

General Notes

1. Do Not scale from this drawing
2. This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
3. The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
4. All dimensions to be checked on site prior to fabrication or erection
5. Contractor to take exact measurements on the proposed roof to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height.
6. Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
7. No work to be begun until the appropriate approvals (i.e. Building warrant and planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment. Councils stamped drawings should be used during construction.
8. Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services. i.e. gas, water etc.
9. Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains & sewers
10. Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals
11. For Additional information see www.cafdesigns.co.uk
12. All dismantling and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974
13. All works to Building (Scotland) Act 2004 and Building (Scotland) Regulations 2021
14. Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
15. If in Doubt Ask

STAIR DETAILS :-

External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Ground Floor F.F.L = 550mm approx.

Total Number of Rises = 4

- Rise = 137.5mm
- Going = 300mm
- Pitch 24.62°

Drawing to be read in conjunction with Drawings 002-22.001 & 003. Drawing for Planning & Building Warrant purposes.

STAIR DETAILS :-

External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Ground Floor F.F.L = 615mm approx.

Total Number of Rises = 4

- Rise = 153.75mm (max 170mm)
- Going = 300mm
- Pitch 27.1°

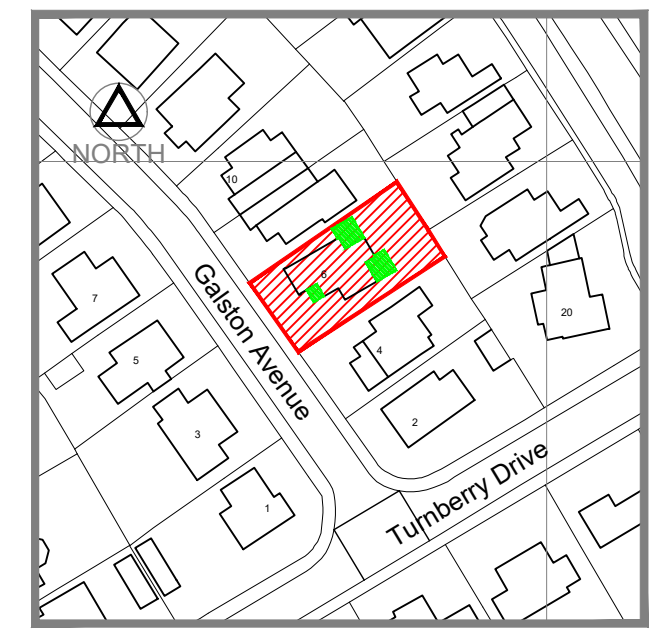
Steps greater than 600mm from Ground Level to F.F.L. :-

- 2No. handrails to dwelling fixed at 900mm A.F.F.L. vertically above the pitch line to comply with 4.3.18 of the BR 2004
- The 1100mm high balustrade will not have any openings greater than 99mm to comply with 4.4.2 of the BR 2004
- Handrails to be installed by contractor to ensure its capable of resisting loads calculated in accordance with BS6399:Part 1:1996
- The protective barriers to the external steps should not allow the through passage of a 100mm diameter sphere
- Protective barriers should be capable of resisting loads calculated in accordance with BS EN 1991-1-1 and associated PD 6688-1-1

- Legend**
- Proposed Electrical lighting circuit
 - 2-Way Light Switch
 - Light Switch
 - Pendant Light Fitting with Ceiling Rose
 - Recessed Spotlight
 - Smoke detectors - wired to mains electrical supply, positioned min 300mm from light fittings and adjacent walls provided with battery backup
 - Hot water radiator connected to existing hot water system c/w TRV's
 - Heat Detector
 - Carbon Monoxide Detector
 - Double 13A Socket
 - Single 13A Socket
 - Low Level
 - High Level
 - Existing Drainage
 - Proposed Drainage Run
 - Rain Water Pipe
 - Soil Vent Pipe
 - Rodding Eye
 - Tv Aerial Socket
 - Gas Meter
 - Electric Meter and Distribution Board

SITE NATIONAL GRID REFERENCE

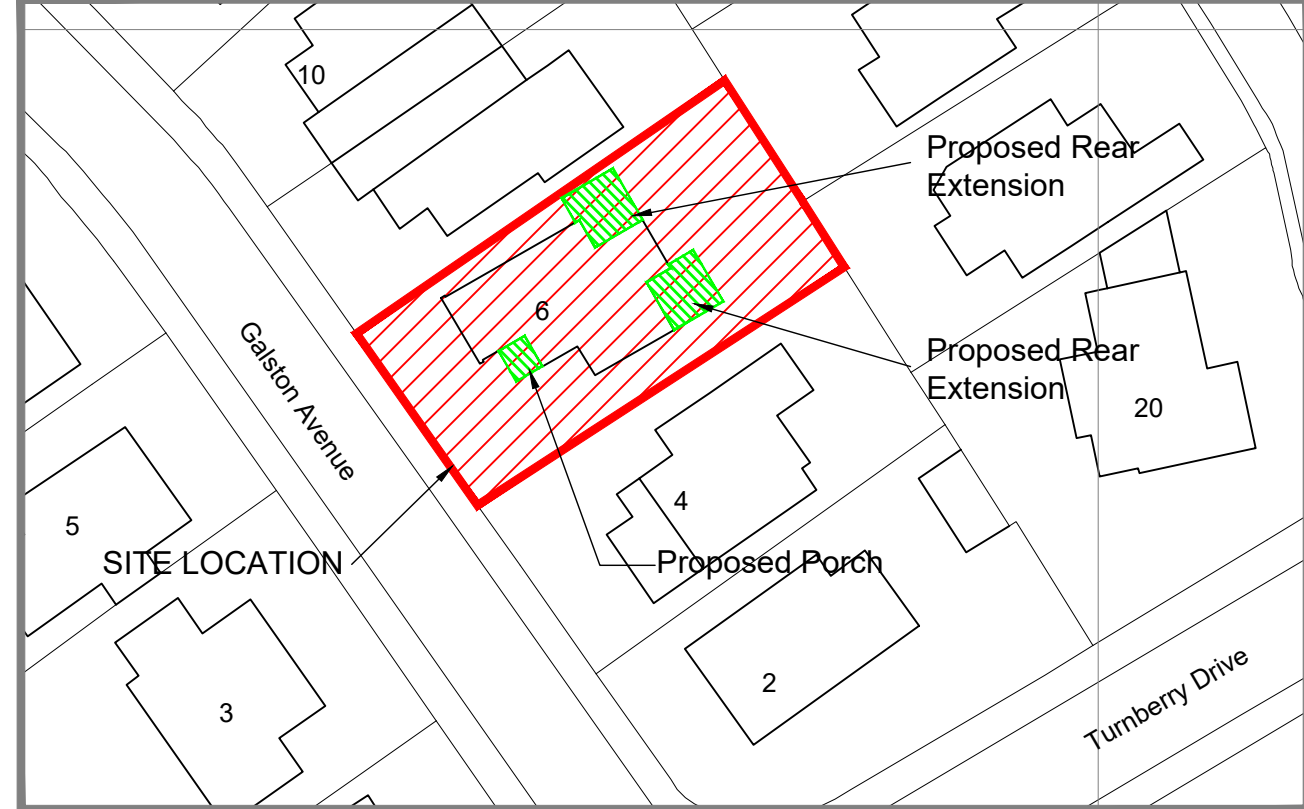
NS255365E, 656182N



EXISTING PHOTOGRAPHS

SITE LOCATION PLAN

1:1250
6 Galston Avenue
Newton Mearns G77 5SF

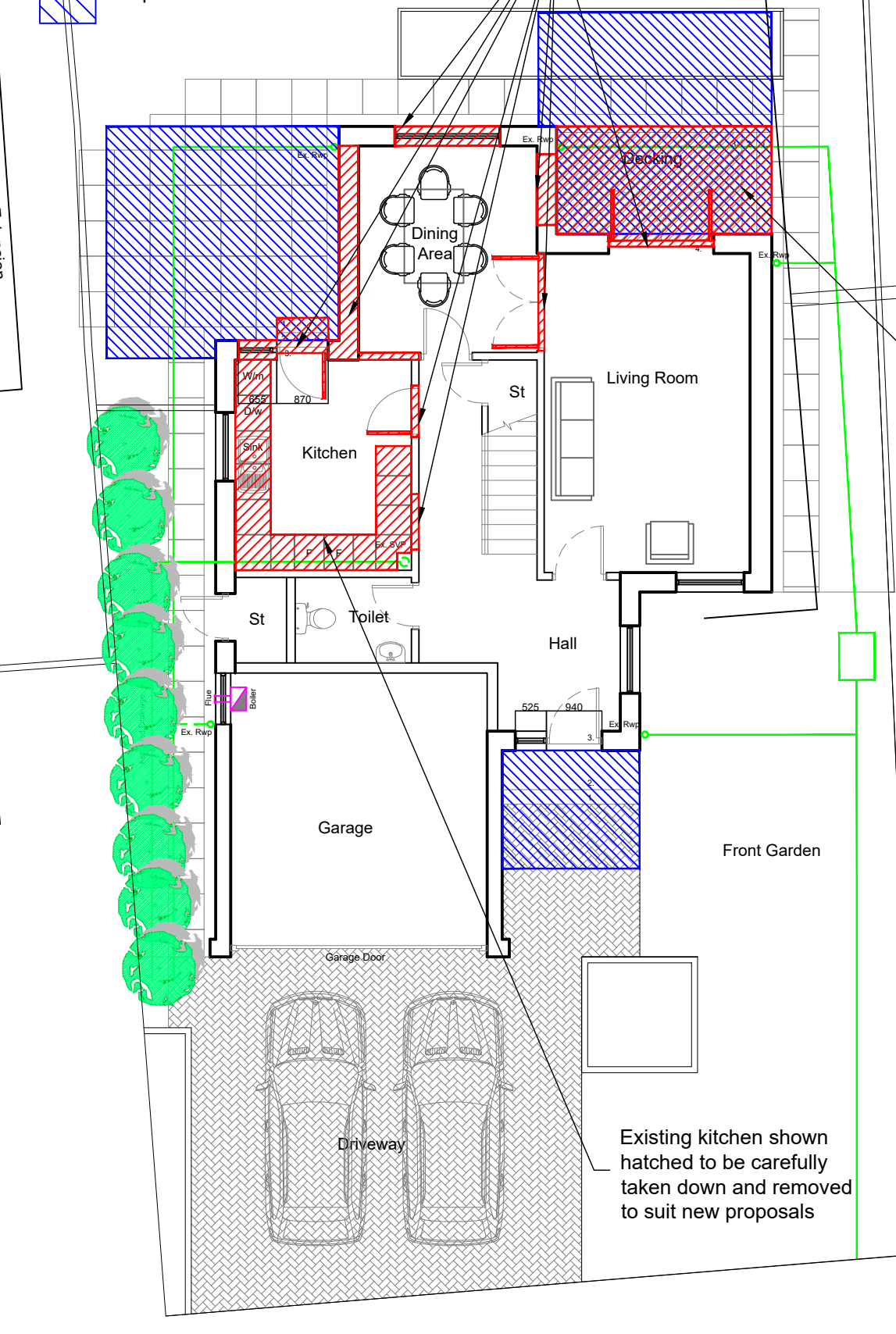


SITE PLAN
1:500

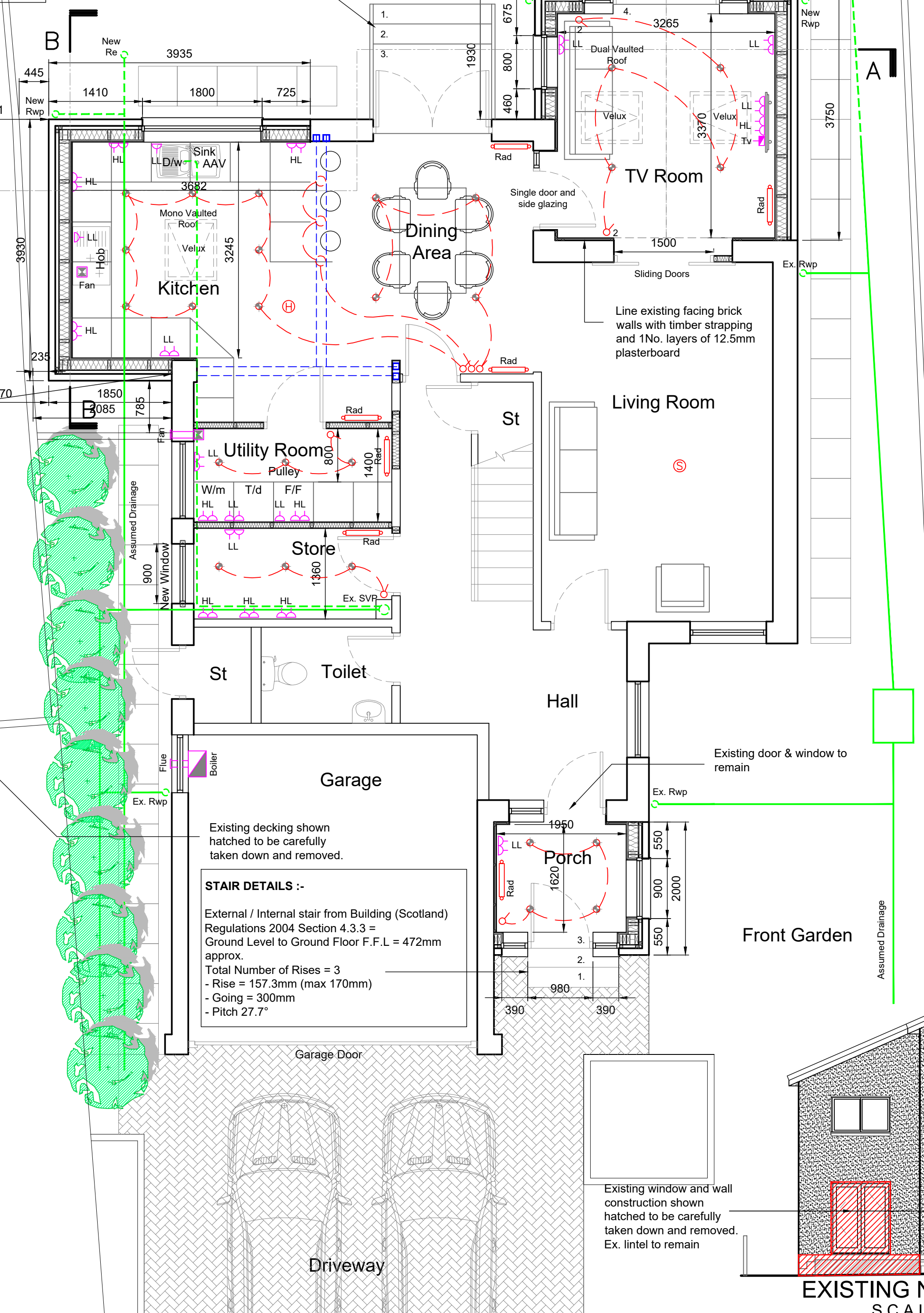
1. Total Approx. area of existing dwelling and gardens = 417sqm
2. Approx. ground floor area of Dwelling = 96sqm
3. Proposed Living Room Extension 14.2sqm
4. Proposed Kitchen Extension 14.8sqm
5. Proposed Porch 4.6sqm

Existing windows, door and wall construction shown hatched to be carefully taken down and removed. See Engineers drgs for details

- Proposed Downtakings
- Proposed Extensions



EX. GROUND FLOOR PLAN
SCALE 1:100



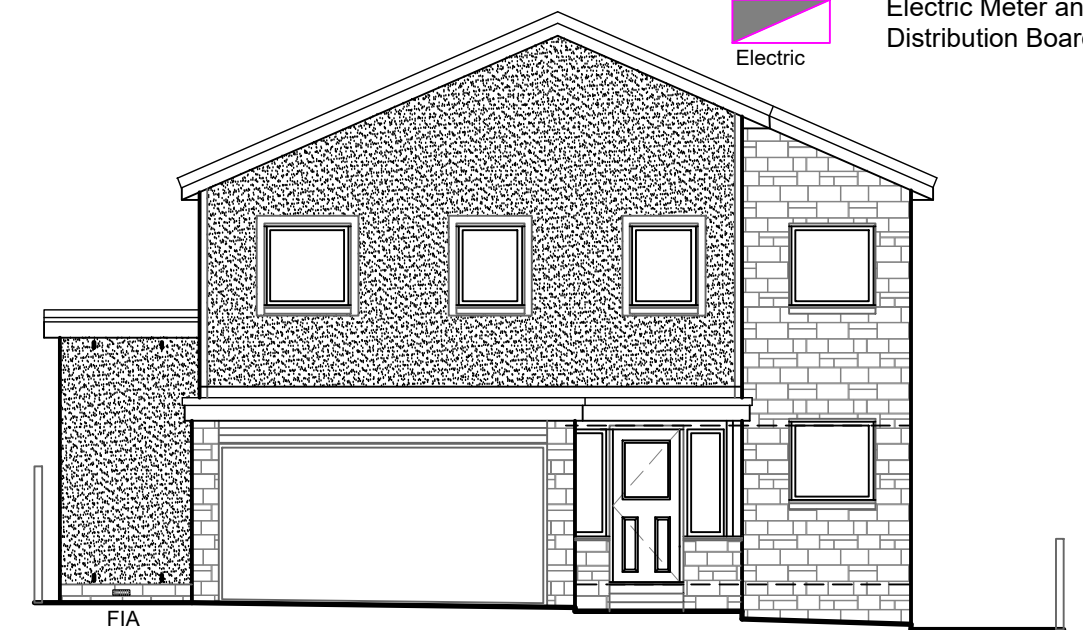
PROPOSED GROUND FLOOR PLAN
SCALE 1:50

STAIR DETAILS :-

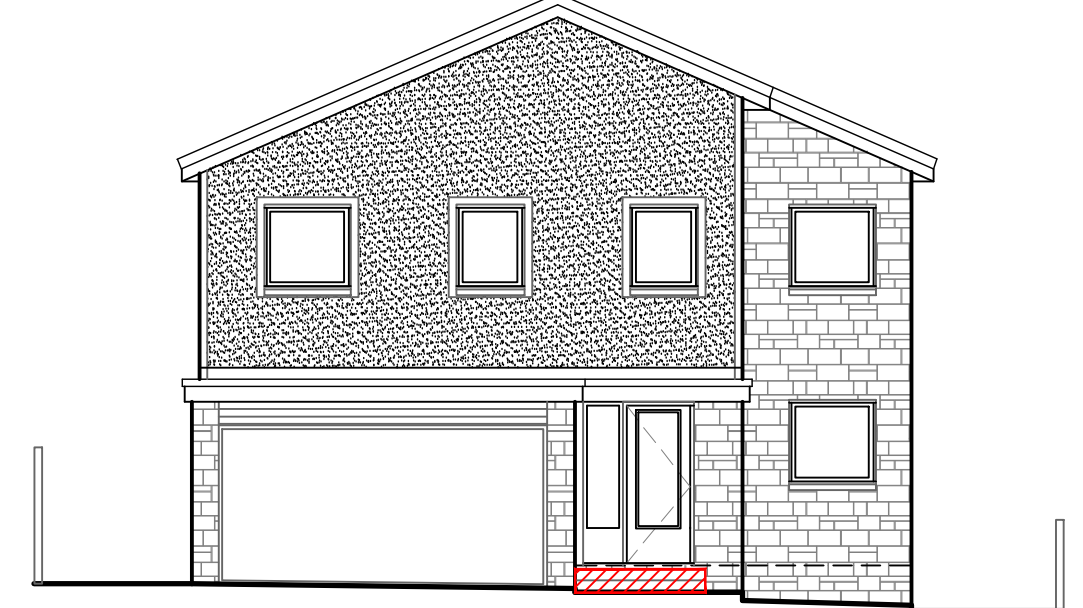
External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Ground Floor F.F.L = 472mm approx.

Total Number of Rises = 3

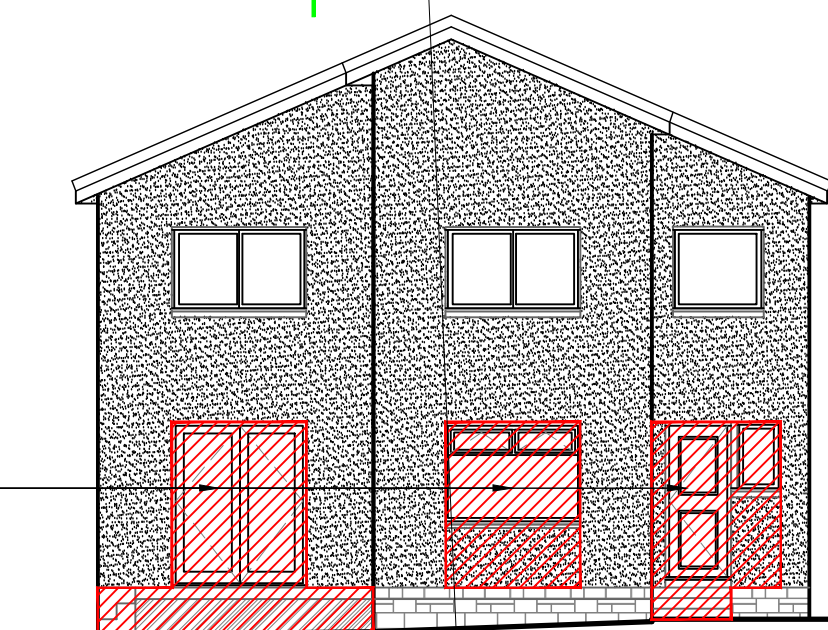
- Rise = 157.3mm (max 170mm)
- Going = 300mm
- Pitch 27.7°



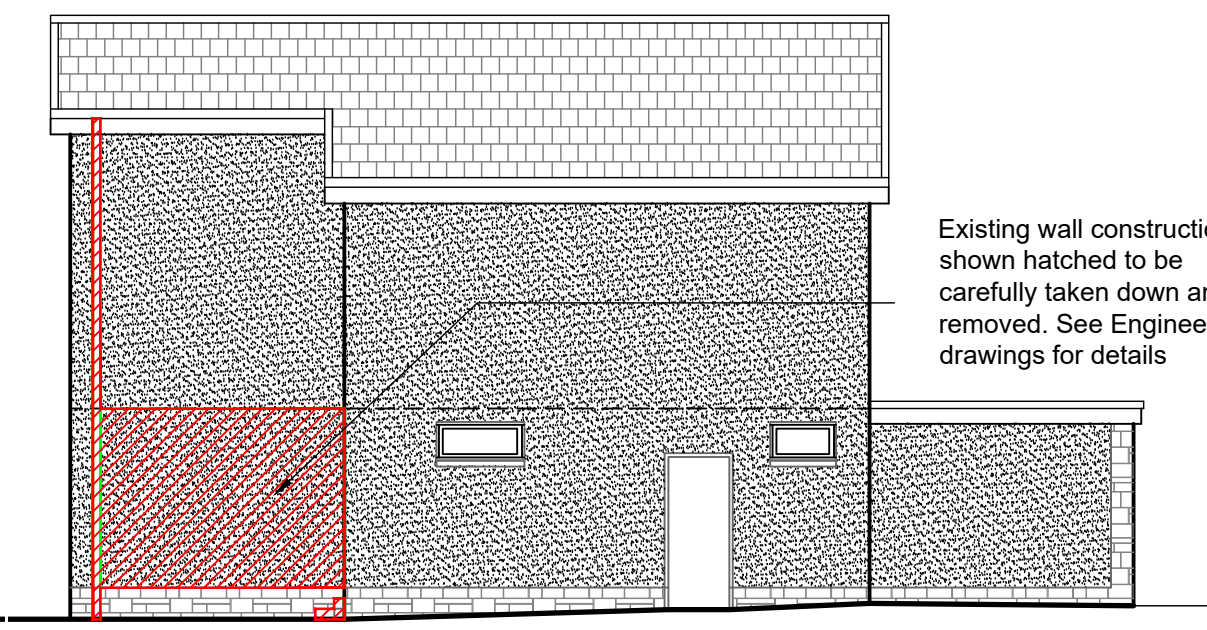
PROPOSED SW ELEVATION
SCALE 1:100



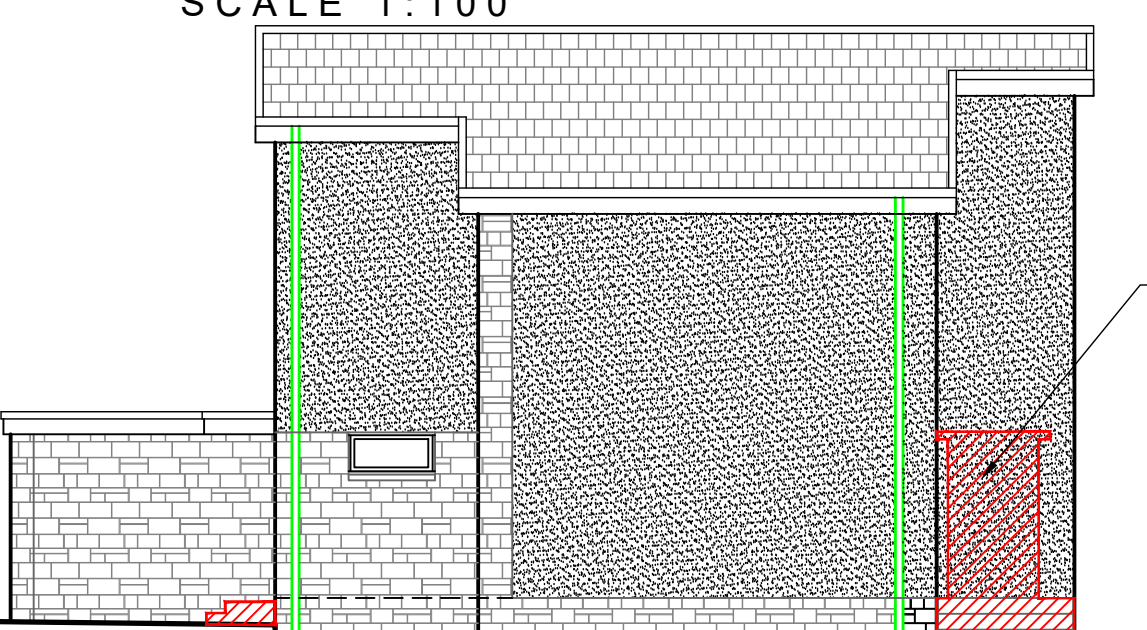
EXISTING SW ELEVATION SCALE 1:100



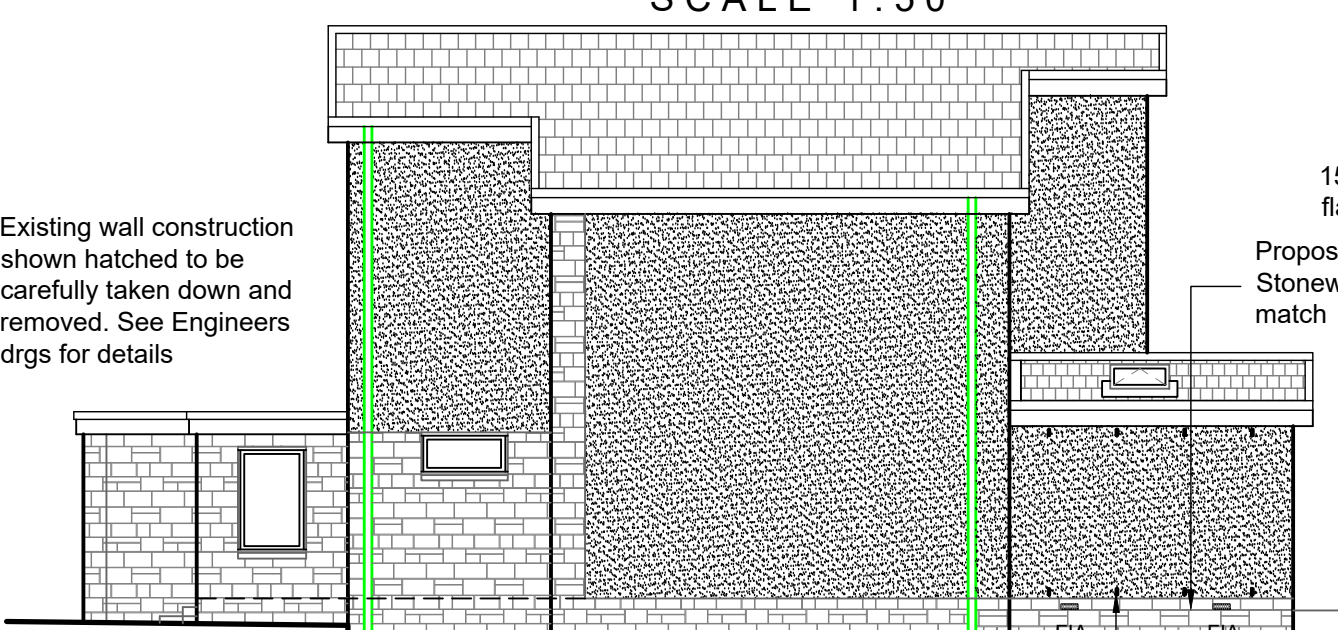
EXISTING NE ELEVATION
SCALE 1:100



EXISTING NW ELEVATION
SCALE 1:100



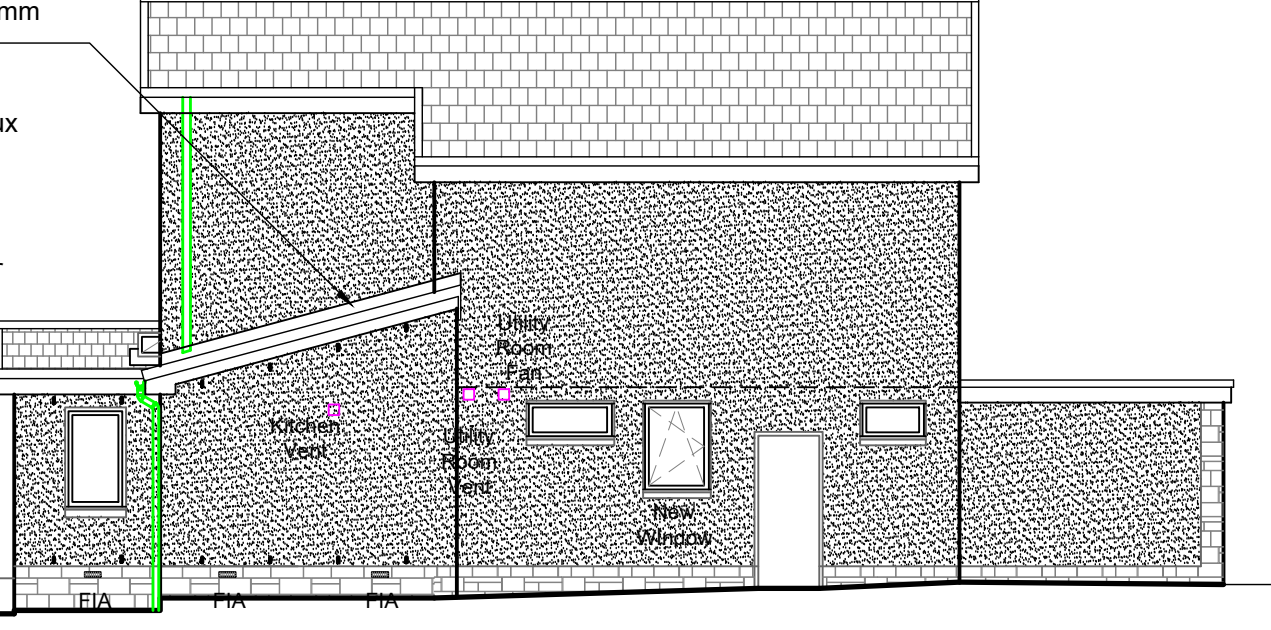
EXISTING SE ELEVATION
SCALE 1:100



PROPOSED SE ELEVATION
SCALE 1:100



PROPOSED NE ELEVATION
SCALE 1:100



PROPOSED NW ELEVATION
SCALE 1:100

Kitchen design to be confirmed by client

Contractor to ensure floor levels are even throughout.

All construction to be erected on Clients land. No construction to encroach onto Neighbouring land

Any Rodding Eyes affected and uncovered during construction works to be suitably protected and extended beyond the extension

Prior to the removal of any loadbearing or supporting walls the existing structure must be adequately propped and remain so until the alteration work is complete and cured

For all structural implications, detailing and specification see Structural Engineers designs and specifications

Rev	Description	Date
F	Planning	01/03/24

Client and Project Address
Mr & Mrs Manwai So
6 Galston Avenue
Newton Mearns G77 5SF

Drawing Title
Proposed Rear Extension
Existing Plans, Elevations & Location Plans

CAF
CAF DESIGNS
53 CALDERGLEN AVENUE
THE ELMS BLANTYRE
SOUTH LANARKSHIRE G72 9UP
TEL: +44(0)1698 825660 Mob: +44(0)774 780 3435
E-MAIL: craig@cafdesigns.co.uk www.cafdesigns.co.uk

PLANNING

Drawn by CAF	CAD Location C:\Drawings\002-22
Scale 1:50	Date Jan 22
	Paper Size A1

Drawing no. **002-22.001** **F**