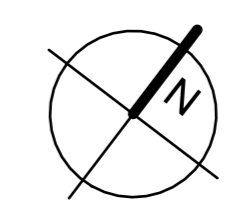
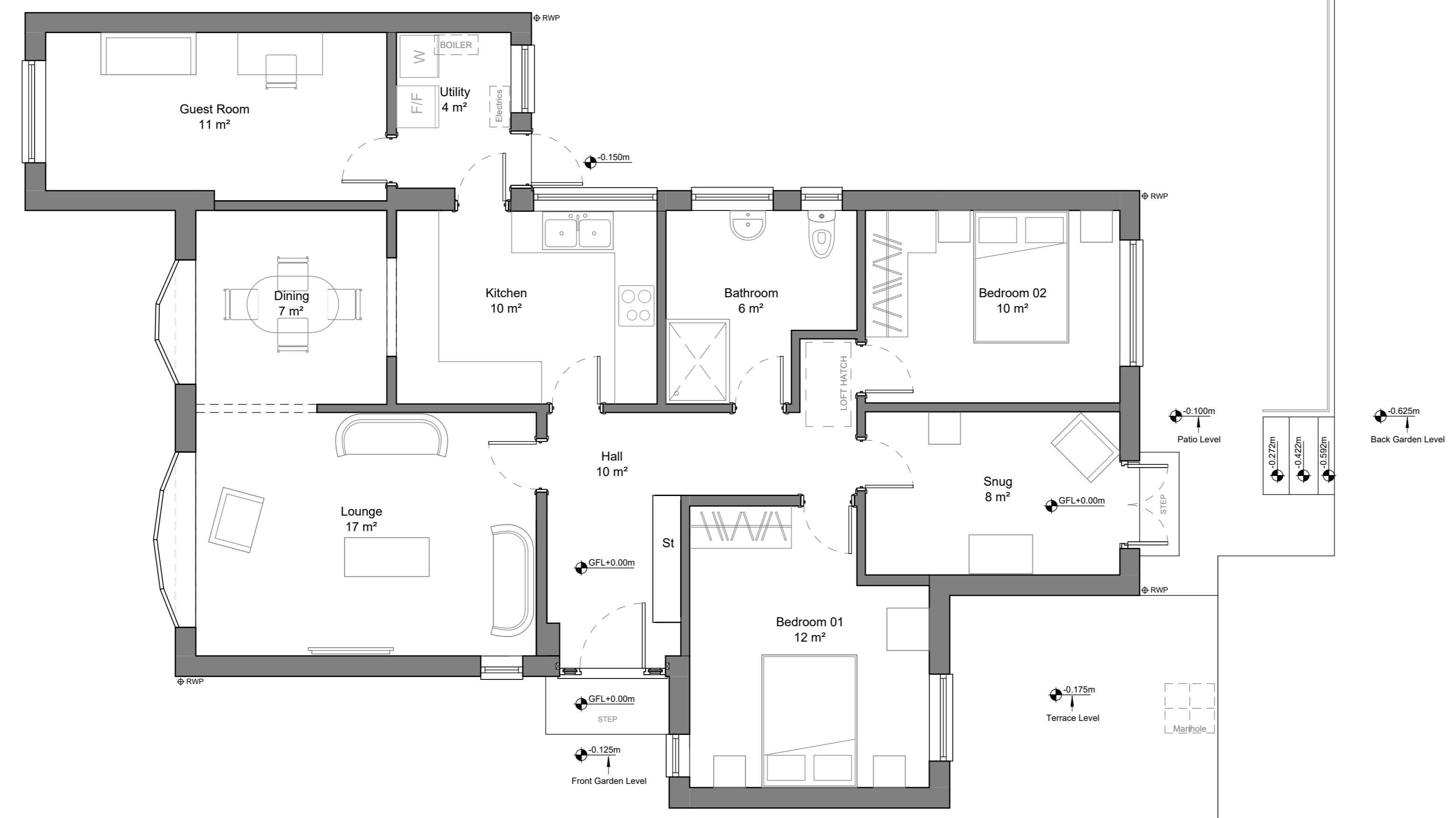


**GENERAL NOTES**  
 This drawing must not be scaled.  
 All dimensions should be checked on site.  
 Any discrepancies that become apparent, should be reported to Cohesiva Design.  
 Areas indicated are approximate and they relate to the likely areas of the building at the current stage of design. Any decisions to be made on the basis of these predictions, should include due allowance for the increases and decreases inherent in the design, development and building process.  
 Drawing to be read in conjunction with all other consultant's drawings.

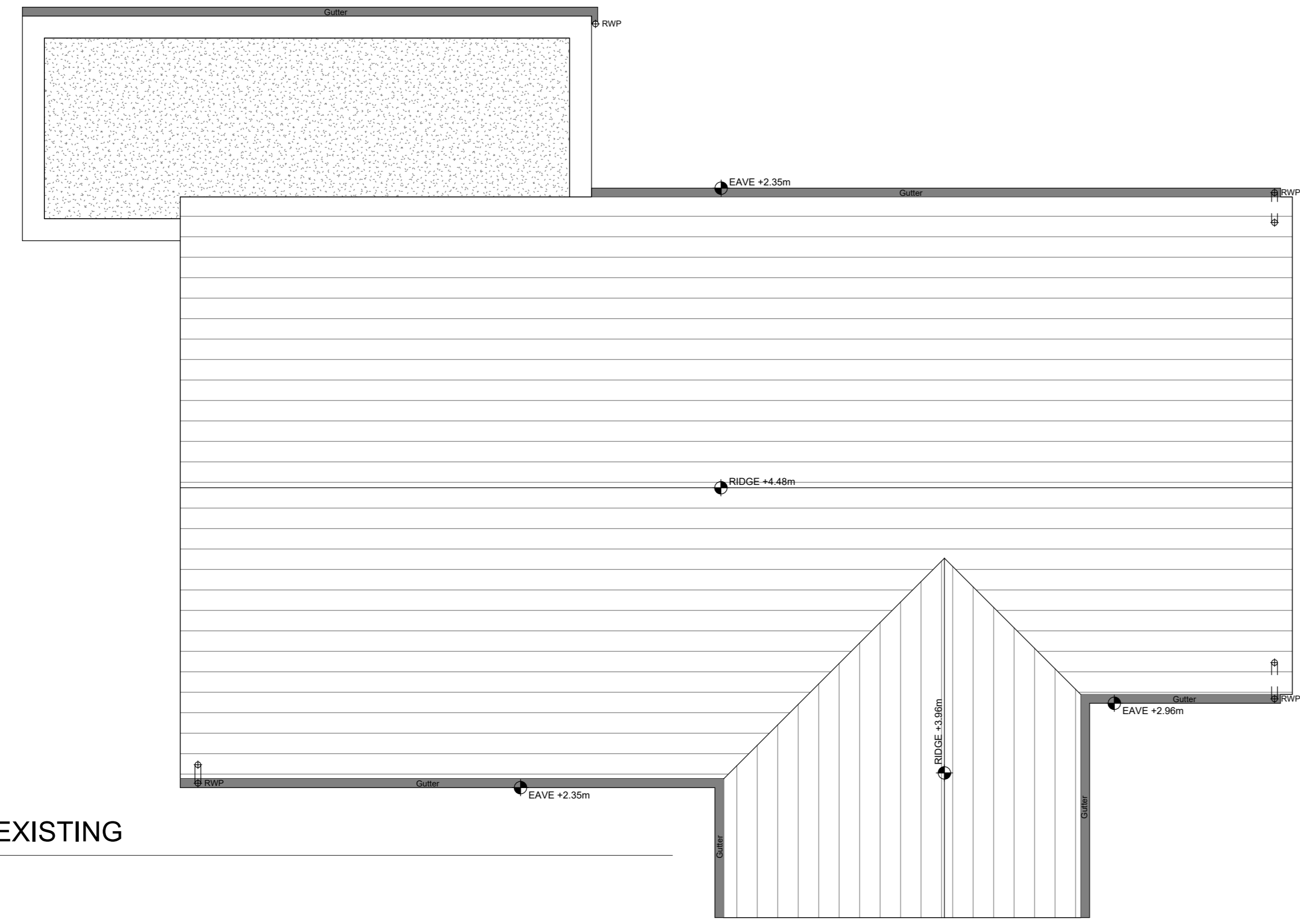
**LEGEND**

--- Site Boundary

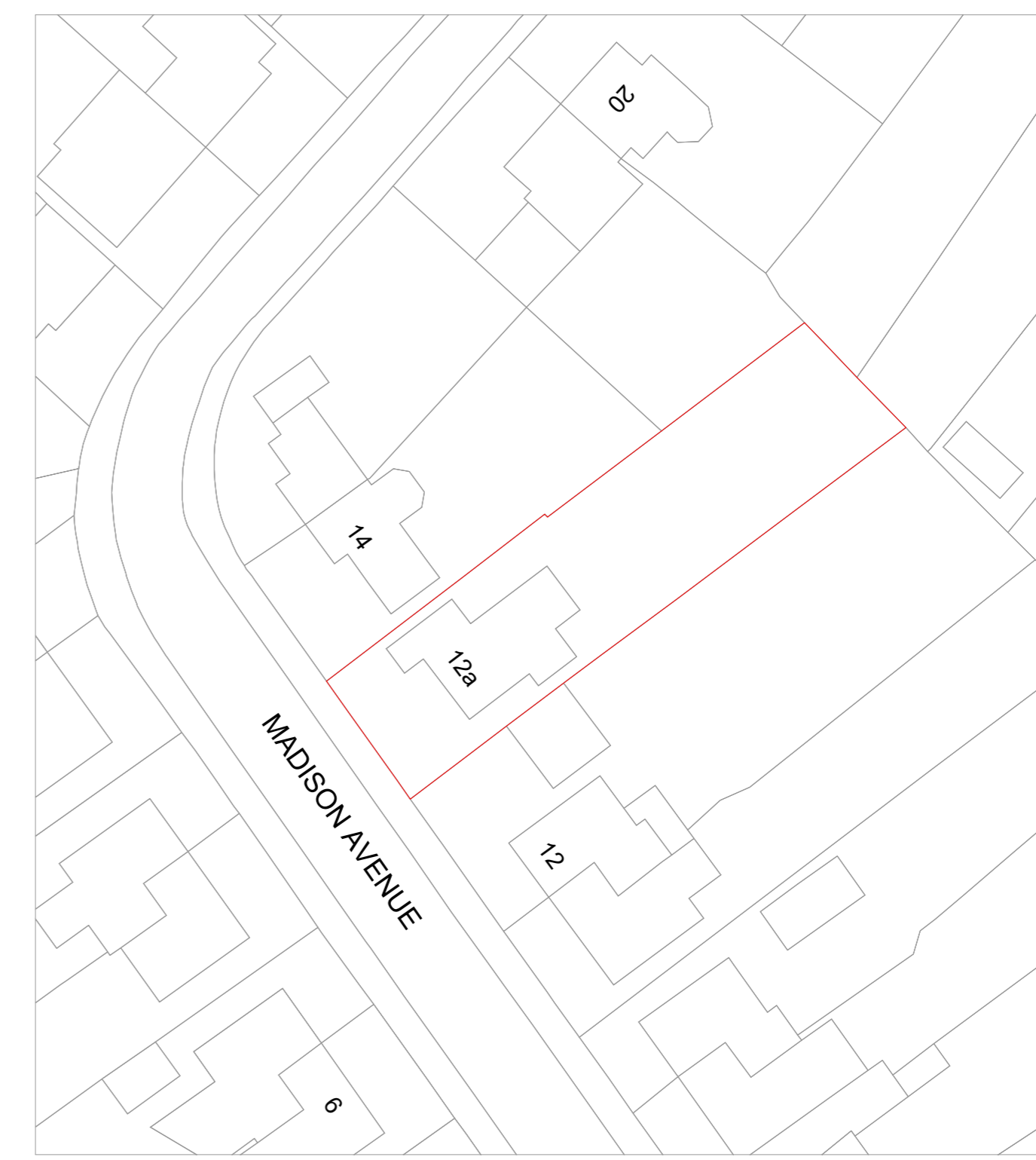
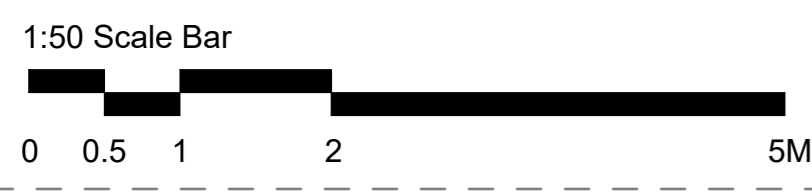
MADISON AVENUE



**1** GROUND FLOOR AS EXISTING  
 1 : 50



**2** ROOF PLAN AS EXISTING  
 1 : 50



**3** SITE PLAN AS EXISTING  
 1 : 500

P03	06.03.2024	Final Issue for Planning
P02	11.12.2023	Issue for Feasibility
P01	24.11.2023	Preliminary Issue for Comments

REV	DATE	DESCRIPTION
PROJECT		
12A Madison Avenue Cheadle Hulme, SK8 5DF		
CLIENT		
COLIN & MAUREEN BUCKLEY		

**COHESIVA DESIGN**

COHESIVA DESIGN  
 15 Bath Crescent  
 Cheadle Hulme  
 Stockport  
 SK8 7QU  
 E: info@cohesivadesign.com

**arb**  
 Architects  
 Registration  
 Board  
 REG NO: 28441A

DRAWING TITLE					
EXISTING PLANS					
JOB NO.	1904		SCALE:	As indicated @A1	
PURPOSE OF ISSUE:	PLANNING	DRAWN DATE:	14.11.2023	CHECKED BY:	RRV
DRAWN BY:	RRV	ISSUE DATE:	24.11.2023	CHECKED BY:	RRV

CD	XX	ZZ	10	000	P03
----	----	----	----	-----	-----

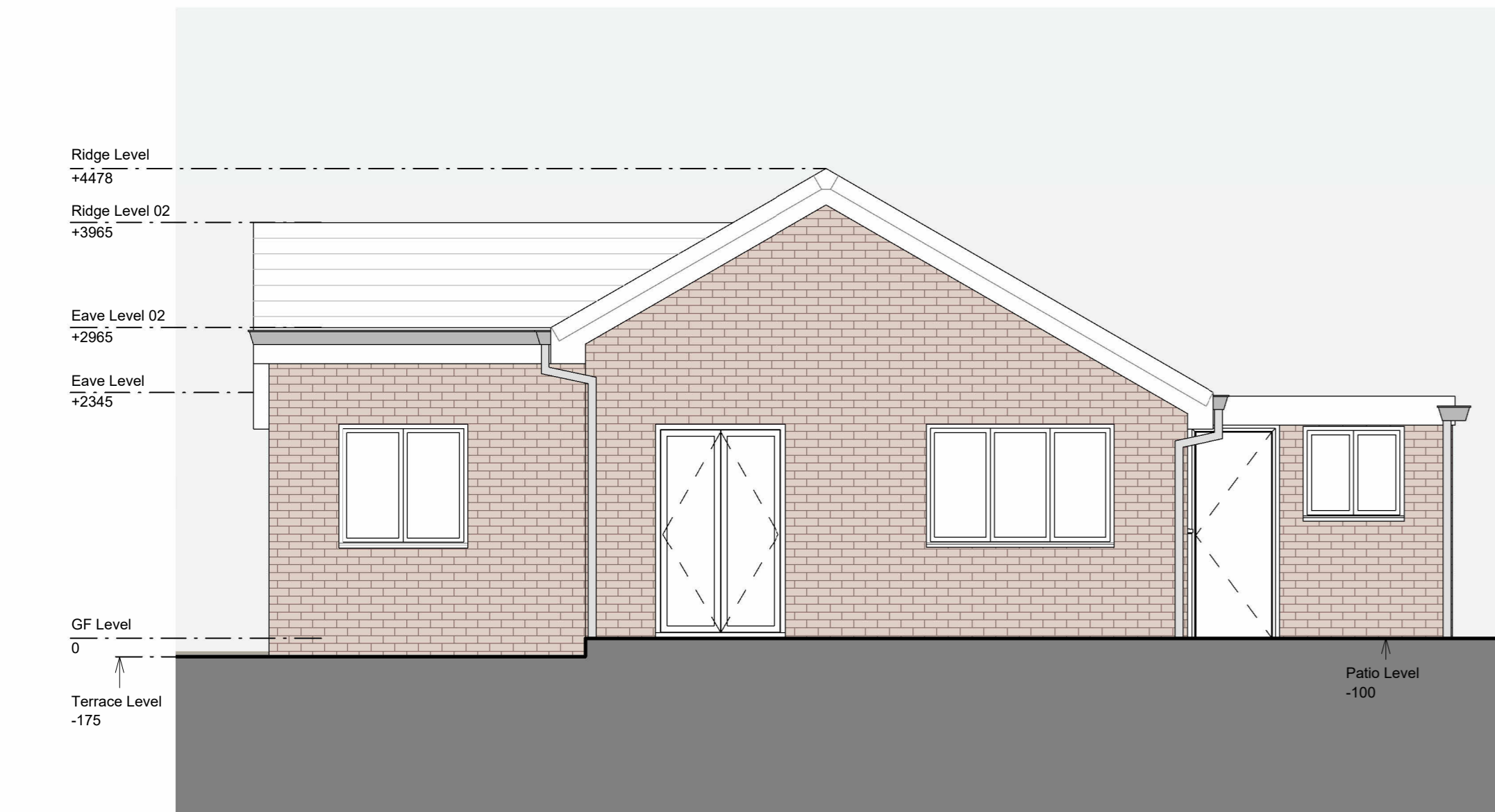
**GENERAL NOTES**  
 This drawing must not be scaled.  
 All dimensions should be checked on site.  
 Any discrepancies that become apparent, should be reported to Cohesiva Design.  
 Areas indicated are approximate and they relate to the likely areas of the building at the current stage of design. Any decisions to be made on the basis of these predictions, should include due allowance for the increases and decreases inherent in the design development and building process.  
 Drawing to be read in conjunction with all other consultant's drawings.



**1** EXISTING FRONT ELEVATION  
 1 : 50



**2** EXISTING SIDE ENTRANCE ELEVATION  
 1 : 50



**3** EXISTING REAR ELEVATION  
 1 : 50



**4** EXISTING SIDE ELEVATION  
 1 : 50



P03	06.03.2024	Final Issue for Planning
P02	11.12.2023	Issue for Feasibility
P01	24.11.2023	Preliminary Issue for Comments

REV	DATE	DESCRIPTION
-----	------	-------------

PROJECT  
**12A Madison Avenue**  
**Cheadle Hulme,**  
**SK8 5DF**  
 CLIENT  
**COLIN & MAUREEN BUCKLEY**

**COHESIVA**  
 DESIGN

COHESIVA DESIGN  
 15 Bath Crescent  
 Cheadle Hulme  
 Stockport  
 SK8 7QU  
 E: info@cohesivadesign.com

**arb**  
 Architects  
 Registration  
 Board  
 REG NO: 28441A

DRAWING TITLE  
**EXISTING ELEVATIONS**

JOB NO.	1904	SCALE:
PURPOSE OF ISSUE:	DRAWN DATE: 20.11.2023	1 : 50 @A1
PLANNING	ISSUE DATE: 24.11.2023	CHECKED BY:
DRAWN BY:		RRV

CD	XX	ZZ	12	000	P03
----	----	----	----	-----	-----