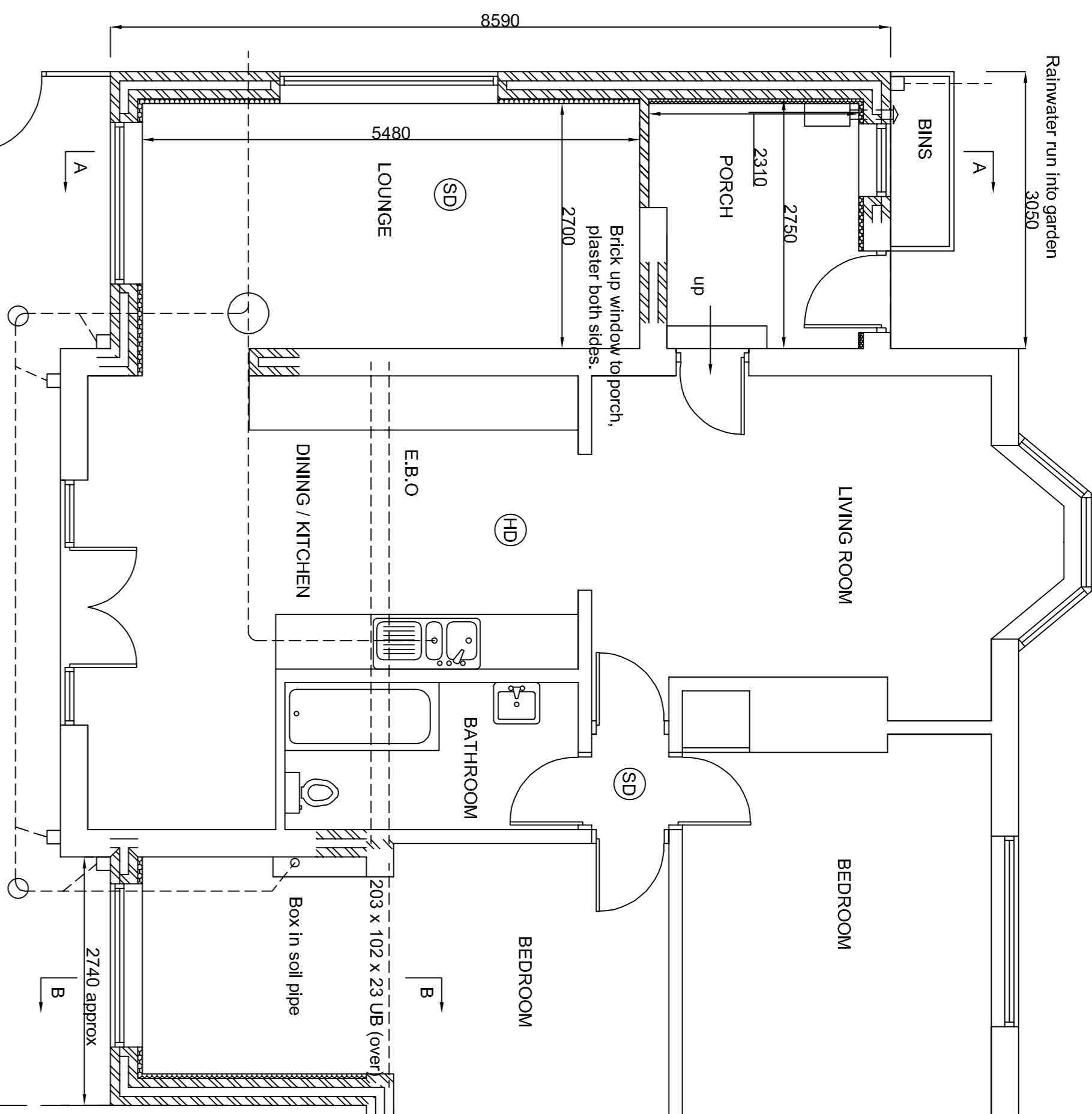


Re-site boiler in porch. This work to be carried out by Gas Safe registered heating engineer



NOTE:- All dimensions are approximate and must be checked and confirmed on-site before work commences.
Re-site back gate in a position to suit client.

All new 100 dia plastic drains. Footings under drains wall finished over. Drains cased in pea gravel under extension. All run into 450 dia plastic M.H and pick up existing drains. New drains laid to min 1% fall over if required. Fit new inlet GARDEN

PROPOSED GROUND FLOOR PLAN SCALE 1:50

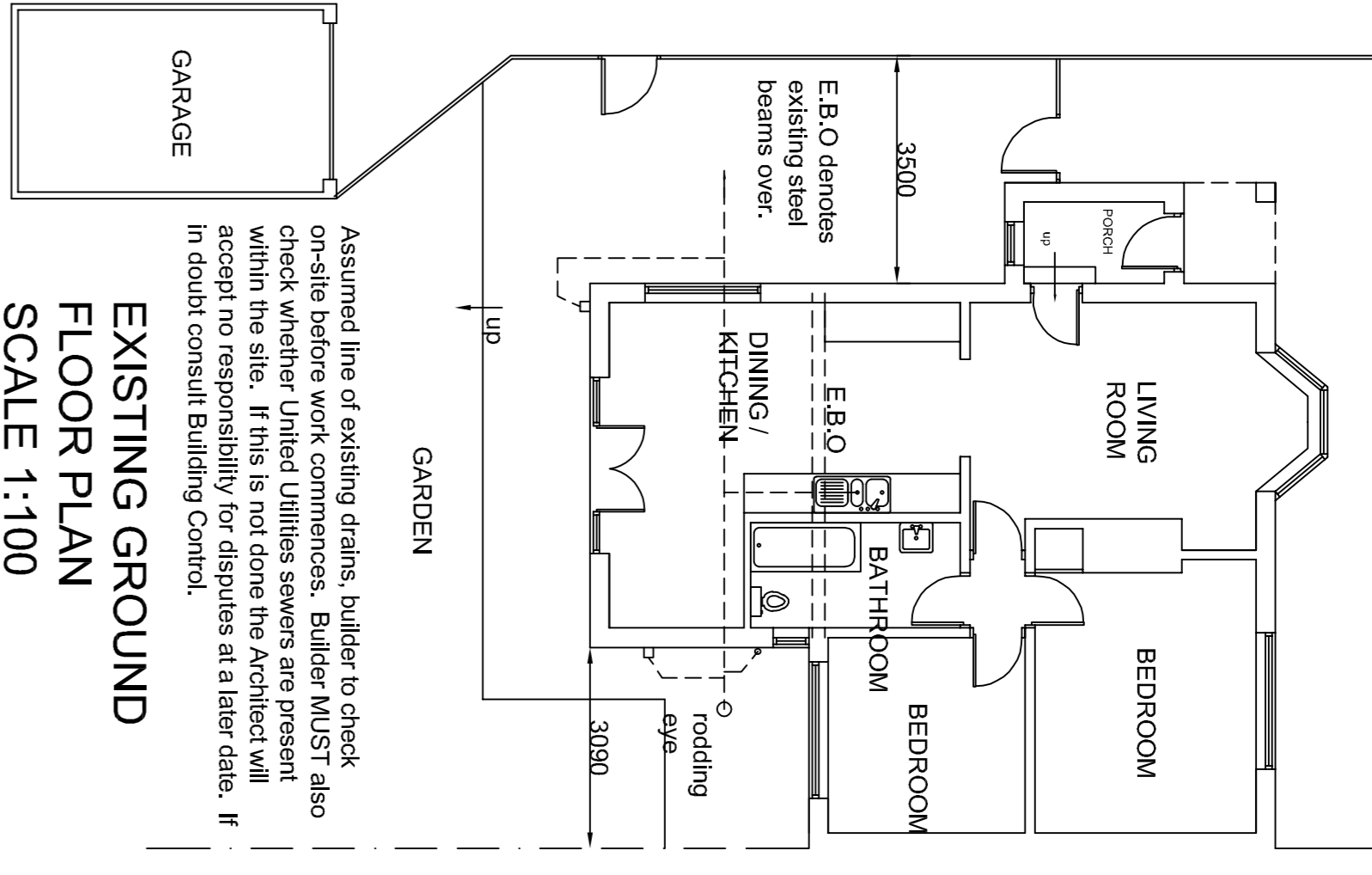
Remove existing wall and fit new 203 x 102 x 23 UB steel beam over to support existing rafters and new flat roof joists. Steel beam sat on 430 x 100 x 215 deep solid 7W/m2 concrete blocks as padstones.

Brick up existing bathroom window in cavity construction to match existing, plaster both sides. Box in existing soil and vent pipe and all pipework. Infill with fibreglass and create rodding access.

Client MUST enter into an agreement with adjacent owner under the requirements of the Party Wall Act 1996. If this is not done the Architect will not be held responsible for any disputes at a later date.

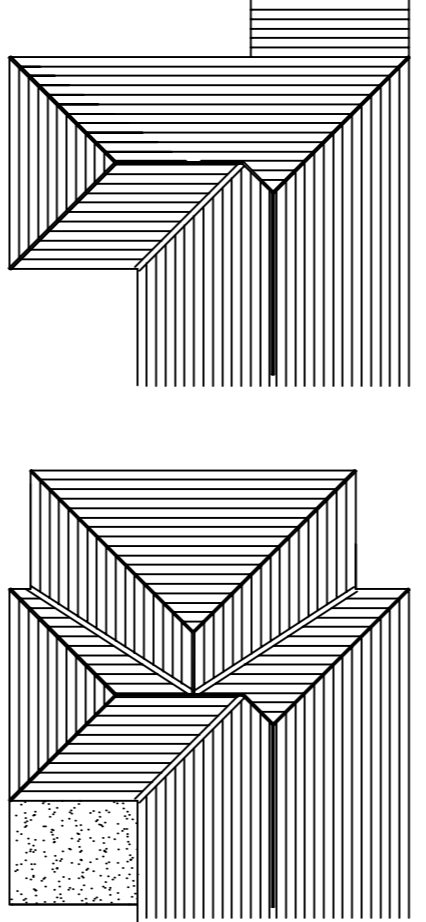
Fit new power points and lights to suit client. Fit all low energy high efficiency light fittings. Should downlights be used these should be fire and acoustically protected. Fit new radiators with thermostatic valves. Size and position to suit Gas Safe registered Heating Engineer and Client, all run of existing system. Heating Engineer to check whether existing boiler is suitable to run new radiators. If not replace boiler. For any other information refer to Domestic Heating Compliance Guide (Part 35/39 Inc.)

PROPOSED GROUND FLOOR PLAN SCALE 1:50



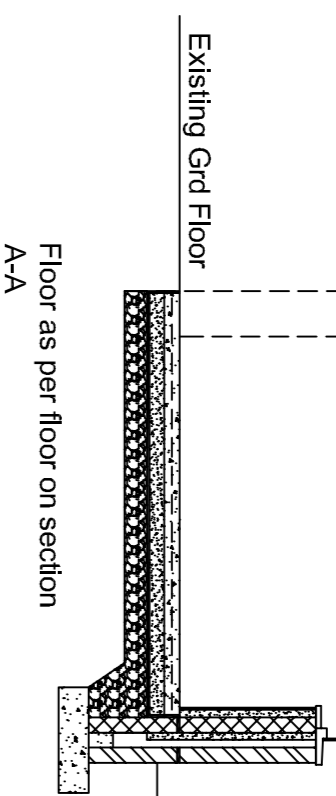
Assumed line of existing drains, builder to check on-site before work commences. Builder MUST also check whether United Utilities sewers are present within the site. If this is not done the Architect will accept no responsibility for disputes at a later date. In doubt consult Building Control.

EXISTING GROUND FLOOR PLAN SCALE 1:100



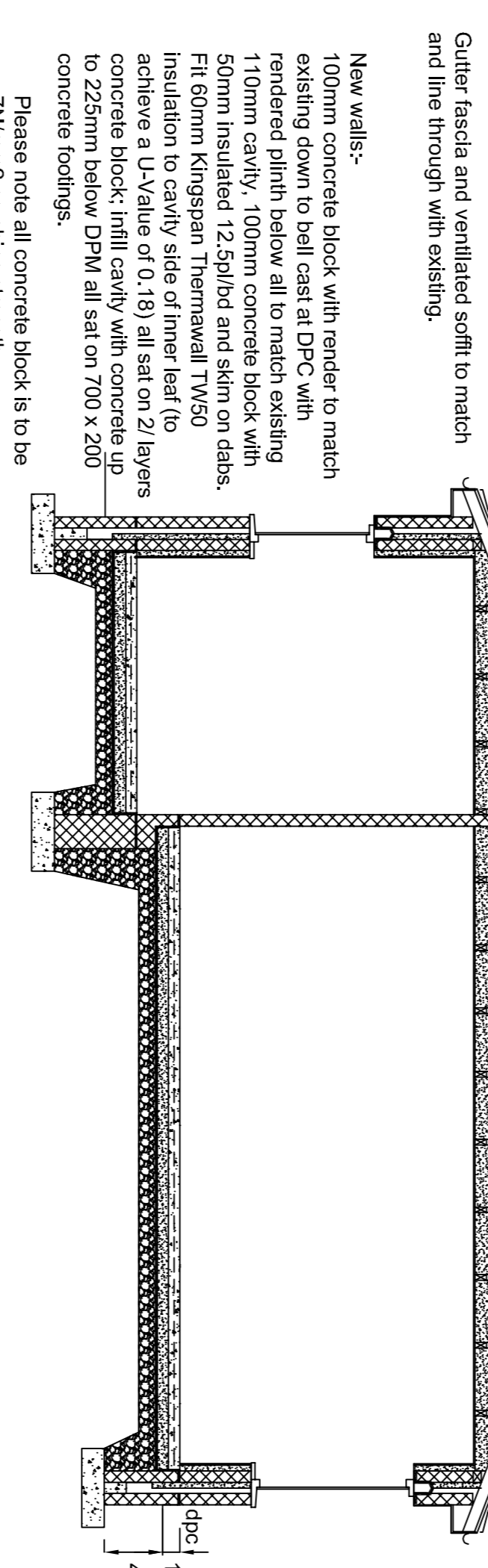
EXISTING ROOF PLAN SCALE 1:200
PROPOSED ROOF PLAN SCALE 1:200

Flat roof:-
2/ layers torch on membrane supplied and fixed by specialist roofing contractor. Membranes on 18mm exterior plywood on framing pieces on 150 x 50 joists at 400mm centres. Joists set in joist hangers fixed to timber bolted into web of steel beam. Fix 50mm insulated gpld and skim ceiling with 100mm Kingspan Koolltherm K7 insulation laid between joists. This construction will achieve a U-Value of 0.15W/m2K



PROPOSED SECTION B-B SCALE 1:50

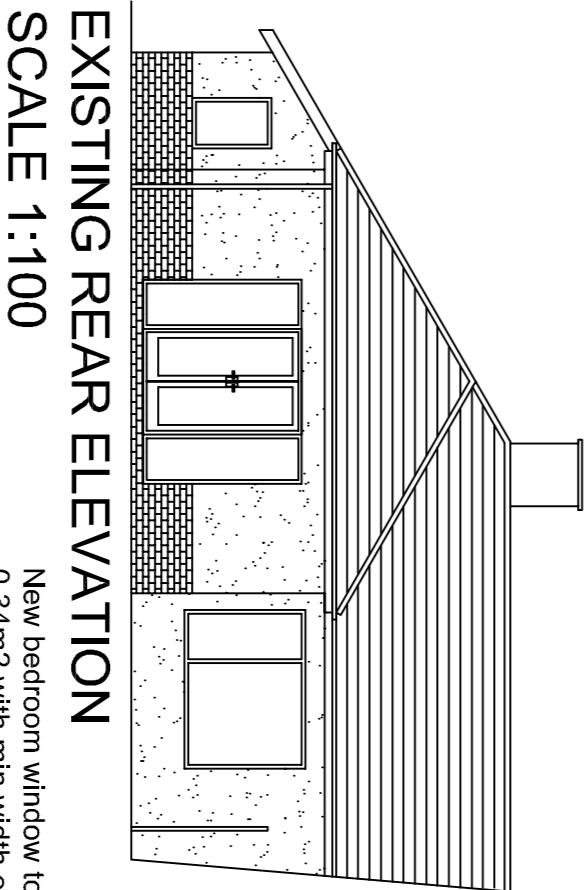
Roof:-
Terracotta concrete tiles to match existing. Builder must check that the tile chosen will work on reduced roof pitch (20° approx). If tile is not suitable then builder to choose a tile that is as close as possible to the terracotta tile, that will work on roof slope and that the client and Local Authority are agreeable with. Headlap and fixing to suit manufacturers specification. Tiles on tanalised timber battens on breathable felt on gung nailed trusses at 600mm centres. Trusses and bracing to be in accordance with manufacturers specification and BS 5268 Part 3, 1985 and BS 6399 Part 3, 1998. Trusses fixed securely to timber wallplates. Trusses to be designed, manufactured and installed by specialist contractor. Roof slope approx 20°. Ceilings - 12.5gpld and skim fixed to underside of trusses. Lay 150mm fibreglass between bottom tie of trusses, with a further 150mm fibreglass laid across. This construction will achieve a U-Value of 0.15W/m2K



PROPOSED SECTION A-A SCALE 1:50

Please note that footings are susceptible to change once excavation works begin and ground conditions are determined on-site. All to suit Local Authorities Building Control Officer. If foundations need to be changed, contact architectural designer.

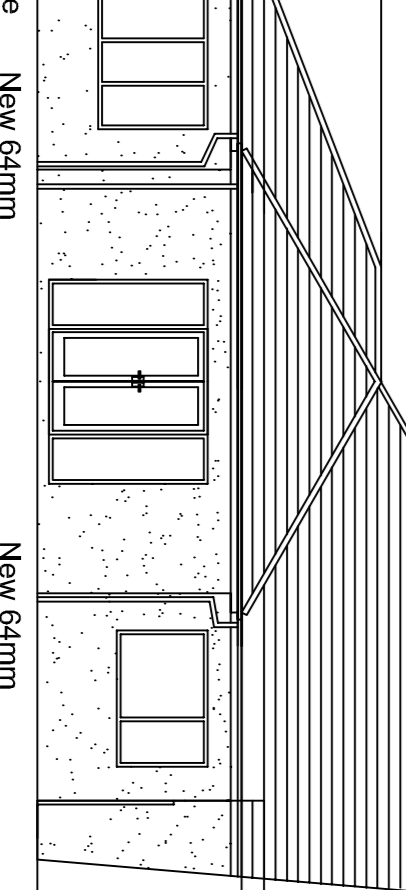
New floor to porch and lounge:-
100mm fibre reinforced cement screed with one layer A252 mesh in middle on 500g polythene on 100mm Kingspan Koolltherm K3 insulation on 1200g Visqueen on sand blinding on 150mm hardcore. Fit 25mm polysyrene between new concrete slab and external walls. New floor to line through with existing porch floor
200 concrete footing.



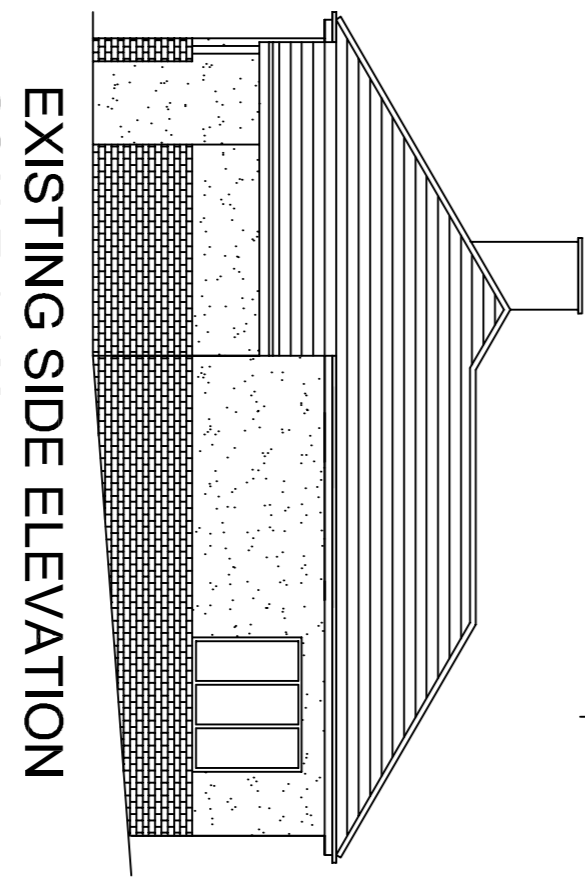
EXISTING REAR ELEVATION SCALE 1:100

New bedroom window to be escape type window with side hung O.L min 0.34m2 with min width or height of 450mm. Height to bottom of O.L from floor should be 1100mm max. Should window locks be used they should be of a type where the key cannot be removed. Should easy clean hinges be used, please ensure that they can be opened beyond 90° for effective escape.

Run felt up under slates on both roofs
Flash existing soil pipe up through new roof and box in inside extension

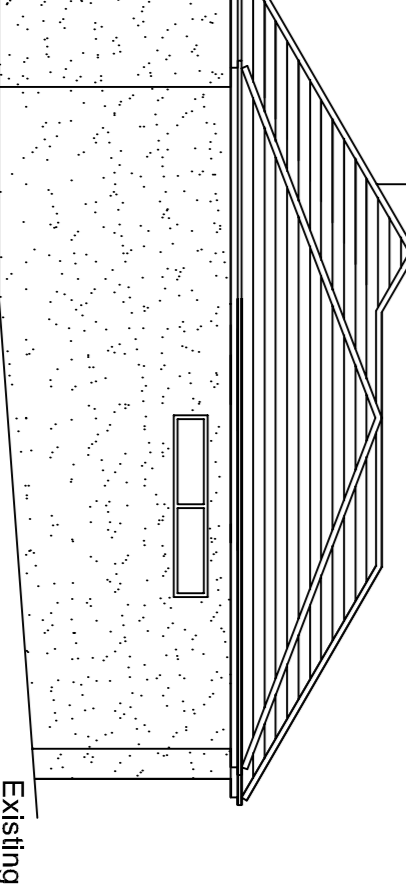


PROPOSED REAR ELEVATION SCALE 1:100

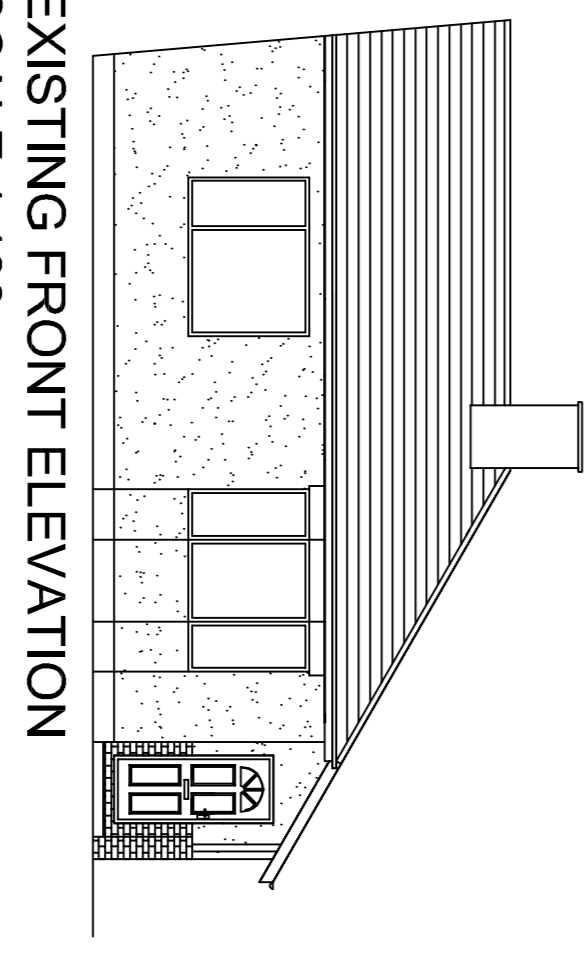


EXISTING SIDE ELEVATION SCALE 1:100

Lead lined valley's between new roof and existing roof. Fit fitting fillets under tiles. Lead flashed over tilting fillet and up under tiles. All on diminishing trusses fixed to 12.5 exterior plywood fixed to existing and new russes.

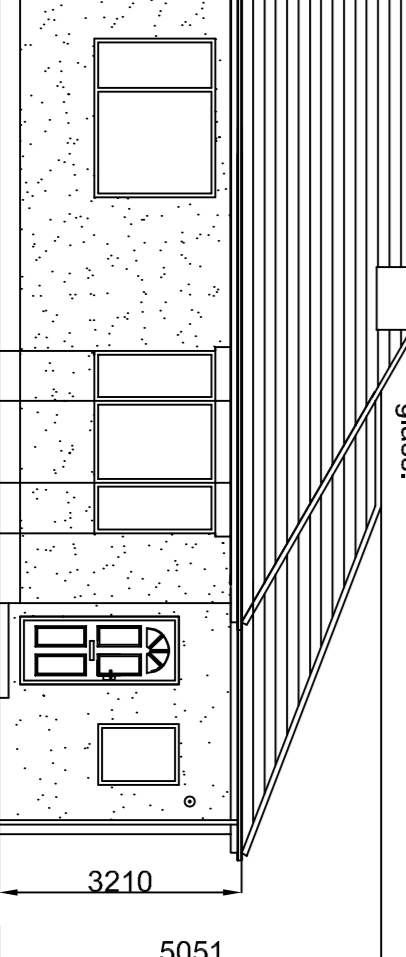


PROPOSED SIDE ELEVATION SCALE 1:100



EXISTING FRONT ELEVATION SCALE 1:100

Exact size, position and design of all new windows and doors to be decided on-site to suit client and builder. Fit insulated G lintels over all new door and window openings. New doors glazed in toughened safety glass.



PROPOSED FRONT ELEVATION SCALE 1:100

NOTES

Client must be fully satisfied that the land to be built on is within full ownership and control and that no legal covenants, agreements or restrictions, easements or way leaves etc., exist which could adversely or otherwise affect the proposed development and associated works (including rights of service and drainage connections and modifications etc.). The client's solicitors should most likely be able to research these issues. Client / Client's solicitors, prior to commencement of works on-site.
Client to be responsible for preparing an agreement with adjacent owner under the requirements of the Party Wall Act 1996. This can be prepared via a consultation with the Client's Legal Representative.
Client to get approval for the works to be carried out from the original house builder and N.H.C before work commences.
All work must be carried out to total satisfaction of Local Authority Building Control Department, and must comply with all current Building Regulations and relevant Codes of Practice
All workmanship and materials must comply with current Building Regulations, British Standards and Codes of Practice etc... All materials must be fixed, applied or fixed in accordance with the manufacturers instructions or detailed specifications.
Building Control Officer from Local Authority to inspect existing ground conditions to determine foundation type and design if different from those stated on the drawing.
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REVISIONS
Rev C: Brick plinth replaced with render Mar 2024
Rev B: - Sizes of extensions reduced to fit within curtilage Mar 2023
RevA: Main roof finish altered Jan 2023

PROJECT
Proposed single storey extensions
21 Norfolk Avenue,
Burnley

DRAWING TITLE
Existing and proposed plans, elevations sections and notes

DRAWING NUMBER
N/A 21 / 1C

SCALE
1:50, 1:100

DRAWN BY
L.F

DATE
JAN 2023