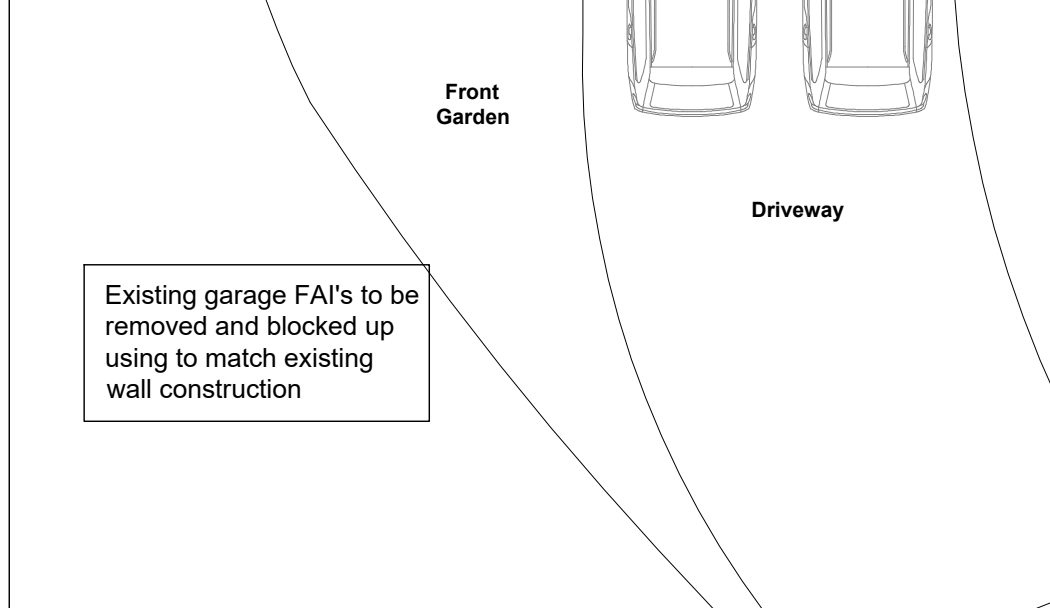
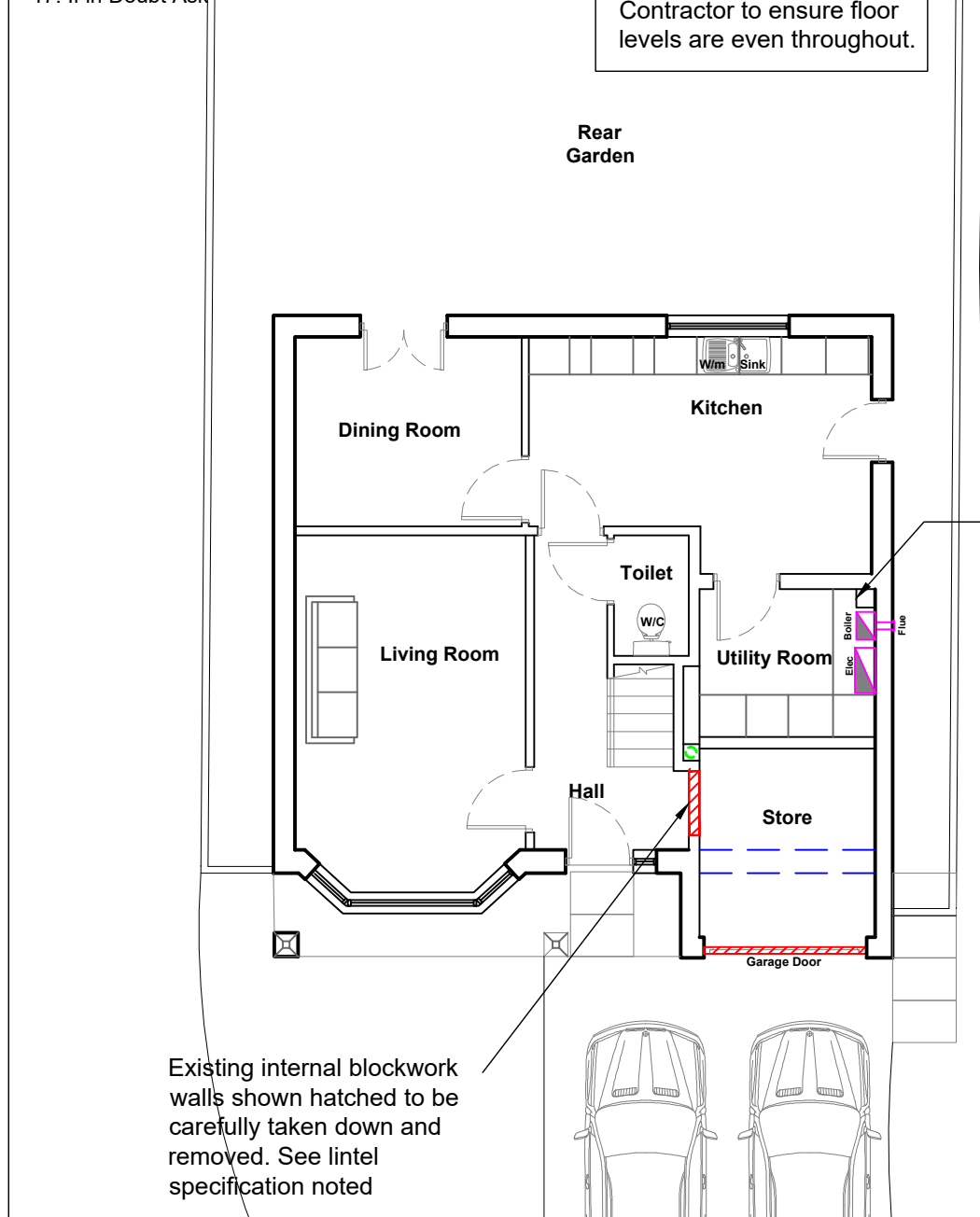
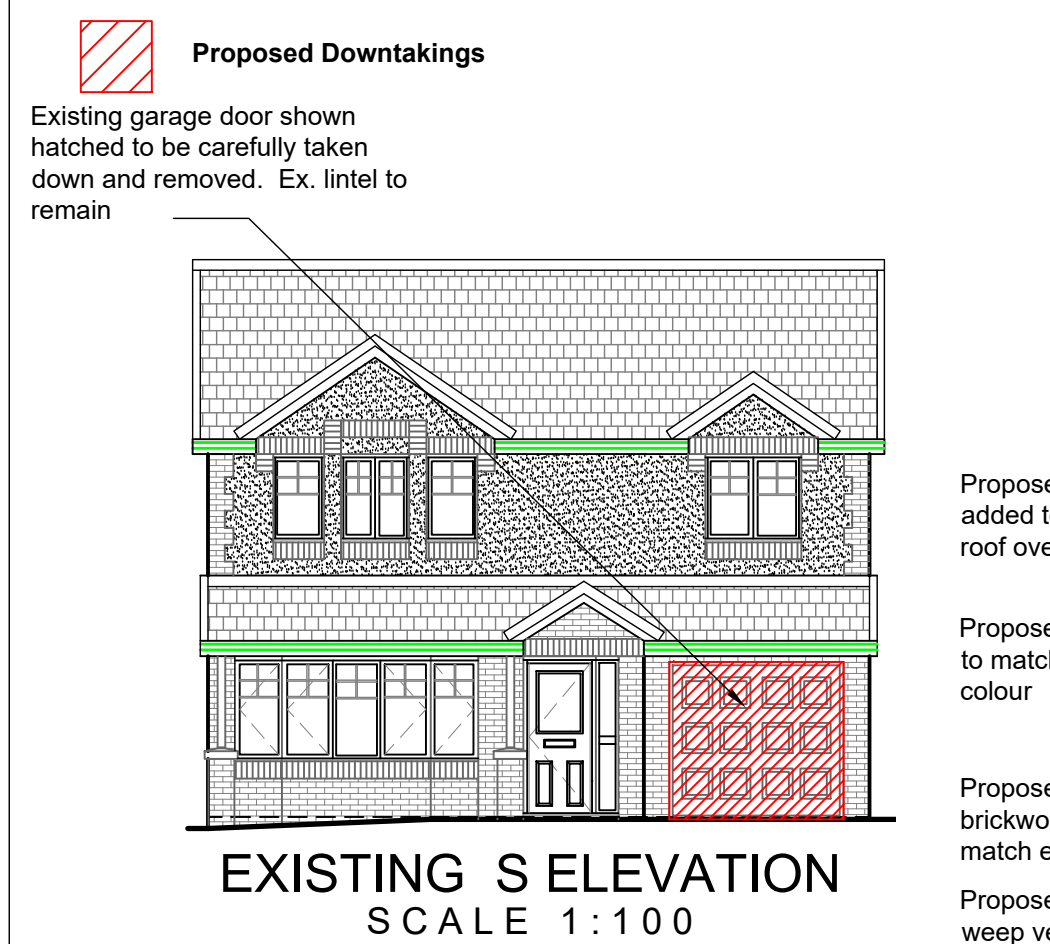


- General Notes**
- Do Not scale from this drawing
 - This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
 - The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
 - All dimensions to be checked on site prior to fabrication or erection
 - Contractor to take exact measurements on the proposed roof to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height.
 - Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
 - No work to be begun until the appropriate approvals (i.e. Building Warrant and Planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment. Councils stamped drawings should be used during construction.
 - Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services. i.e. gas, water etc.
 - Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains & sewers
 - Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
 - For Additional information see www.cafdesigns.co.uk
 - All dismantlings and demolition works to be carried out in accordance with BS 5187:2011 and the Health and Safety at Work Act 1974
 - All works to Building (Scotland) act 2003 and regulations 2004 as amended
 - Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
 - Where under floor heating to be installed, client to provide details of heating to be installed so engineer can check additional floor loading.
 - Existing water service pipes cannot be built over and must be re-directed around any structure by a SNIPEF registered plumber. If the water service was to enter this property at a new location, a new stop tap will be required at that location.
 - If in Doubt Ask

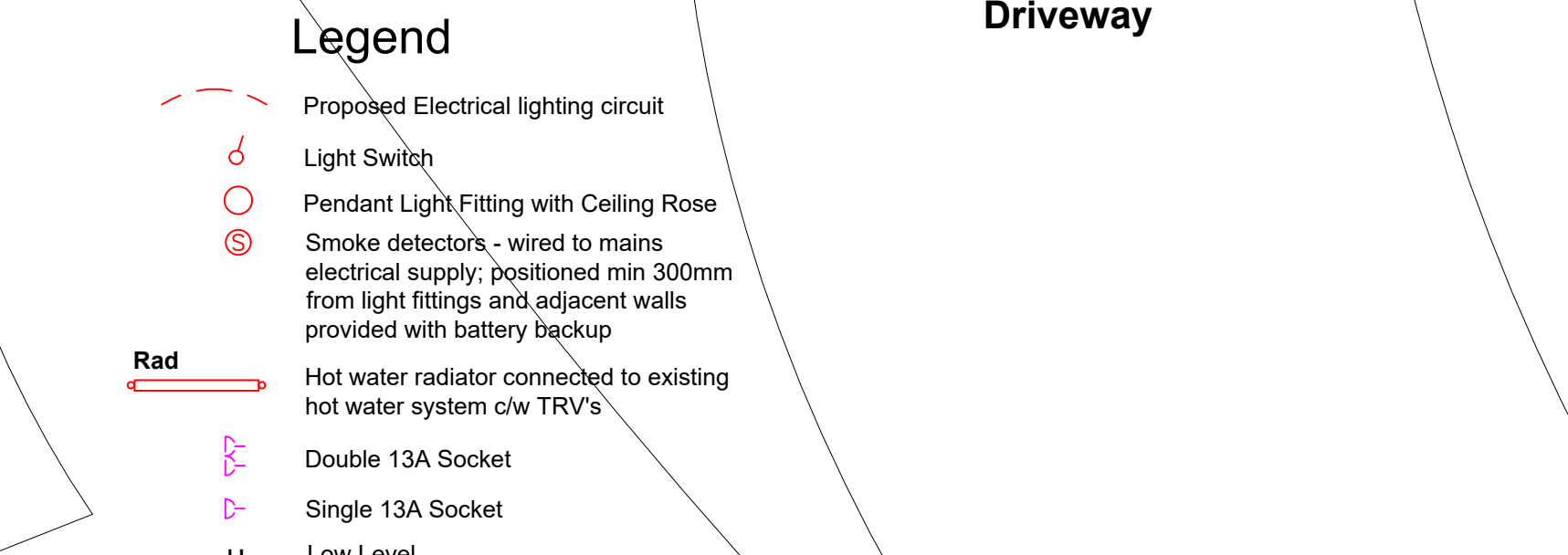
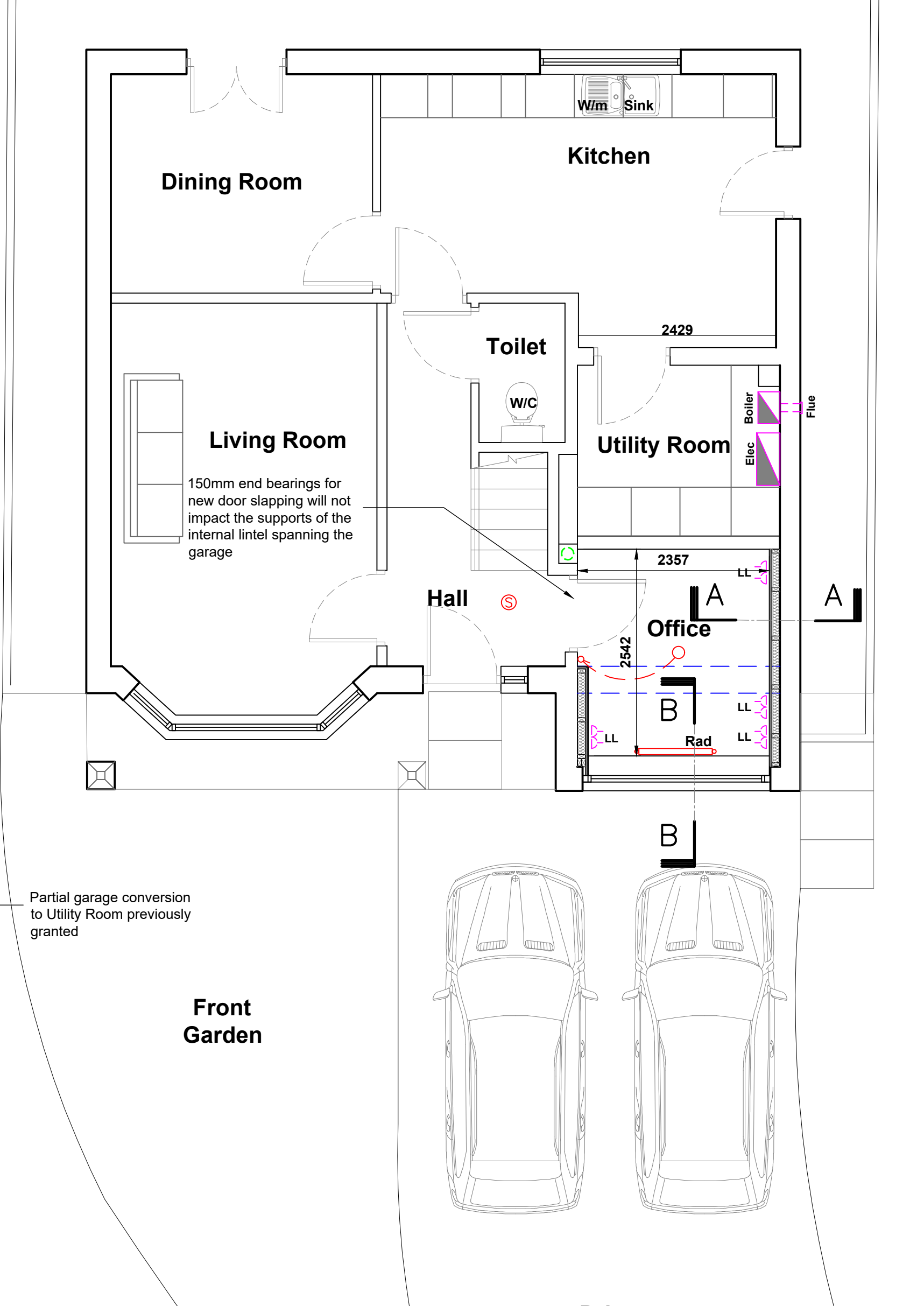


EXISTING GROUND FLOOR PLAN
SCALE 1:100

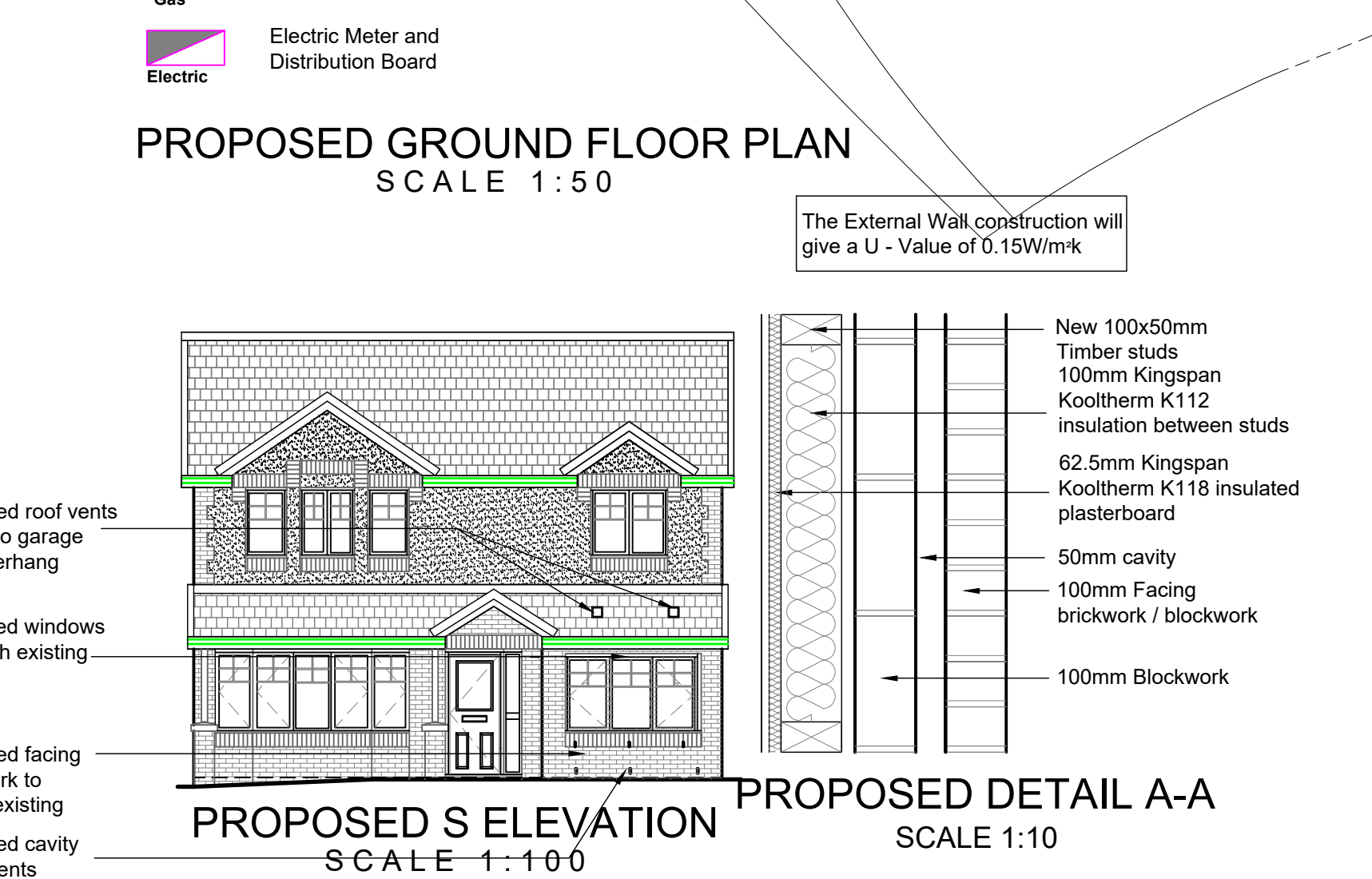
- Total Approx. area of existing dwelling and gardens = 335sqm
- Approx. ground floor area of Dwelling = 74sqm (inc. Store = 7sqm)



EXISTING S ELEVATION
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED S ELEVATION
SCALE 1:100

Electrical
Electrical work will be carried out in accordance with the 17th edition of the I.E.E. including current amendments, together with the current BRITISH STANDARDS & CODES OF PRACTICE.
The building Will be provided with electrical power in accordance with BS 7671: 2018
Lighting and socket outlets are to be provided to comply with Building (Scotland) Regulations 2013 Parts 4.6.1, 4.6.2 & 4.6.4.
Contractor - Electrician / Client
- All electrical work to be carried out by a SELECT or NICEIC registered contractor and supply electrical certificate upon completion of works to building control
Min socket requirements to be :- In the Kitchen - 6 sockets, in each apartment - 4 sockets and anywhere in the dwelling an additional 4 sockets
- Sockets to comply with 4.8.5 - whereby sockets must be a min. of 350mm from an internal corner and not more than 1.2m A.F.F.L. Also light switches should be positioned between 900 & 1100mm A.F.F.L.
- TV & socket points to be positioned Min. 400mm A.F.F.L and 150mm above any worktop
- Client to confirm socket and lighting positions before commencement of works
- All light fittings within extension to be low energy type including lamps to comply with Building (Scotland) Regulations 2013 D6.5.1

Timber
All timber used to be installed to BS5268.
Windows - Safety Glazing -
All glazing to conform to BS6262:Part 4 2005 and BS 6206 and the Building (Scotland) Regulations 2013 Parts 4.8.2, 4.8.3 & 4.8.4. All glazed openings to be safely cleanable from inside in accordance with BS8213 Part 1.
- All glazing as appropriate to be installed in accordance with BS6262: Part 4:2005
- All apartments to have a min. glazed area of 1/15th of the floor area to comply with Building (Scotland) Regulations 2013 Part 3.18.1
- Window controls must be positioned not more than 1.5m above F.F.L.
- New windows to conform to BS6399 Part1 1996 for pedestrian barrier protection to comply with Building (Scotland) Regulations 2013 D4.4.3
- Guarding of windows should be designed and comply with Building (Scotland) Regulations 2013 4.8.4, so that it is not easily climbable by young children

Natural Ventilation
- Ventilation will comply with Building (Scotland) Regulations 2013 Parts 3.14 & conform to the BRE Digest or the table to this specification.
- The rooms will be ventilated to min. 1/30th of the floor area it serves by trickle ventilators above all windows & patio doors.
- Natural Ventilation to comply with CIBSE Guide A:1986, Design Data, Section A4, Air Infiltration and natural ventilation.
- Windows & doors to have permanent ventilators built into head of frames to comply with 3.14.2
- Apartments to have ventilators capable of 12000mm³
- All other rooms to have ventilators capable of 10000mm³

Services :-
- All services (i.e. pipework, ductwork etc.) to have appropriate fire dampers at points of openings through separating walls & floors to comply with Building (Scotland) Regulations 2013 Parts 2.2.4 & 2.2.5
- All services passing through foundations to comply with Building (Scotland) Regulations 2013 Part 1.1.1 and meet the BS8004:1986 Foundation regulation.
Any service penetrations through a separating wall or floor must be sealed with intumescent mastic.
- Insulation to heating pipes to BS 5422:2009

Insulation of hot water pipes :-
19mm wall for 22mm pipes; 25mm wall for 15mm pipes and 9mm wall for radiator supply pipes.

General
- All walls and plasterboard ceiling to be painted 1No. coat Primer and 2No. coats Vinyl emulsion all to be finished in colour specified by client
- All work to be carried out as per manufacturers written specifications.
- All sizes to be checked and anomalies to be flagged before commencement of work or purchasing materials

Air infiltration :-
Air infiltration limitation to comply with BRE Report 262

New Window:- U-value of 1.0W/m²K
- New windows to be UPVC to match existing with white gloss finish and mastic pointing around all edges, fixed into rebated openings within wall and with DPC and insulated cavity closers all round. Window to have cill to match existing, laid on DPC. Window to be double glazed, hermetically sealed units, tilt n turn. Window to be supplied treated and primed for final decoration on site, complete with locking handle. Strap & line hinges with Gyproc insulated plasterboard. Glazing to be 24mm Double glazed Units. All windows to be lockable
All windows to be 60mm Tilt / Turn c/w stay hinges, shoot bolt locking mechanisms and standard cockspur fittings.
- Windows & Doors to be fitted 'secured by design locks' as per standard 4.13
- Windows & Doors to be installed to BS8213-4:2007 - Standard D4.13.5 (2013) and product standard and component performance to BS7412:2007 for PVCu Units
- New window to be confirmed by client

Draught sealing / stripping
Windows, Doors, Ceiling Hatches and Access Panels to be draught stripped.
Window Seals to conform to BS 5375 relating to performance of windows and air infiltration.
House entrance doors, windows and ceiling hatches to be fitted with external quality weather seals and draught stripping.

Central Heating System :-
- New Radiators within proposed Conversion to connect to existing heating system and have thermostatic valves (TRVs). (Contractor to inspect existing boiler to make sure it can supply new radiators)
- Client to confirm radiator positions to contractor.

Smoke Detector :-
- To be installed to comply with the recommendations of BS5839:Part 1 2013 for a Grade D type LD3 system and Building (Scotland) Regulations 2013 Section 2.11.2. The system to be permanently wired to an independent circuit at the mains distribution board. Where two or more alarms installed in a dwelling they shall be interconnected.
- To be located 3m from any sleeping accommodation
- Located a min. 300mm away from any lighting
- Smoke alarm to be an Optical smoke Alarm suitable for kitchen open plans areas

External Works:-
- Make good all external areas following completion of the works and re-grade ground as necessary to suit DPC levels.

Internal Doors:-
- New timber doors to give a clear opening of 800mm to comply with Building (Scotland) Regulations 2013 Part 4.2.4

Internal Door Ironmongery
- Ironmongery to be confirmed by client

Wall Construction - Garage Door infill - Section B-B

Proposed Wall Construction :- U-value of 0.15W/m²K
Outer Leaf
- 100mm facing brick to match existing
- 50mm clear cavity
Inner Leaf - Timber frame construction
- 5mm YBS Breather Foil FR Foil Bubble
- 10mm WBP plywood
- 140mm medium density blockwork wall below
- 150x50mm C16 treated timber studs at 600mm centres with double head binders and sole plate.
- 100mm Kingspan K112 insulation between studs
- 52.5mm Kingspan Kooltherm K118 insulated plasterboard
- Timber frame construction to be tied to existing wall construction by Hilti HB Bolts @ 400c/s
- DPC to all walls 150mm above ground level and lapped with 1200 Visqueen DPM within floor construction.

Wall Construction - Detail A-A

Proposed Wall Construction :- U-value of 0.15W/m²K
- Ex. 100mm facing brickwork
- Ex. 50mm clear cavity
- Ex. 100mm medium density blockwork above perimeter stone to match
- 100x50mm C16 treated timber studs at 600mm centres
- 100mm Kingspan K112 insulation between studs
- 62.5mm Kingspan Kooltherm K118 insulated plasterboard
- DPC to all walls 150mm above ground level and lapped with 1200 Visqueen DPM within floor construction.

Existing Walls:- Alterations.
- Any alteration works to be carefully carried out to match / complement existing walls.

Foundation Construction
- Concrete foundation to be 650x200mm foundation pad c/w 1 layer of A252 mesh
- The proposed foundations will be the same type as the existing and taken to the same depth or a minimum of 450mm below ground level. Whichever is greater. Foundations to be stepped to reach different ground levels
- Movement joint to be installed between existing and new foundations and walls in accordance with regulation Structure 1.0.5.
- Proposed foundations to lap over existing foundations by a distance of 300mm plus existing scarcement with an overall thickness of 200mm plus the foundation thickness of 200mm. Alternatively 4No. 20mm diameter dowel bars 400mm long to be resin grouted 200mm into existing foundations
- If when the existing foundations are exposed they comprise of a non standard design, works must cease and building standards must be contacted
- Building standards to be contacted and given the opportunity to inspect foundation trenches prior to pouring concrete

DPC's
DPC's also to be provided at all construction joints, under all wall plates, at stepped cavity tray, all cavity barriers and behind all pre-cast concrete cills and lintels and thresholds to comply with Section 3.10.0 Precipitation of the Building (Scotland) Regulations 2013

Vapour Control Membranes
Vapour membranes to be overlapped at junctions by 150mm mm and bonded with mastic strip and sealed with jointing tape in accordance with manufacturers written instructions. Dry lining junctions between walls, ceilings, floors, around window/door openings to be sealed.

General Construction Information :-
- All wall construction to dwelling to comply Section 6.0.3/6.0.4 Thermal Conductivity of the Building (Scotland) Regulations 2013
- All concrete to be class C35min.
- No high alumina cement to be used.
- All brickwork to be a minimum course strength of 21N/m in class (iii) mortar brickwork to be Frost free.
- Wall ties to be min. class (ii) at max 600mm c/c horizontally and 450mm vertically. Ties to be stainless steel. Ties every 3rd course. Wall ties to be 'BT-2' stainless Steel ties by Catnic or equal and approved @ 600mm c/s.
- Wall ties to be max 300mm apart vertically and within a distance of 225mm from the vertical edges where the aperture has been formed
- New brickwork to be fixed to existing structure using galvanised steel connector Wall Starter by Catnic or similar approved Ref:VWC
- Anchors to be Vertical V-Type galvanised mild steel 30x2.5x1200mm restraint straps by Catnic or equal and approved @ 600mm c/s fixed to timber framing, lower brickwork course and roof. The holding down straps 30x2.5mm to be attached to the stud by 6No. 3.36x65mm ring shank nails at 2.4m centres, at every opening and at the end studs of a wall attaching the strap to the stud and placing the L-shaped end of the strap at least three courses under the masonry cadding

Sealing Junctions between Elements
Infiltration to be limited by sealing dry lining junctions between walls, ceilings and floors and at window, door and roof space openings

Lintels:
Door Slapping - Use Robeslee Type C lintel with 150mm end bearing to both sides

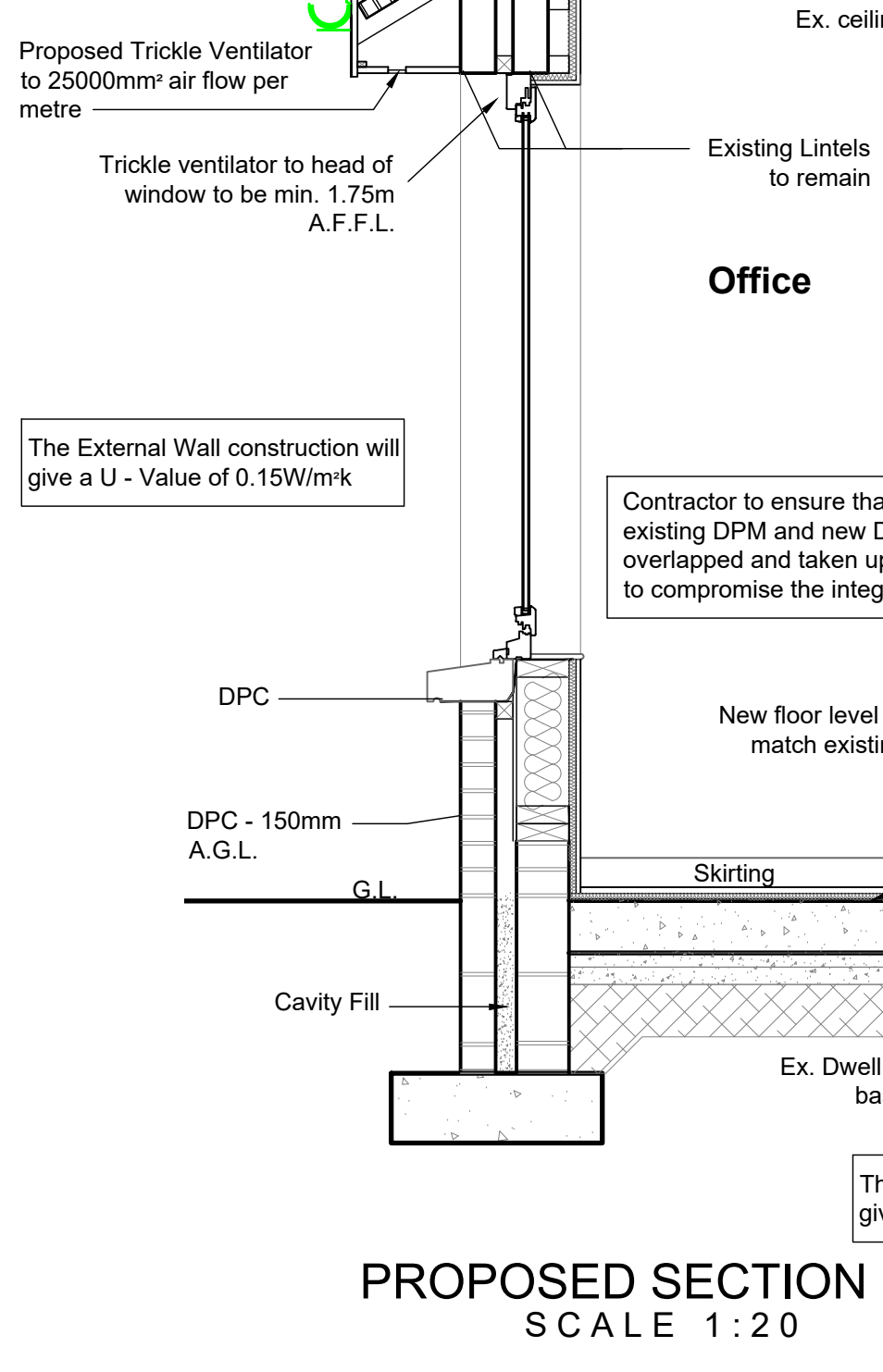
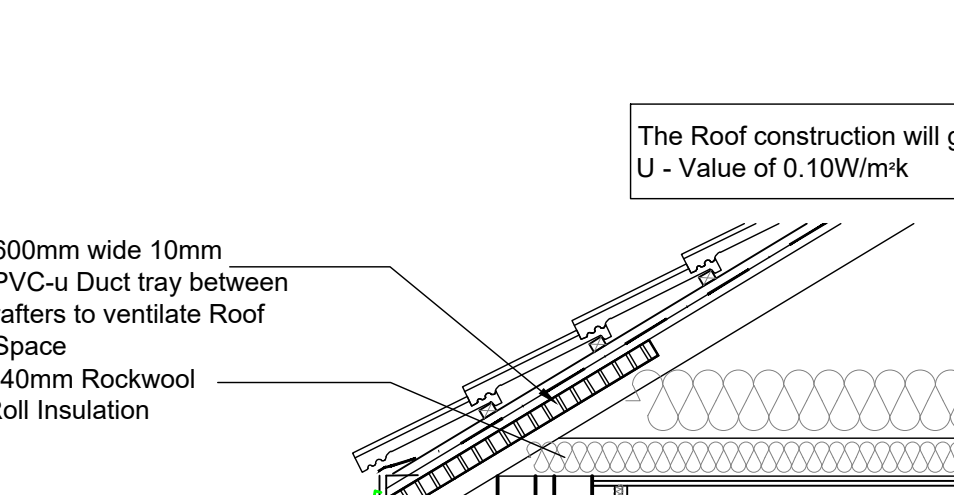
Cavity Barriers :-
Cavity barriers to be 50x50mm wrapped in DPC and provided around all openings of the cavity, at corners/ junction of 2No. walls, ceiling level and between roof space to comply with Section 2.4.1/2.4.2 Cavity barriers of the Building (Scotland) Regulations 2013 Part, whereby the maximum distance between barriers is 10m.

Cavity wall ventilation :-
- Castic weep vents to be used on brickwork, and to be spaced to max. 500mm² per metre length of wall. Vents to be staggered so they are not aligned vertically. Cavity to be ventilated below DPC level and at eaves and verge level with the equivalent of an open brick perpend every 1.2m.

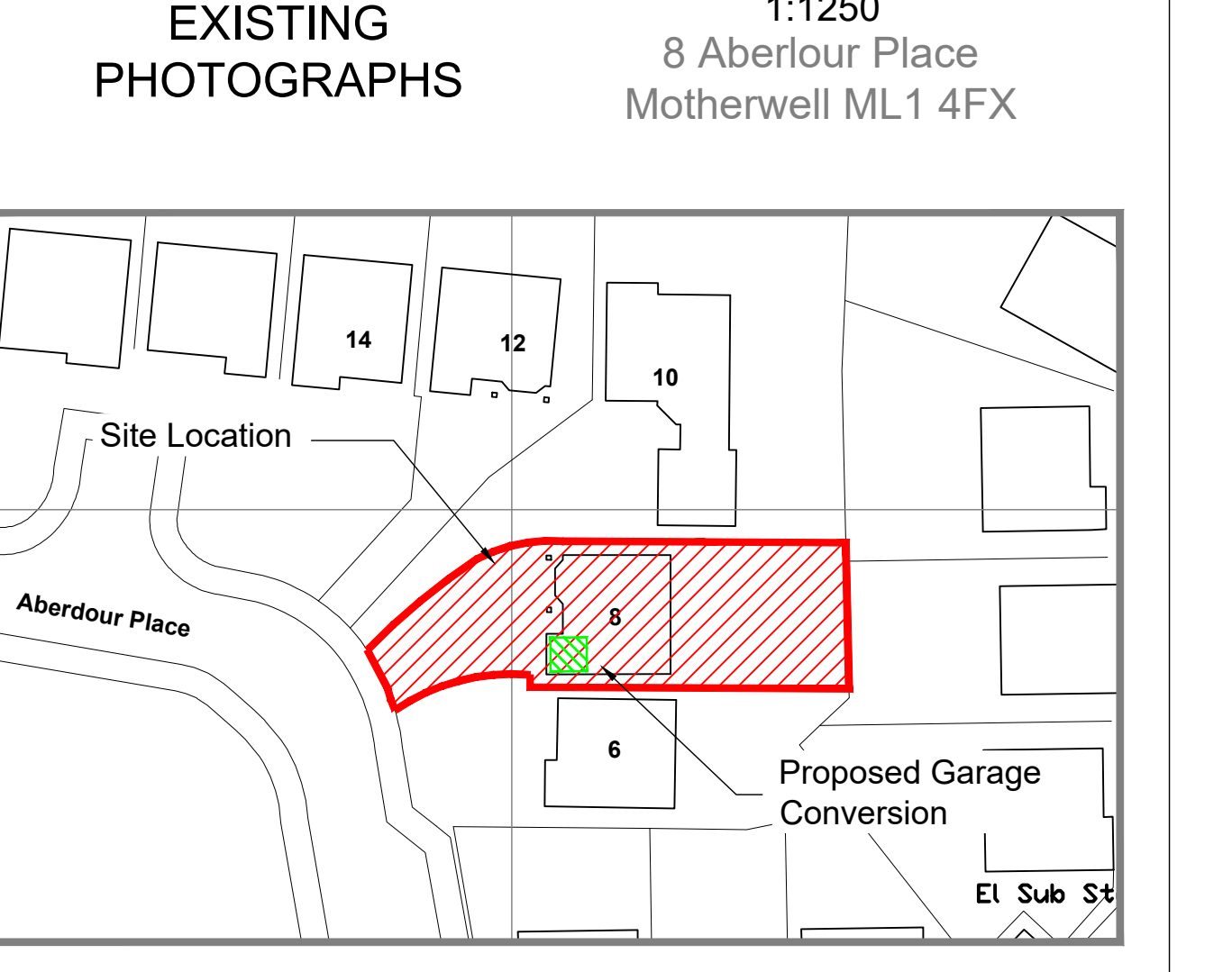
Proposed Garage Floor Notes

Concrete Floor Construction :-
- 22mm treated T&G chipboard flooring onto
- 20mm TF70 Kingspan insulation
- PA = 0.69
- Visqueen DPM
- Existing concrete floor

The Roof construction will give a U - Value of 0.10W/m²K



PROPOSED SECTION B-B
SCALE 1:20



SITE PLAN
1:500

Rev	Description	Date
A	Building Warrant	05/03/24

Client and Project Address
Mr & Mrs Brian Irwine
8 Aberlour Place
Motherwell ML1 4FX

Drawing Title
Proposed Garage conversion
Existing & Proposed Plans
Elevations & Location Plans

CAF
CAF DESIGNS
53 CALDERGLEN AVENUE
THE ELMS BLANTYRE
SOUTH LANARKSHIRE G72 9UP
TEL: +44(0)1698 925860 Mob: +44(0)774 780 3435
E-MAIL: craig@cafdesigns.co.uk www.cafdesigns.co.uk

PLANNING

Drawn by CAF	CAD Location C:\Drawings\1006-24
Scale 1:50	Date Feb 24
	Paper Size A1

Drawing no.
007-24.001 A