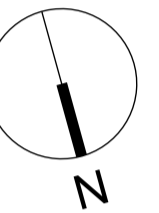


Mark	Revision	Date
	as further dimensions added as	
a	requested by local authority	05.03.21
b	non material amendment app	19.10.23
c	non material amendment app (dormers)	08.03.24

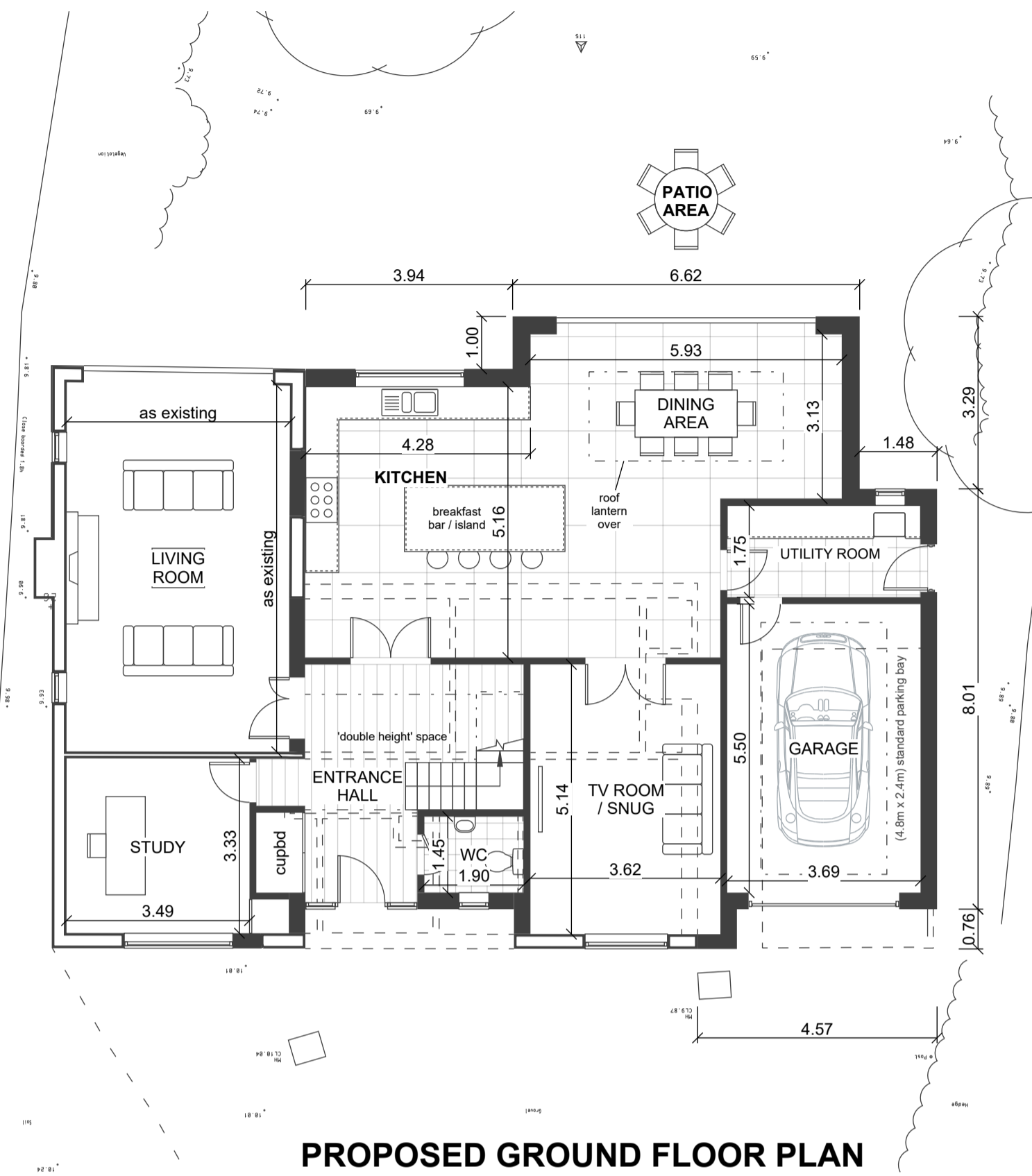
© Studio Heathfield Limited  
 Figured dimensions only are to be taken from this drawing as all other graphics may be unsubstantiated and photocopied / printed versions may appear distorted. All dimensions are to be checked on site prior to any work commencing. Where applicable this drawing must be read with additional information prepared by Studio Heathfield and/or others.  
 Notes:

- These documents and drawings have been prepared on a partial service appointment only and are intended as a guide for the purposes of obtaining planning approval. It may therefore be necessary for further drawings to be prepared prior to any works commencing on site.
- Groundline is shown for indicative purposes only and all levels are subject to confirmation.
- Where shown, building tones (used for representing building materials), neighbouring buildings and vegetation (including trees and hedges) are shown for illustrative / site context purposes only and as such they are approximate representations only and consequently they may differ from the as-built solution.
- All floor finishes and furniture are indicated for illustrative purposes only and may vary as design is developed.

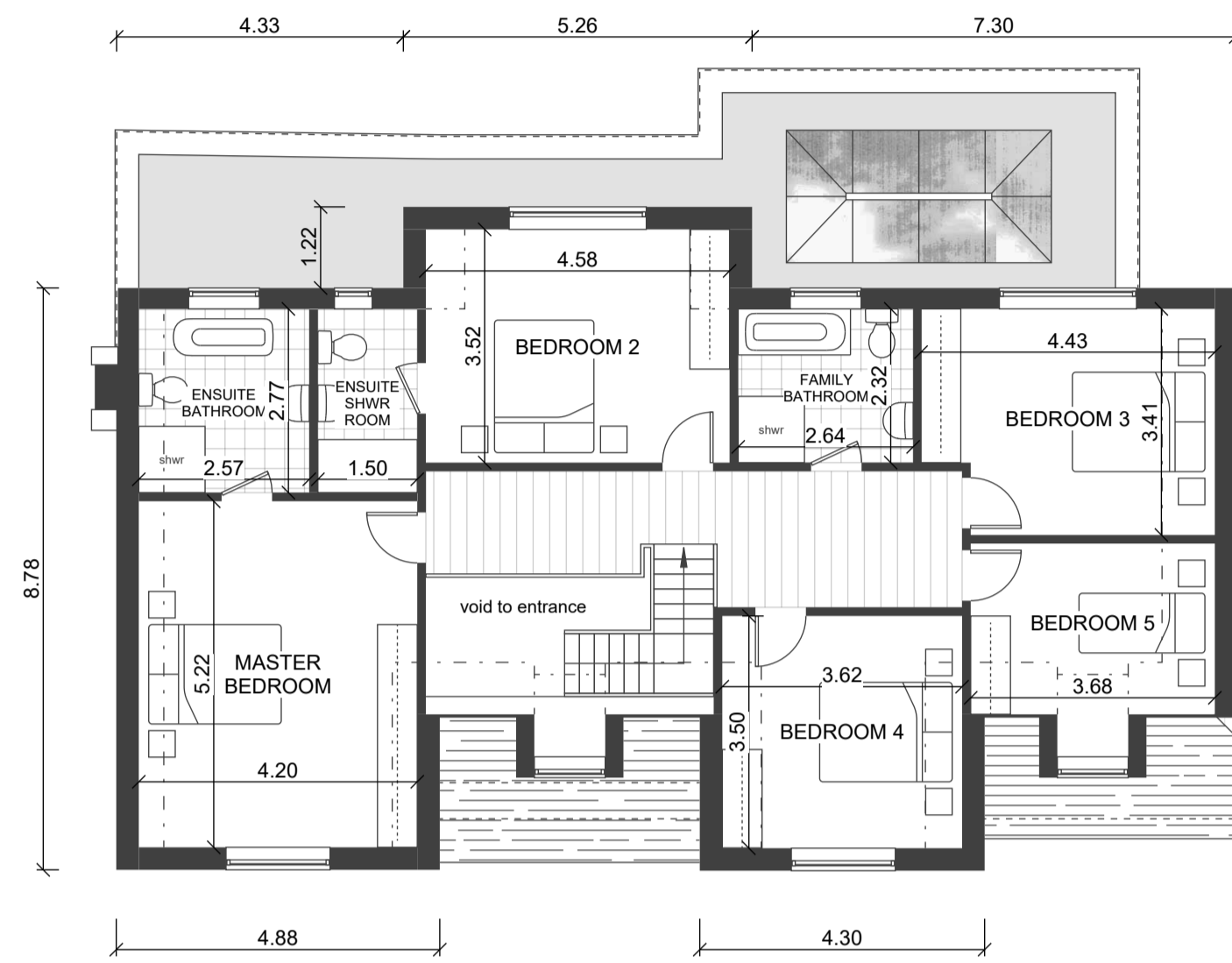


- wall - existing
- wall - removed
- wall - new

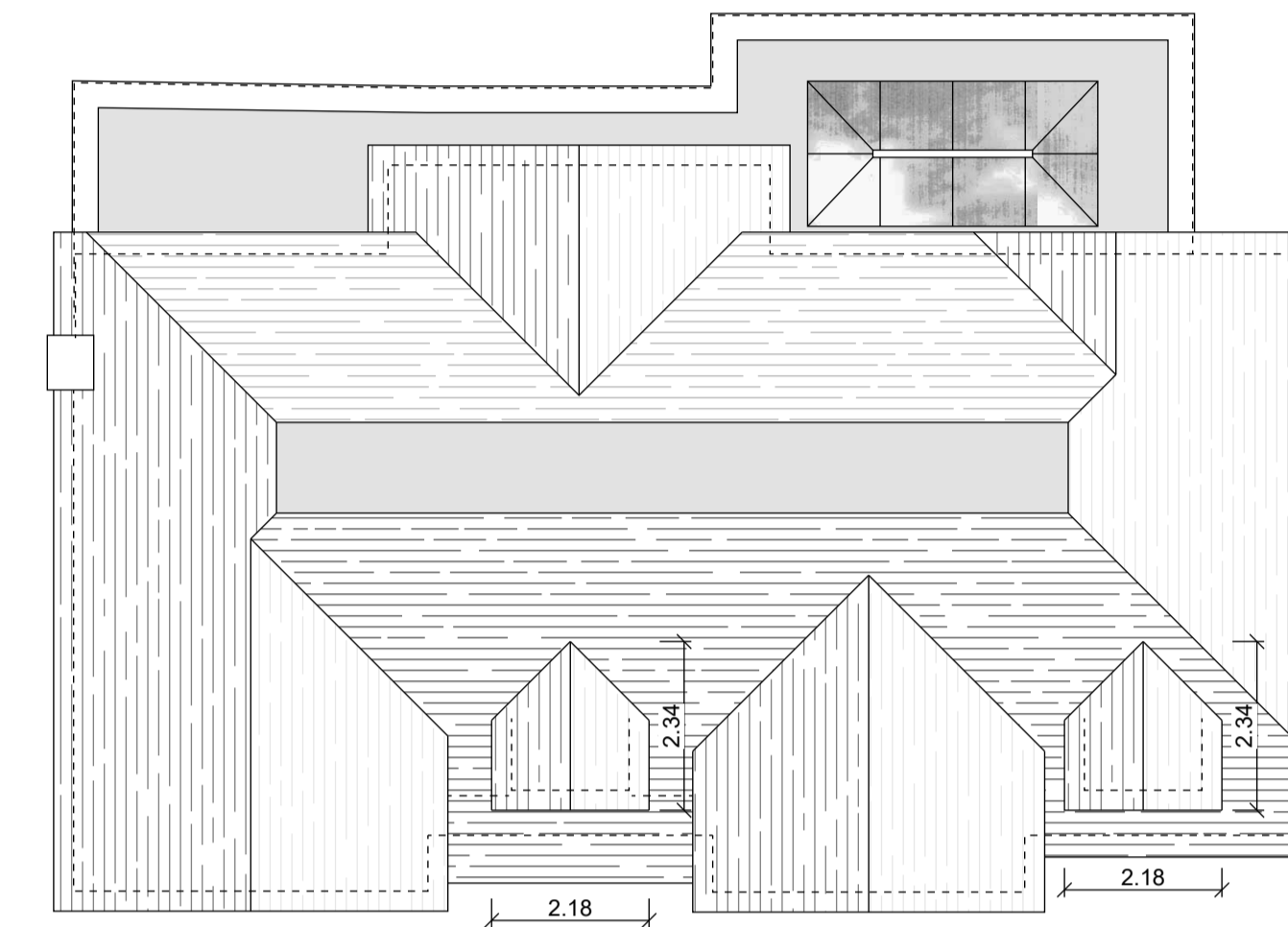
Where internal dimensions are stated it assumes an external wall make up of 315mm (based on a notional construction comprising brickwork, cavity / insulation, blockwork, plasterboard) or 340mm (based on a notional construction comprising render, blockwork, cavity / insulation, blockwork, plasterboard) and an internal wall make up of 130mm (based on a notional construction comprising plasterboard, stud, plasterboard) - any variation in external and / or internal wall thickness (which may be required in order to achieve Building Regulations compliance and / or satisfy specific manufacturers details and requirements) will likely result in a variation of the dimensions as stated on this drawing. Dimensions are rounded up or down to the nearest second decimal place.



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



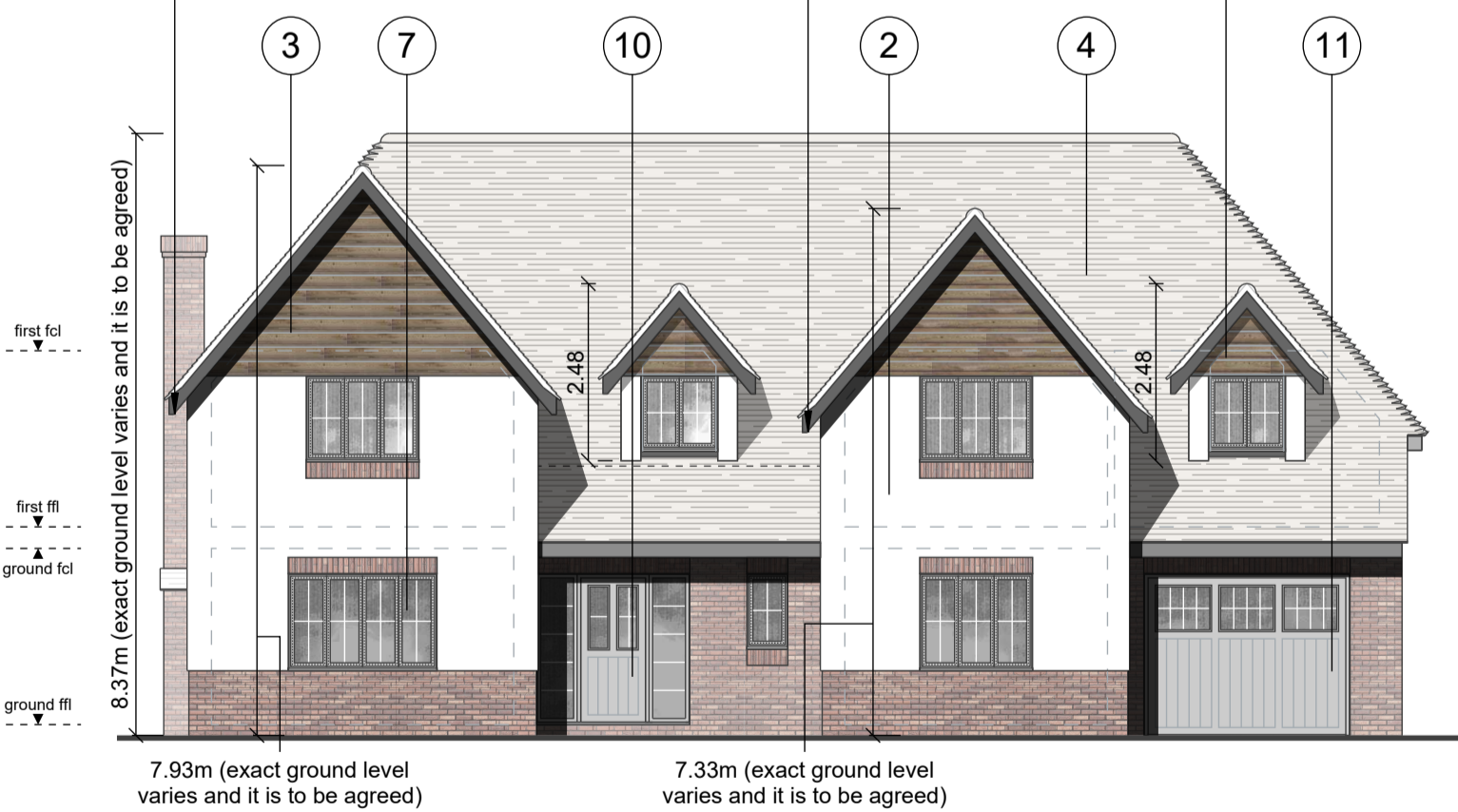
PROPOSED ROOF PLAN

New dormer construction with rendered cheeks, colour white to match the main gables, a horizontal boarded finish above window to match the main gables, a pitched roof with tiles to match host dwelling and window with a frame colour to match host dwelling.

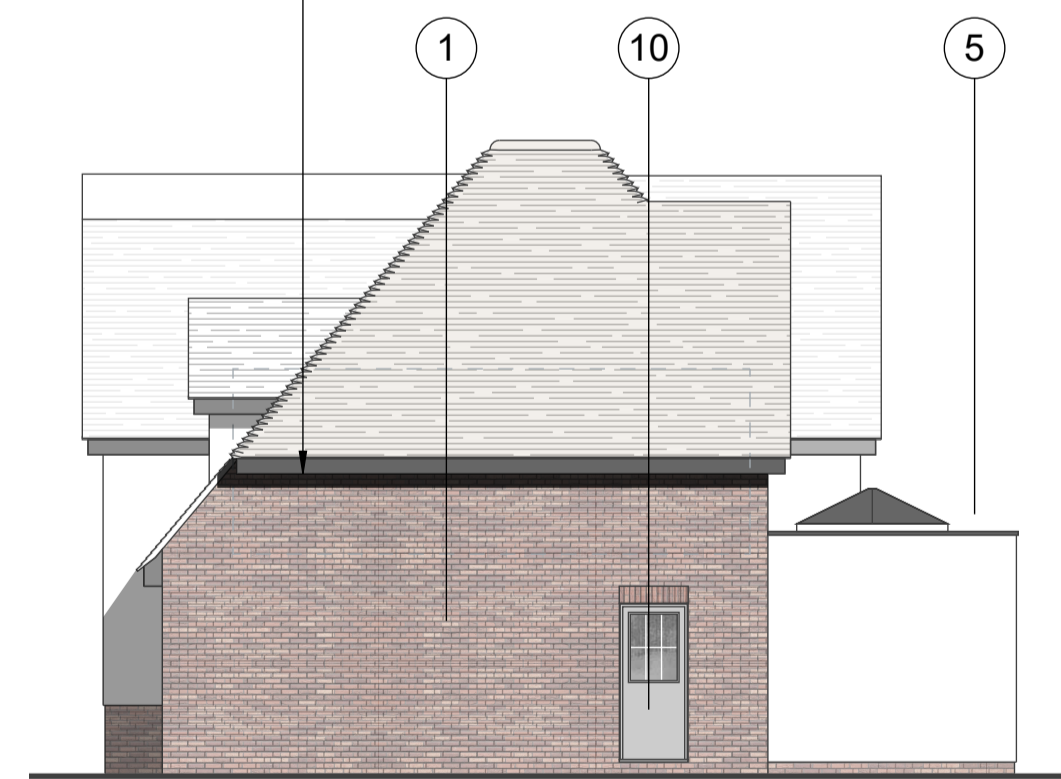
eaves line at this level results in a sloped ceiling that abuts inner face of external wall at circa 2000mm above floor level (assuming a 350mm pitched roof make-up depth)

eaves line at this level results in a sloped ceiling that abuts inner face of external wall at circa 1750mm above floor level (assuming a 350mm pitched roof make-up depth)

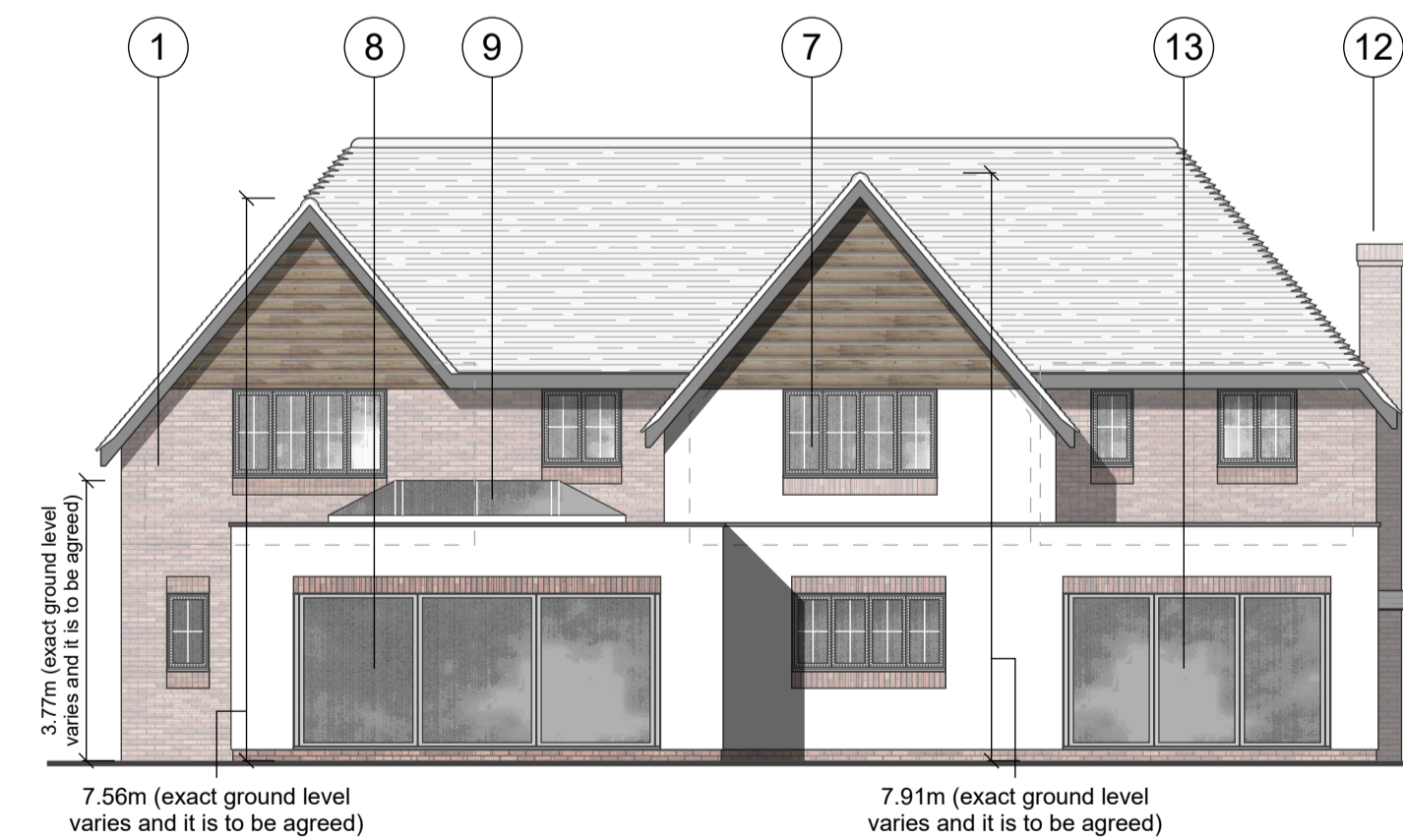
eaves line at this level results in a sloped ceiling that abuts inner face of external wall at circa 1500mm above floor level (assuming a 350mm pitched roof make-up depth)



PROPOSED NORTH (front) ELEVATION



PROPOSED WEST ELEVATION



PROPOSED SOUTH (rear) ELEVATION



PROPOSED EAST ELEVATION

MATERIALS LEGEND

- New wall construction with brickwork finish to reflect host dwelling.
  - New / existing wall construction with rendered finish, colour white.
  - New wall construction with horizontally orientated dark timber boarded finish.
  - New pitched roof construction with tiled finish to reflect host dwelling.
  - New flat roof construction.
  - n/a.
  - New windows, frame colour to be mid grey. Existing windows to be replaced and to match new windows.
  - New sliding glazing, frame colour to be mid grey. Exact size, style and arrangement of panels is to be agreed.
  - New roof lantern set onto flat roof.
  - New external door.
  - New garage door.
  - Existing chimney enlarged.
  - New bi-folding glazing, frame colour to be mid grey. Exact size, style and arrangement of panels is to be agreed.
- The term 'to match existing' implies as close a match as can be reasonably sourced.
- Materials are referenced to provide a broad indication of external finishes although not every specific new or altered external material is labelled.
- Any suggestion of fixed and opening window elements is shown inductively and is to be agreed.
- External dimensions relate to brickwork - the finish face of other external materials may be positioned further outboard of this primary external dimension, for e.g. external render and timber boarding.