

DESIGN & ACCESS STATEMENT

FOR THE PROPOSED REINSTATEMENT OF AN OUTBUILDING

AT

**FARMBUILDING RANGE APPROXIMATELY 25 METRES NORTH EAST OF MUNSLOW
FARMHOUSE
MUNSLOW
CRAVEN ARMS
SHROPSHIRE
SY7 9EY**

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CONTENTS

1.	INTRODUCTION	1
2.	USE	1
3.	DESCRIPTION OF THE PROPOSED DEVELOPMENT	2
4.	AMOUNT AND SCALE	3
5.	LAYOUT	3
6.	LANDSCAPING	4
7.	APPEARANCE	4
8.	PARKING AND ACCESS	5
	APPENDIX ONE – PHOTOGRAPHS OF THE SITE	6

1. INTRODUCTION

- 1.1 This report has been produced by Philip Plant of Mid West Planning Ltd and is based on the guidelines as set out in the CABE publication: 'Design and Access Statements: How to write, read and use them' 2006, and the National Planning Policy Framework and relevant planning practice guidance."
- 1.2 Philip Plant holds a Bachelor of Science with Honours Degree in Rural Enterprise and Land Management and is a member of the Royal Institution of Chartered Surveyors.
- 1.3 Philip Plant is the Managing Director of Mid West Planning Limited and is a former Senior Consultant at ADAS and Acorus Rural Property Services. Phil Plant has been the Managing Director of Mid West Planning Ltd since 2010 and he provides rural planning advice to both applicants and to Local Planning Authorities.
- 1.4 This report and Planning and Listed Building applications have been prepared following the instruction of Mrs Gibbins, the owner of Munslow farmhouse and farm buildings.
- 1.5 This statement has been written on behalf of the applicants, Mr and Mrs Gibbins who own 'Munslow Farmhouse' and the subject Munslow farm building range. This document is submitted as part of the planning application to obtain planning consent for the erection of a farm building to reinstate the layout of the farm building range.
- 1.6 This Design and Access Statement should be read in conjunction with the Planning Statement and Heritage Statement submitted.

2. USE

Location of Site and Background Information

- 2.1 The application site includes Munslow Farmhouse and a range of former agricultural buildings associated with Munslow Farmhouse.
- 2.2 The application site is located in the historic village of Munslow in the Parish of Munslow to the north west side of the Corve Dale, approximately 11km north east of Craven Arms.
- 2.3 The application site is occupied by Munslow Farmhouse and a farm building range approximately 25m north east of the farmhouse. To the south of the farmhouse is another farm building and the access from the B4368 runs along the southern boundary of the property.
- 2.4 Munslow Farmhouse is Grade II listed and the farm building range to the north east is also Grade II listed in its own right.
- 2.5 The application site is located within the Munslow Conservation Area.
- 2.6 Munslow Farmhouse is owned and occupied by the applicants as a residential dwelling. The outbuilding range is used as domestic storage space by the applicants. Conversion of outbuilding to form one residential dwelling to include erection of single storey extension; change of use of land to domestic curtilage

and installation of sewage treatment plant; removal of trees was granted planning and listed building consent in 2020. (Ref. Nos: 20/05018/FUL and 20/05019/LBC

Proposed Use

- 2.7 The proposed outbuilding would be used for domestic storage.

3. DESCRIPTION OF THE PROPOSED DEVELOPMENT

The Development Proposed

- 3.1 This application proposes the erection of an outbuilding to reinstate the original layout and character of the farm building range. It is understood that the original cattle shed barn was taken down due to health and safety concerns by the previous owner. Planning was granted in 2020 to erect a new boundary wall at the site of the former cattle shed. The purpose of the wall was to re-establish the enclosure formed by the original cattle shed. This consent has not been implemented. Plates one and two below demonstrate the 'gap' between the buildings where the cattle shed once stood. Appendix one contains photographs of the cattle shed that was taken down, submitted with the previous application by Trevor Hewitt.
- 3.2 The proposed outbuilding has been designed to replicate the traditional appearance and building techniques of the open bayed section of the original cattle shed. The outbuilding would feature timber shiplap cladding to match the existing cladding of adjacent building; an oak truss to match existing adjacent building; a traditional cut timber roof; a dwarf wall to match existing flanking stone walls.
- 3.3 Proposed Layout of Site
The site plan below shows the location of the Munslow farmhouse and the subject farm building range.

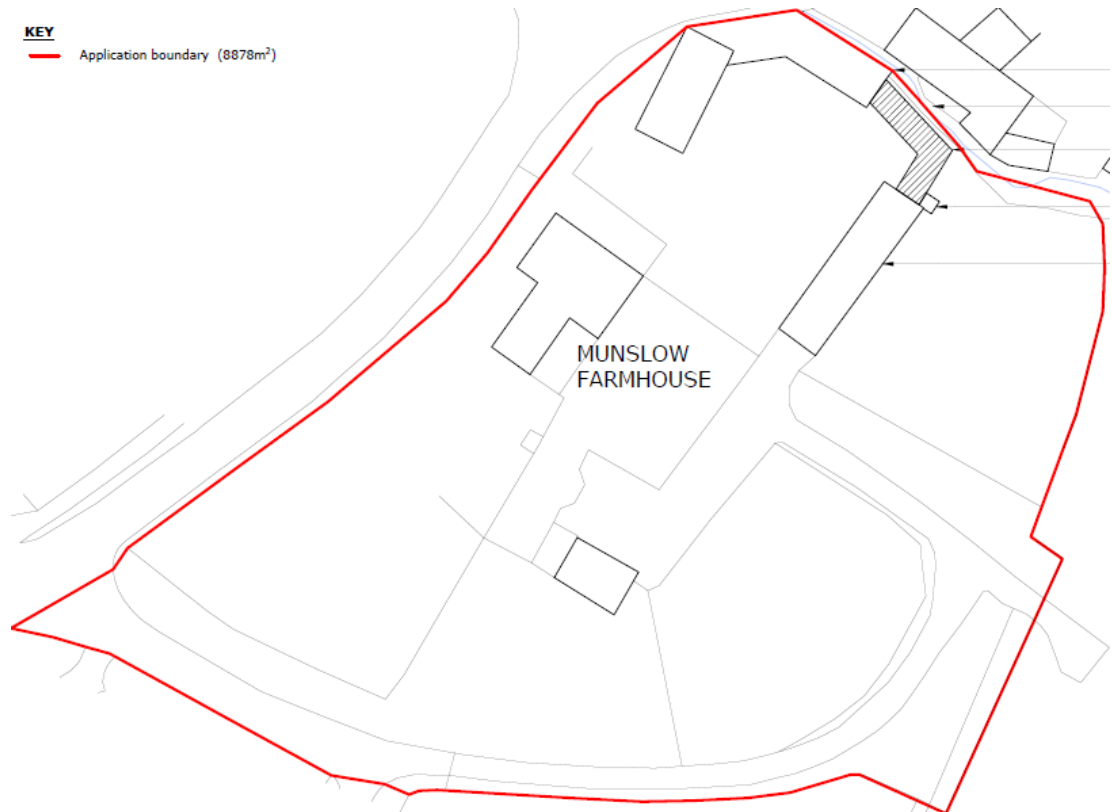


Figure One: Plan showing the layout and extent of the application site.

4. AMOUNT & SCALE

- 4.1 The proposed single-storey outbuilding would be an inverted 'L'-shape at around 13.1m long on its longest section and around 6.5m long on the shortest section by approximately 3.4m wide.
- 4.2 The footprint of the proposed outbuilding would be approximately 66.45m²
- 4.3 The proposed outbuilding has been designed to occupy the same footprint as the original barn.
- 4.4 The outbuilding would be constructed with an oak trussed roof and frame with a dual pitched roof clad in reclaimed hand-made clay tiles to match the existing barns the outbuilding would measure 4.2m to the ridge.

5. LAYOUT

- 5.1 The layout of the site is set out in the site plan depicted at Figure One above. This shows the relationship between the proposed building and the existing farm building range and the host dwelling Munslow Farmhouse.
- 5.2 The proposed development would reinstate the U-shape of the original farm range by filling in the gap that was left by the removal of the open-bayed section of the historic cattle shed.

6. LANDSCAPING

- 6.1 Landscaping has not been proposed at this stage. The fold yard would have traditionally been an open space and landscaping is not considered appropriate.

7. APPEARANCE

- 7.1 Figures two and three below show the principal elevations of the existing farm building range. The proposed outbuilding will occupy the space that now exists since the dilapidated open bays of the cattle shed were taken down.

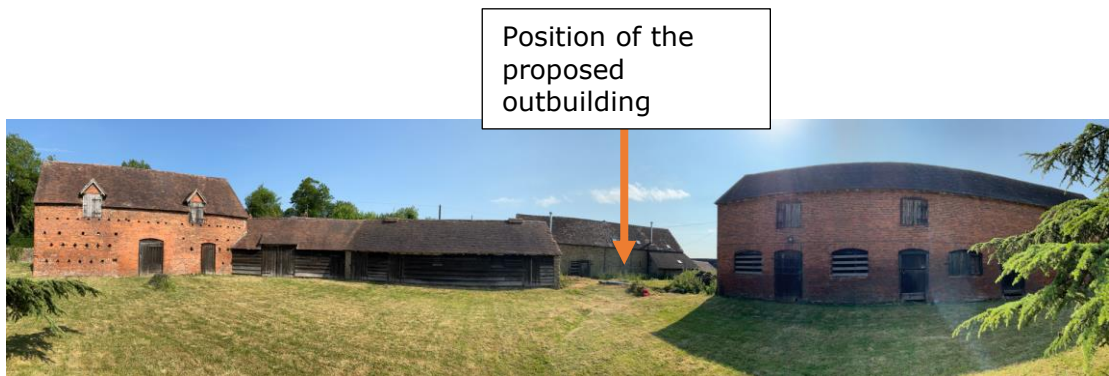
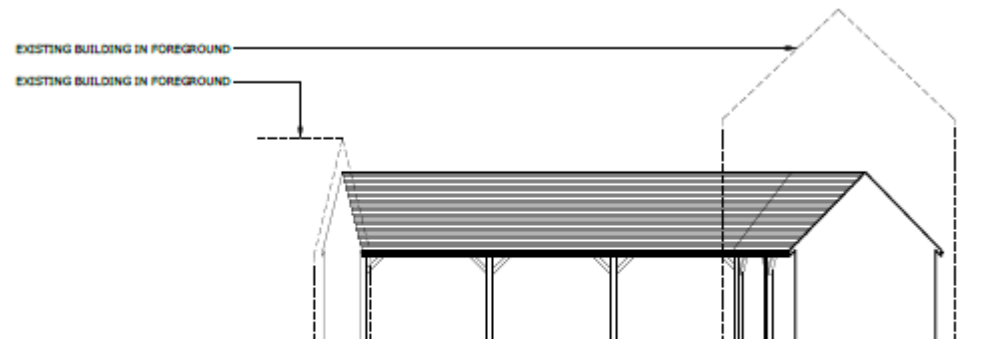


Plate One:- Panoramic view of the farmbuilding range at Munslow Farmhouse.



02 SOUTH EAST ELEVATION (FACING COURTYARD)
PL03 1:100

Figure Two: Proposed appearance of – South East elevation

- 7.2 The outbuilding would feature timber shiplap cladding to match the existing cladding of adjacent building; an oak truss to match existing adjacent building; a traditional cut timber roof; a dwarf wall to match existing flanking stone walls. The conservation officer has agreed that the following is acceptable for the mortar for the stone wall part of the structure:

1 Part Lime
1 Part Sharp sand

1 Part Soft Sand
"Hot Mix". The above is on a bucket basis



Plate Two: - Stonework sample panel depicting the stonework proposed.

- 7.3 The rear elevation nearest the stream, would feature a dwarf stone wall and horizontally fixed timber cladding above. Much of the stone required remains on site from the demolition of the old building and will be supplemented with similar stone where required.
- 7.4 The front elevation facing the former fold yard would feature open bays with visible oak frame posts and braces.
- 7.5 The reinstated outbuilding would continue to be subservient to the two flanking outbuildings as the original building was.

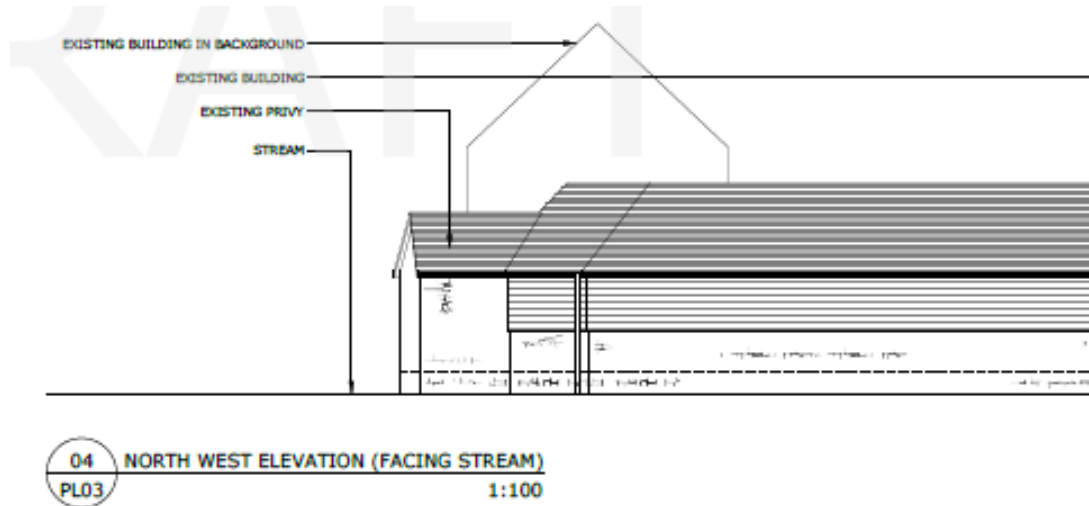


Figure Three: Proposed appearance of - North West Elevation

8. PARKING AND ACCESS

- 8.1 Access to the application site will use the existing access to Munslow Farmhouse.
- 8.2 The proposals will not affect the access or existing parking provision at the site.

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APPENDIX ONE

8.0 Photographs

