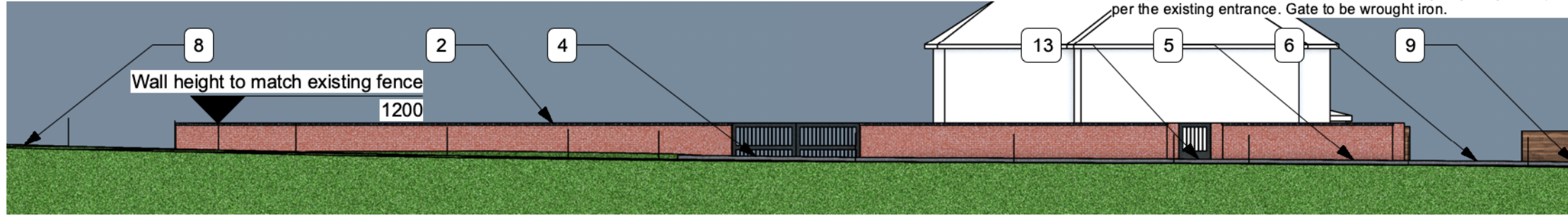
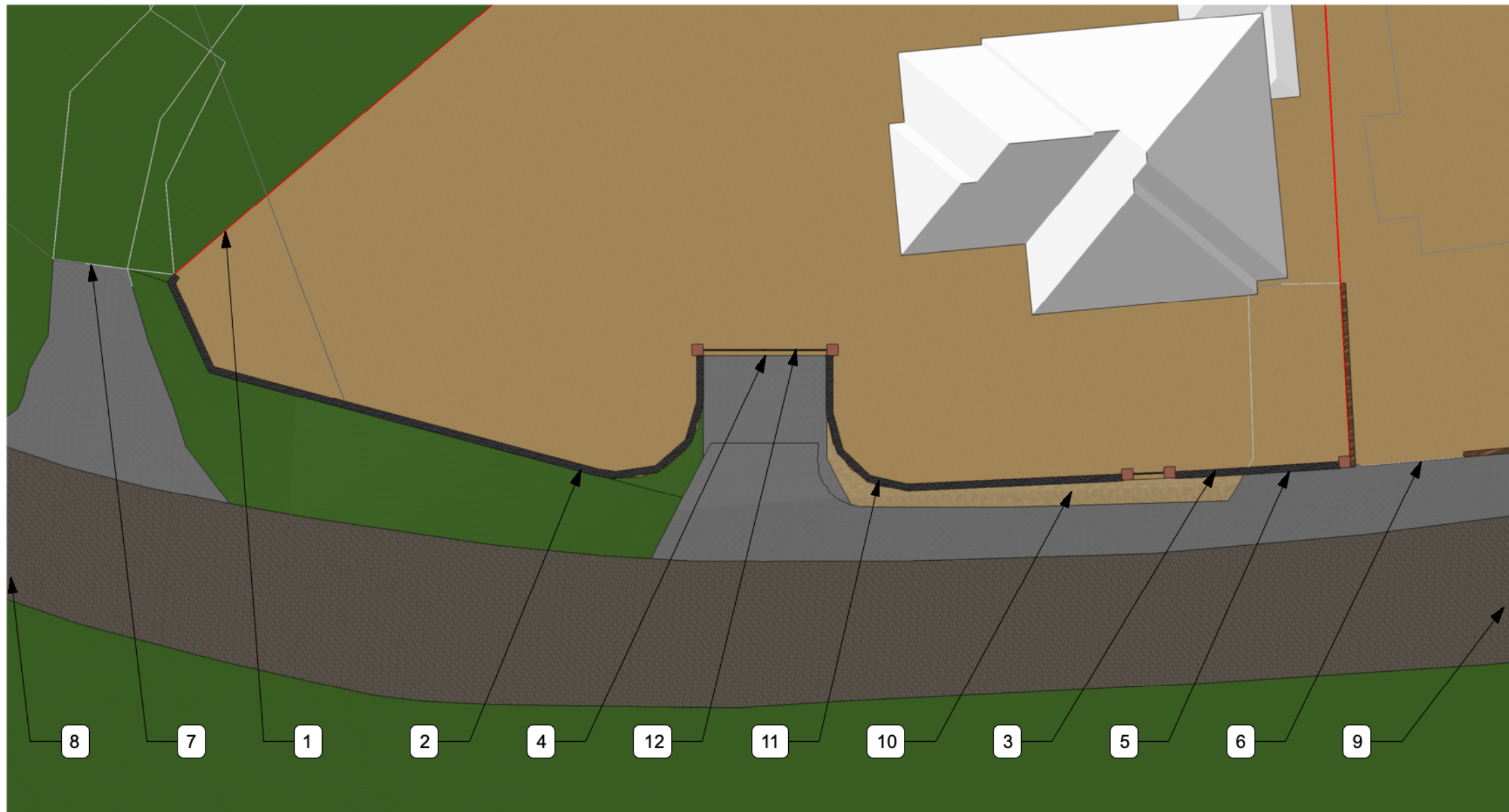


Proposed Drive Notes

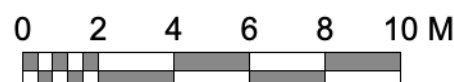
1. Property perimeter outlined in red.
2. New brick perimeter walls built to match height of existing close boarded fencing. Wall to have blue brick coping stones to the top of the wall, both brickwork and copings to match appearance of sample image in application documentation.
3. New brickwork perimeter wall to be set back from existing perimeter wall location, to allow for visibility splays from the new driveway entrance & also allow for the visibility splay from the neighbouring property. Brickwork to match appearance of sample image in application documentation.
4. New reconfigured property driveway entrance to allow for a clear 8m from Hinckley Road kerb edge. Gates being set back will allow for vehicles to completely pull off the road whilst the gates are opened.
5. Alteration to approved planning application 22/0153/HH. Proposed boundary wall to extend across former parking space.
6. Neighbouring property's driveway entrance.
7. Asphalt access road to agricultural land.
8. Hinckley Road, up the hill to M69 bridge.
9. Hinckley Road, to village centre.
10. New pea gravel bed to fill land where existing perimeter wall is located. Existing pavement to be edged with kerbstones & gravel bed to be 30mm lower than pavement level to prevent gravel creeping onto footpath.
11. New curved walls to new driveway entrance, to have a radius of 3m to roadside face.
12. New wrought iron gates to swing into property with remote control access.
13. New pedestrian entrance in relocated wall, using original garden path as per the existing entrance. Gate to be wrought iron.



4 Property Entrance Elevation - Proposed
Scale: 1:200



3 Property Entrance Plan - Proposed
Scale: 1:200



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GENERAL DRAWING NOTES

© This drawing is not to be shown to any Third Party unless agreed by The Design Social.

This drawing shows 'design intent' only. It is the responsibility of the appointed contractor to finalise development, using specialists approved by The Design Social, & produce detailed working drawings. ALL working drawings to be approved by The Design Social prior to manufacture.

REV.	DATE	NOTES	REV. BY
C	30/01/2024	Alteration to application 22/0153/HH. Proposed wall extends across frontage.	B.R.
B	10/05/2022	Coping stones added to CO's comments	B.R.
A	06/05/2022	Gates & posts amended to CO's comments	B.R.

Edward Wilkes			
Easton House, Hinckley Road, Aston Flamville, LE10 3AG			
Proposed Drive Plan			
AUTHOR	B.R.	DATE	15/02/2022
APPROVED	E.W.		
SCALE	AS NOTED @ A3	READ WITH	0216 (A) GA 001
DRAWING No.	0216	(A)	GA 005 C
Project No.	Type	Area	Number
DRAWING STATUS			
For Approval			