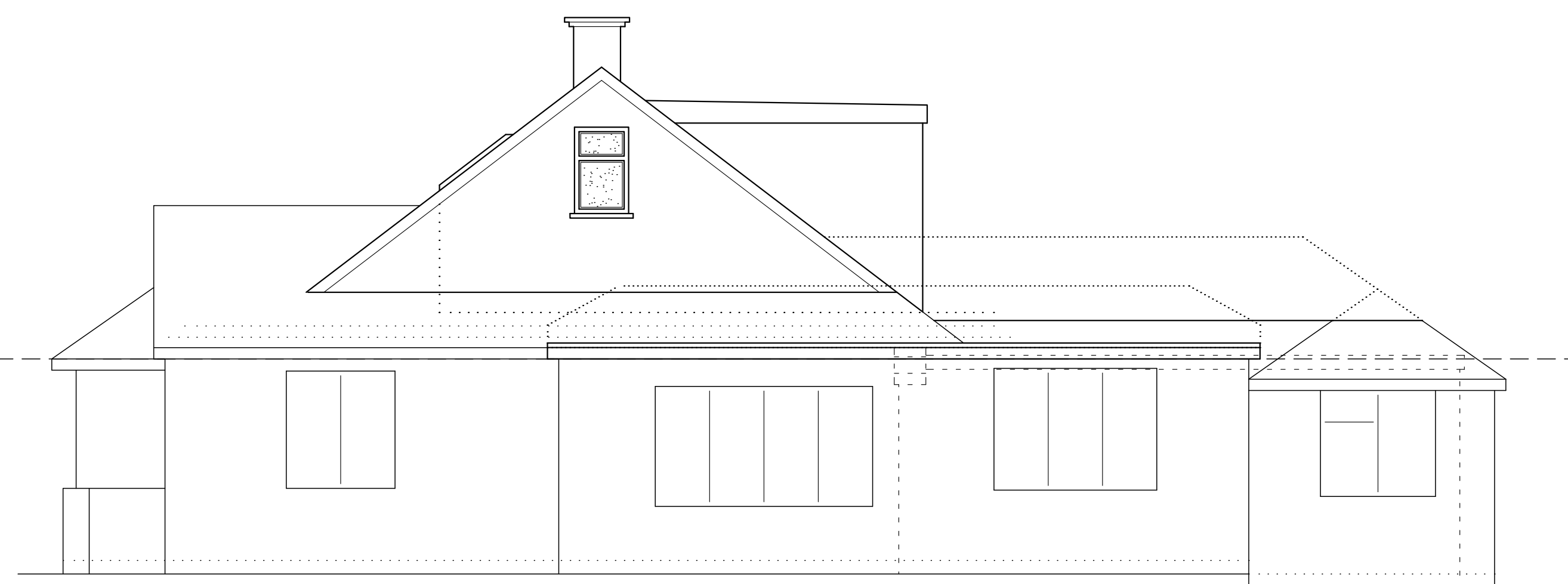


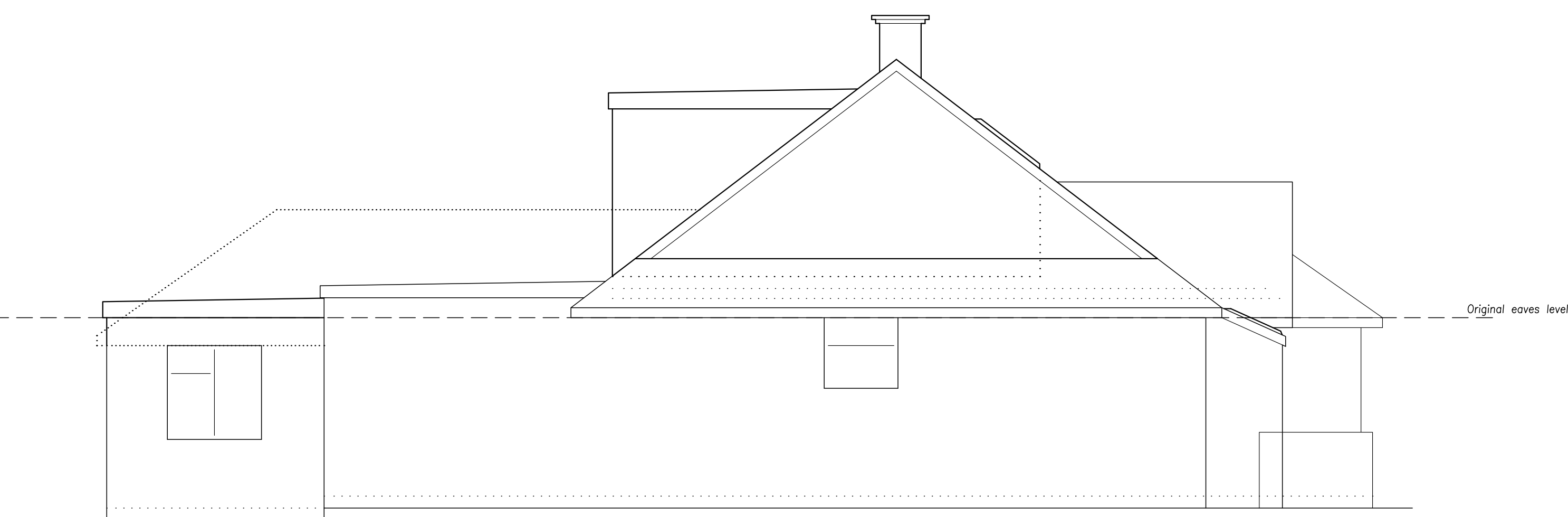
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION Garage shown dashed for clarity



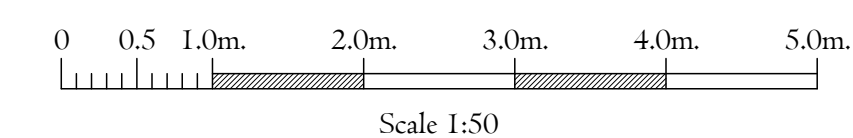
PROPOSED REAR ELEVATION Garden Building omitted for clarity



PROPOSED FLANK ELEVATION

External finishes:
 Extended roof: Matching plain tiling.
 Dormer and gables: Matching plain tile hanging.
 Joinery: uPVC frames.

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Permitted Development calculation: (cubic metres)		
Rear Dormer:	$7.600(w.) \times 3.235(dp.) \times 2.455(ht.) / 2$	= 30.18
Barn Ends:	$2/3.565(w.) \times 6.530(dp.) \times 2.495(ht.) / 6$	= 19.36
	Total extension volume	= 49.54

- PERMITTED DEVELOPMENT NOTES:**
1. New rooflights to project no more than 150mm. beyond the plane of the existing roof slope;
 2. Side-facing windows and rooflights to be obscure-glazed and non-openable below 1700mm. above the floor (stairs where adjacent);
 3. Retain min. 200mm. eaves of existing roof slope where practicable.

W.A.D. Ltd.
ASSOCIATES
 SBC House, Restmor Way, Wallington, Surrey, SM6 7AH.
 T: 020. 8715. 9300 / 07831.244491 E: Info@Williamson-Design.co.uk

Title PROPOSED LOFT ROOMS
Address
 175, SAUNDERS LANE,
 WOKING, SURREY,
 GU22 0NT.
For Mr. & Mrs. T. Lewis.

Date MARCH 2023 **Scale** 1:50 (A1) **Drawn** GPW

Drawing Number
 L-1923-L-02/3B

Revisions:
 A: 12.x.23: Planning amendment: Replacement flat roof shown.
 B: 23.11.24: Further Planning amendment: Replacement flat roof eaves lowered.