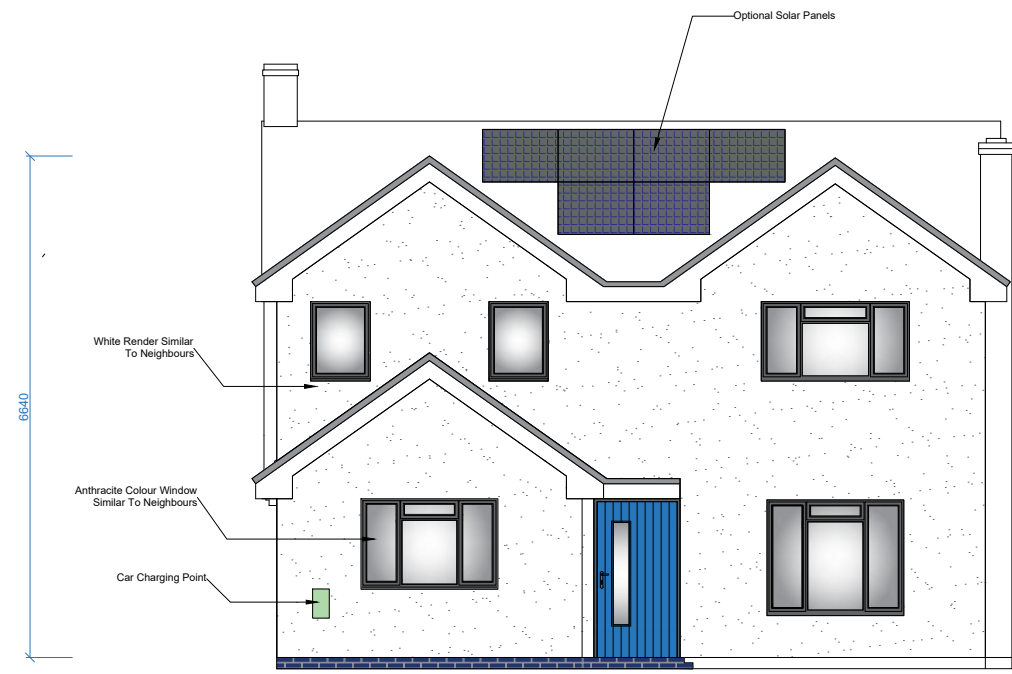
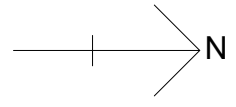
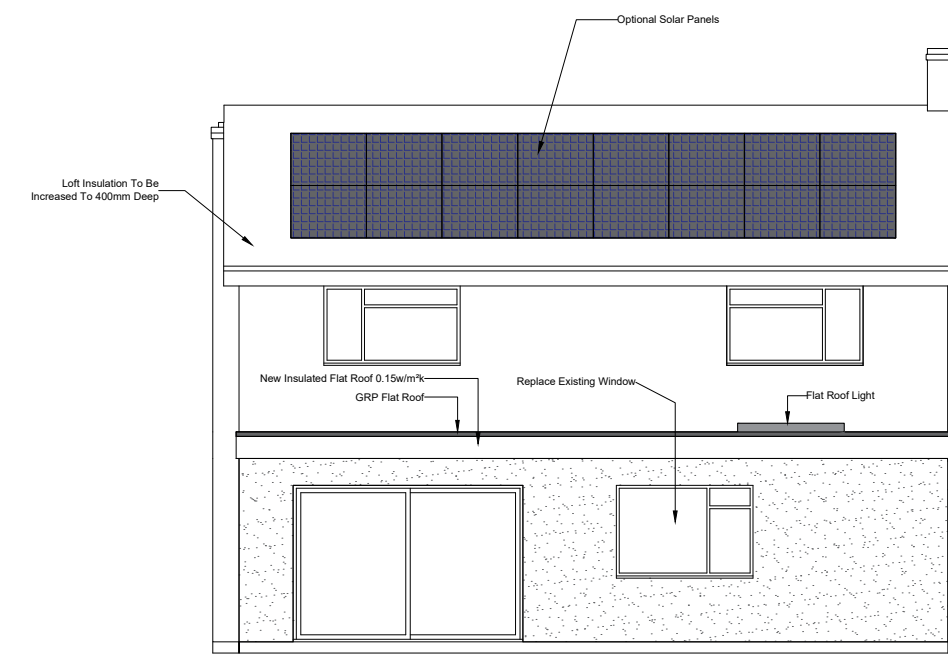


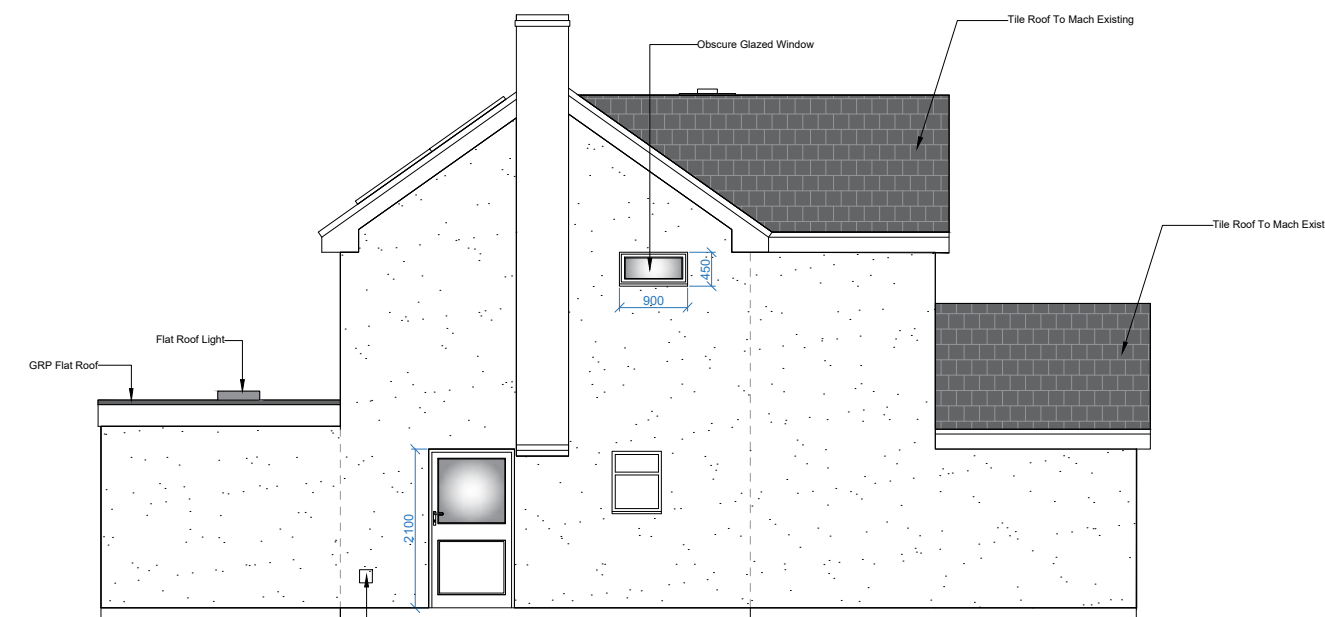
This Drawing is for the purposes of obtaining Planning Permission And / Or Building Regulations Drawing Approval Only
 It is recommended that only site dimensions are used to determine measurements. The company does not accept any liability for scaled measurements.
 All Beams, Joists and Structural Elements To Be Checked and Confirmed By A Structural Engineer



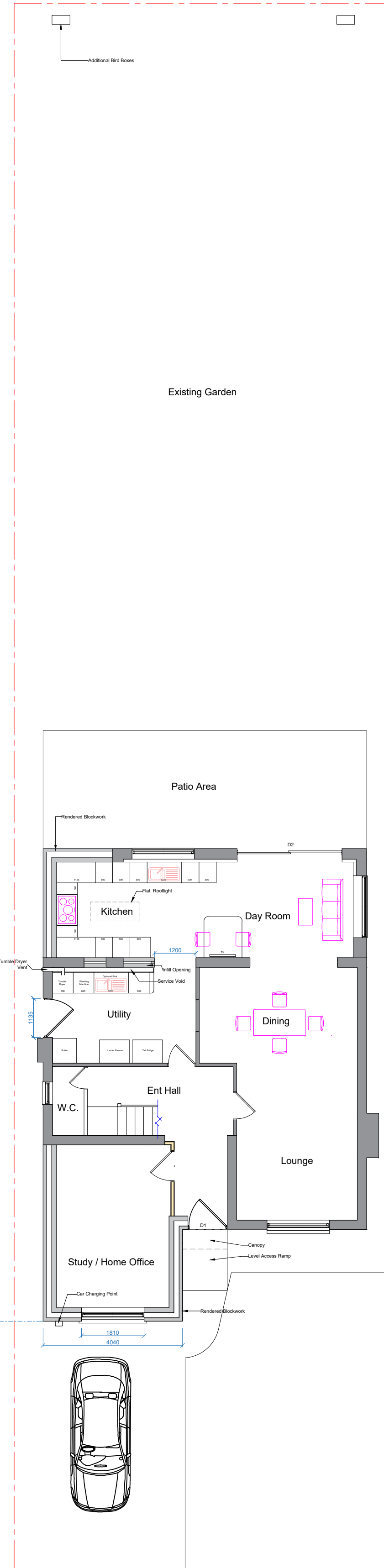
Proposed Front Elevation



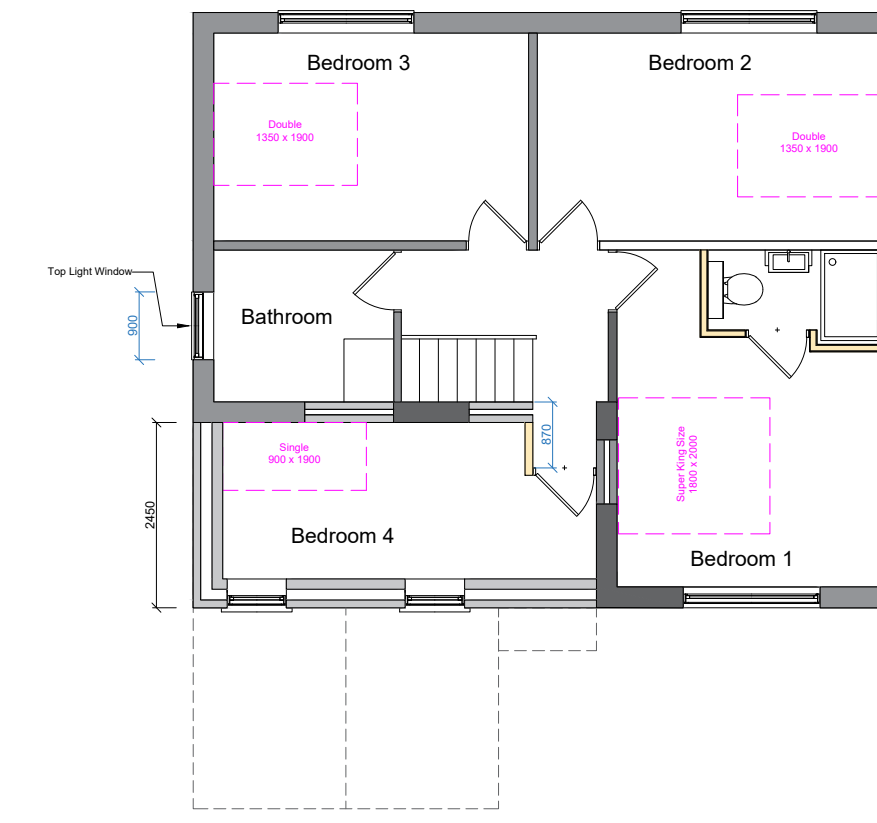
Proposed Rear Elevation



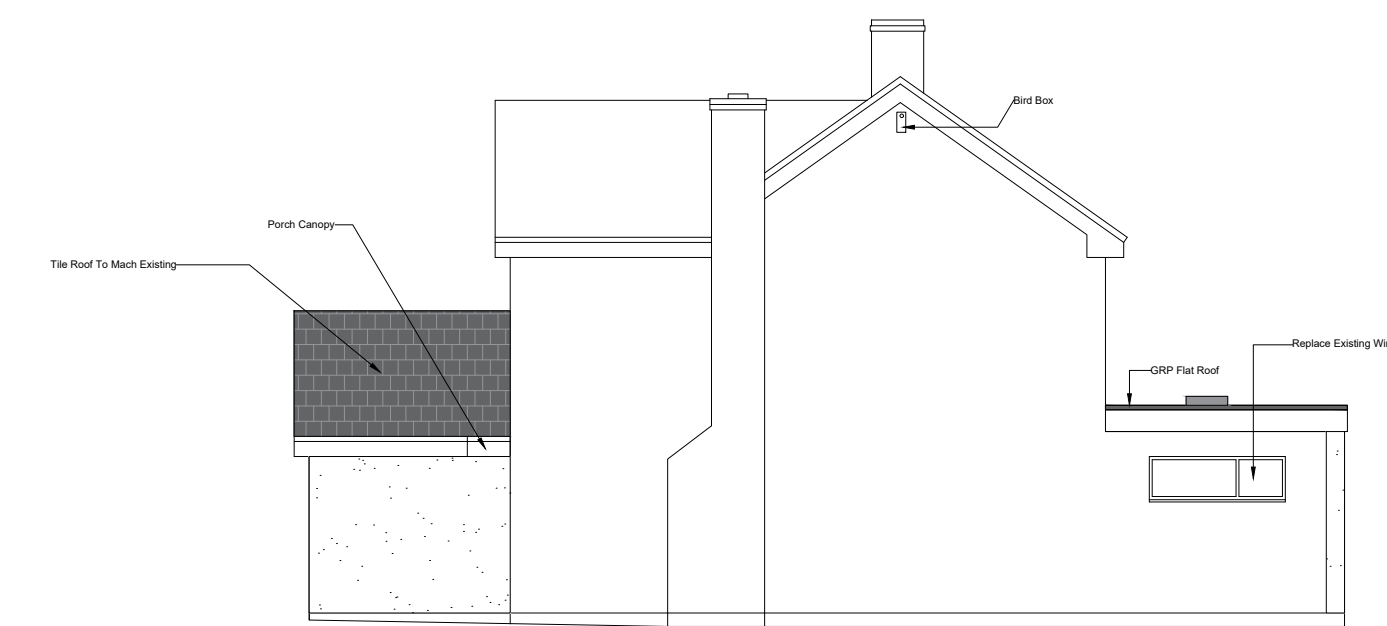
Proposed RHS Elevation



Proposed GF Plan



Proposed FF Plan



Proposed LHS Elevation

Design and Access Statement
 Door D1 Will Be The Dedicated Level Access Door And Will Include A Ramp To Meet The 15mm High Threshold.

Note: All Dimensions and Levels are to be checked on site before construction. The Constructor may need to just the drawn data to suit

Note: Particular attention must be taken to check and determine the position of the legal boundaries and the position of walls adjacent to the boundaries.


When working near or adjusting a legal boundary or party wall, the owner of the property is advised to seek legal advice to obtain the legal setting out information and documentation. Land Registry information can be obtained from Land Registry www.gov.uk/guidance/contact-hm-land-registry or via your solicitor. The owner is also advised to contact their solicitor to obtain any "Permissions" that are required before carrying out the works. This includes any obligation/s and requirement/s under the Party Wall etc Act 1996. OFAH Developments Projects UK Ltd (Plots & Plans) can not take any responsibility for the position, or accuracy of the legal boundary shown on this drawing.

Note: CGI images used in the application are for concept and visual assistance only. This drawing provides accurate details and dimension for Construction Purposes.

This drawing must be read in conjunction with the Development Proposal Document and or Specifications

Please note the colours used on this drawing are used to assist with the reading of the drawing and are not the actual colours of the finishes etc

0 1 2 3 4 5 6
 Scale 1:100 Printed At A1

		3 Woodlands Drive Grantham Lincolnshire NG31 9DJ Tel: 01476 210892 Mob: 07951 355306	
Proposed Traditional Build Two Story Extension To Front, Single Story Infill Extension To Rear Of Property			
Itemref	Quantity	Title/Name, designation, material, dimension etc	Article No./Reference
Designed by Trevor Briggs	Checked by	Approved by - date XXX	Date 26/10/2023 Scale See Note
David Eva 17 Rannoch Close. Cardiff CF23 6LP		Proposed Plans & Elevations 2023-PR24-OFA-DR-PP-02 Edition Rev A Sheet 1/1	