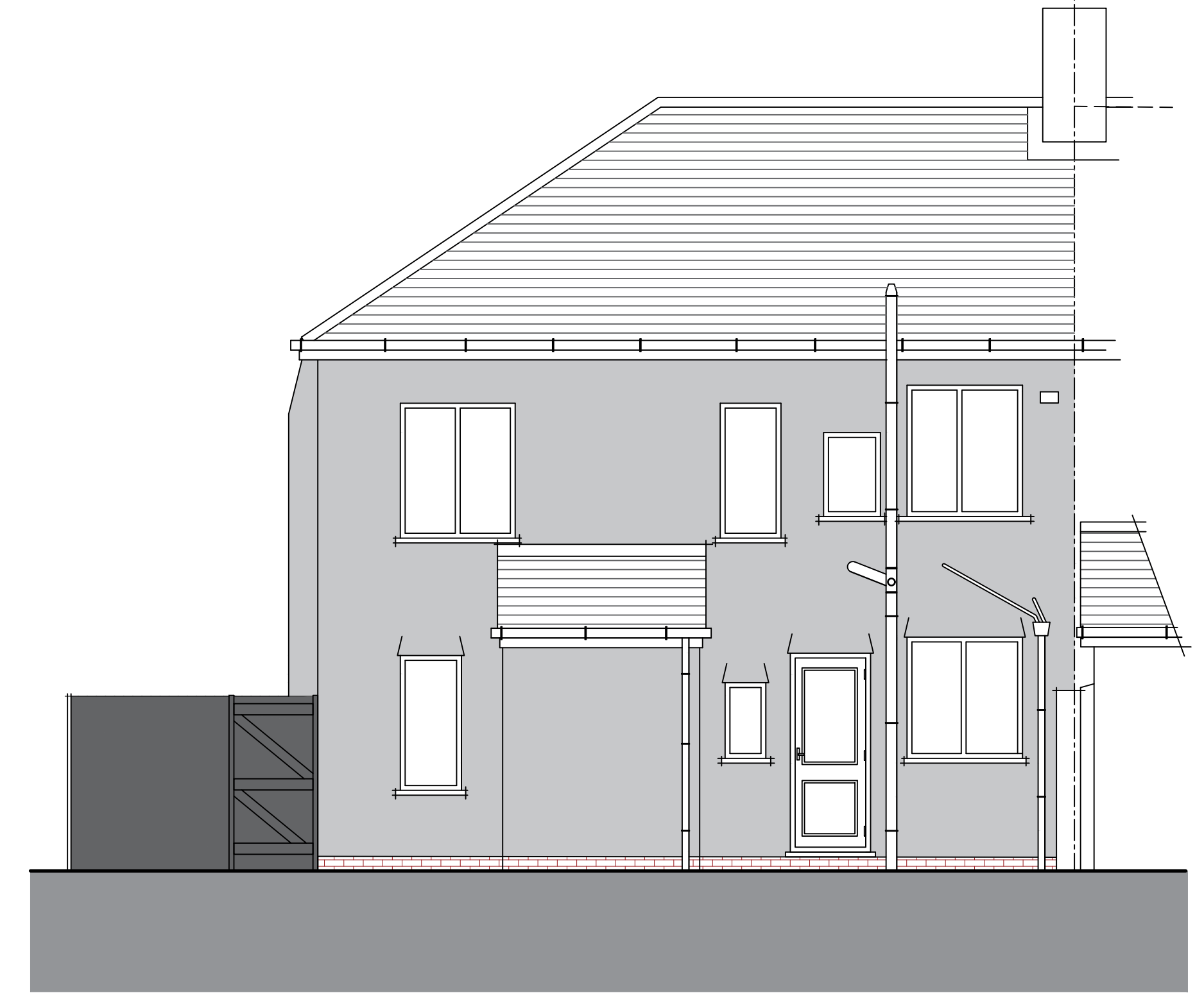
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EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION A



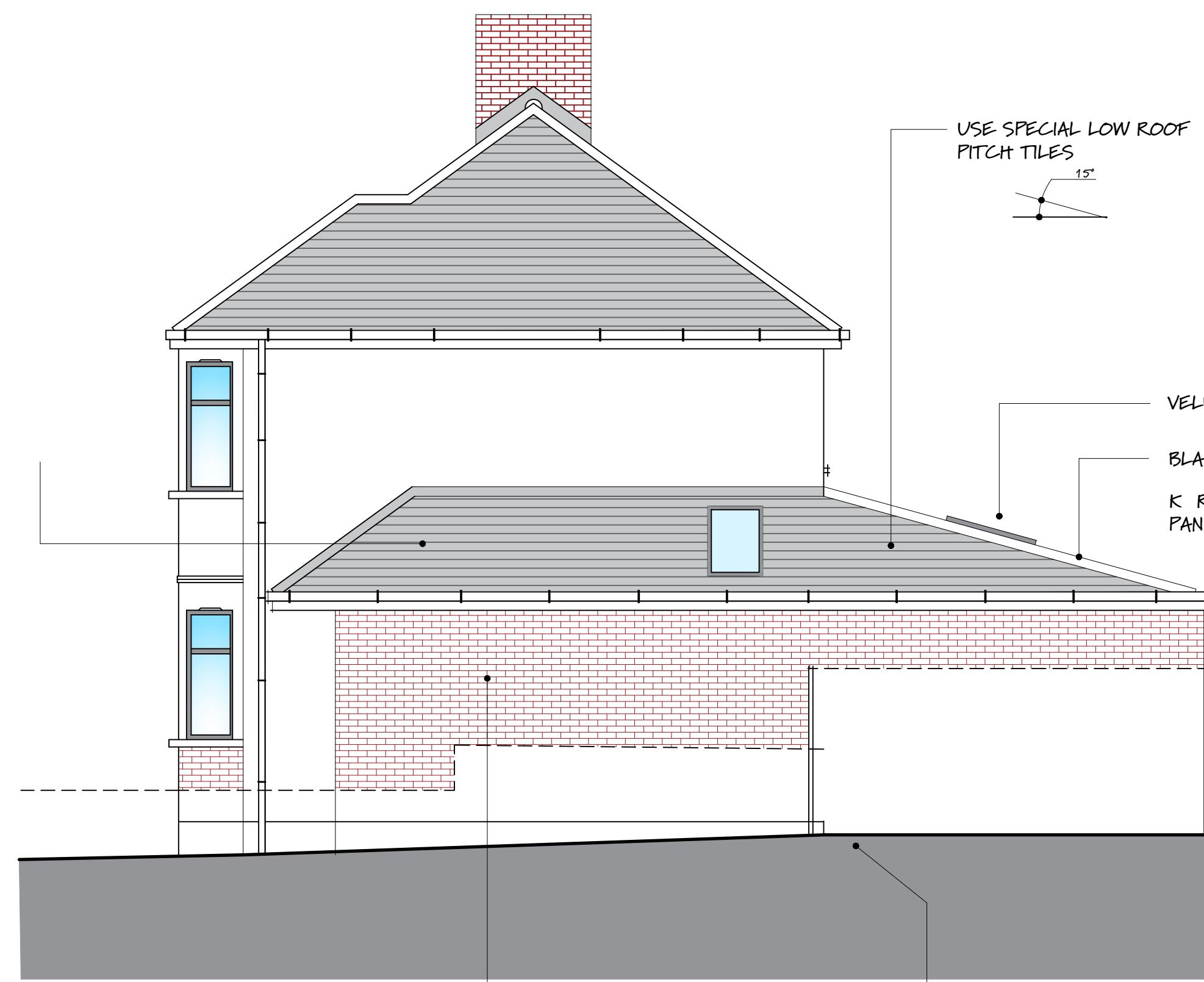
EXISTING REAR ELEVATION

CAREFULLY TAKE DOWN CHIMNEY EXTERNALLY AND MAKE GOOD WALLS

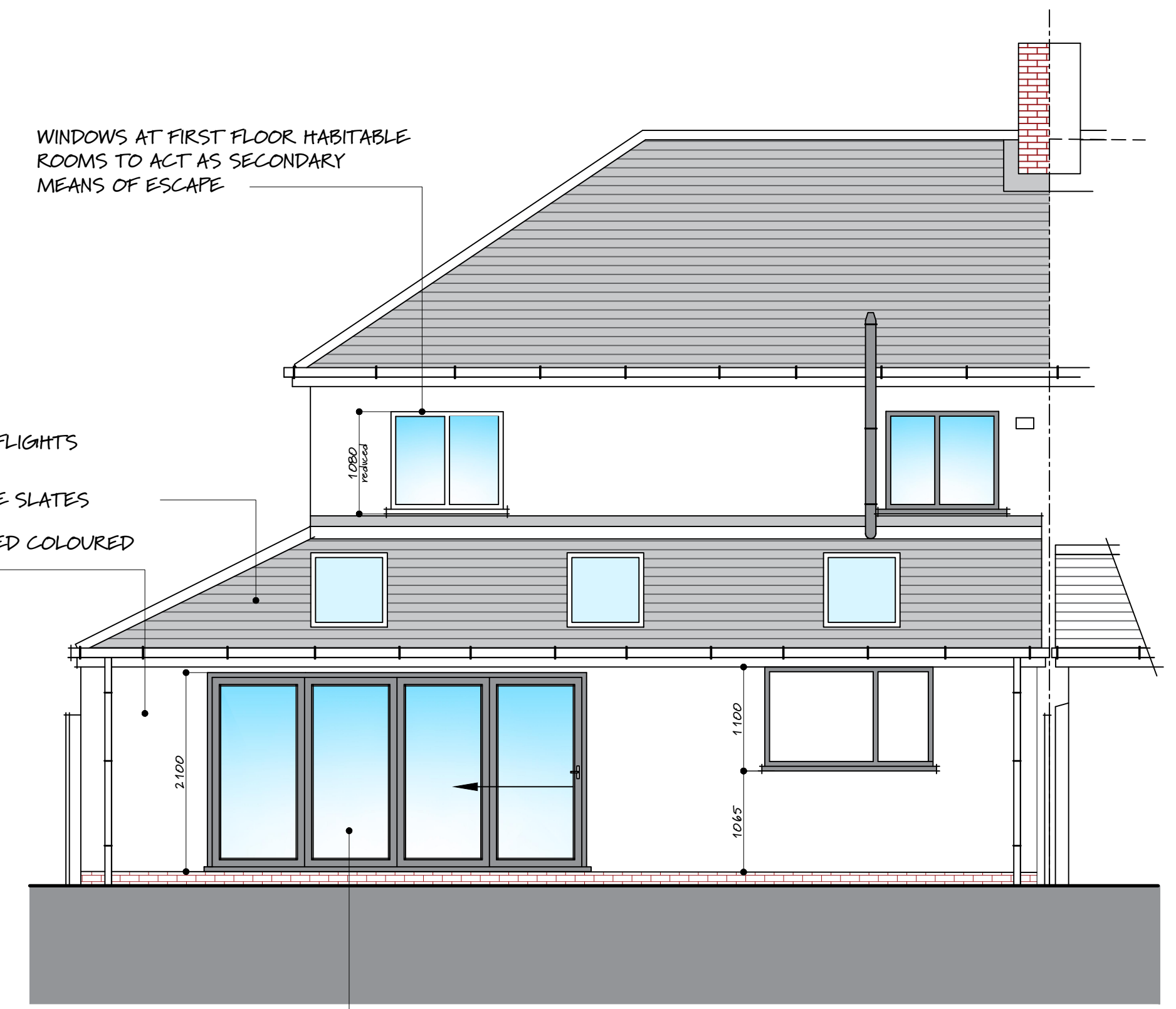
EXISTING SITE ENCLOSURE TO BE MAINTAINED



PROPOSED FRONT ELEVATION



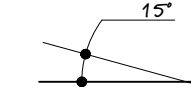
PROPOSED SIDE ELEVATION A



PROPOSED REAR ELEVATION

BLACK BLUE SLATES

USE SPECIAL LOW ROOF PITCH TILES



WINDOWS AT FIRST FLOOR HABITABLE ROOMS TO ACT AS SECONDARY MEANS OF ESCAPE

VELUX ROOFLIGHTS
BLACK BLUE SLATES
K RENDERED COLOURED PANEL

K RENDERED COLOURED PANEL

TO MATCH FACING BRICKWORK ON MAIN HOUSE

APPROX. ADJACENT LEVEL (TO BE CHECKED ON SITE)

SPECIFICATION:

ROOF:
BLACK/BLUE FIBRE CEMENT SLATES COVERING, COLOUR AND PROFILE TO MATCH THOSE OF EXISTING ROOF AS CLOSELY AS POSSIBLE.

WALLS:
PAINTED, SMOOTH RENDERED BLOCK/BLOCK CAVITY WALLS AS MAIN HOUSE.

GUTTERING:
BLACK 1/2 ROUND GUTTERS AND 62MM DOWNPIPES DISCHARGING INTO EXISTING WATER COURSE.
GUTTERING SHOULD DISCHARGE TO AN ADEQUATE SOAKAWAY OR SOME OTHER ADEQUATE INFILTRATION SYSTEM WHERE POSSIBLE.

WINDOWS:
NEW WINDOWS TO DEVELOPMENT TO BE WHITE PVC-U, DOUBLE GLAZED AND TO BE FITTED WITH HIGH LEVEL INTEGRAL TRICKLE VENTILATORS EQUIVALENT TO 8000mm².

PROVIDE OPENING VENTS TO 1/20th OF THE FLOOR AREA TO EACH NEW ROOM TO ACHIEVE RAPID VENTILATION.

ELEVATIONS

CLIENT:
MR LIAL GREEDY
PROPOSED SINGLE STOREY
EXTENSION TO SIDE AND REAR
WITH RE-MODELLING @
13 PURCELL ROAD
LLANRUMNEY
CF3 5RZ

DESCRIPTION:
PROPOSED PLANS



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DATE: FEBRUARY 2024
SCALE: 1:50 @ A1 1:100 @ A3
DRAWING NO: 13PURCELL03



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