

# 2116

Bradstone Garden Cottage,  
Shalford

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## Design and Access Statement

In support of a full planning application for the demolition of the existing conservatory, residential extensions internal works and associated landscaping.

Construction of residential annexe on the site of to be demolished Garage.

February 2024

**Lytle Associates**  
ARCHITECTS



Fig. 01 - Existing Site Location Plan

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Fig. 02 - Aerial view of site

## Introduction

**1.01** Lytle Associates Architects have been appointed by our private clients to prepare a Design & Access Statement in support of a planning application for the side and rear extensions with associated annexe at Bradstone Garden Cottage, Shalford.

**1.02** National and local planning policy and design guidance has informed this Design and Access Statement. In particular, the 'Guildford Borough Green Belt Supplementary Planning Document (November 2023), the 'Guildford Borough Local Plan Strategy and Sites 2015-2034' (2019) and the 'Guildford Borough Residential Extensions and Alterations' (2018) design guide. Reference was also made to the National Planning Policy Framework (NPPF) which introduced 'a presumption in favour of sustainable development', published in December 2023.



Fig. 03 - View of the existing main shared gable.



Fig. 04 - Side / front view of the existing property.



Fig. 05 - Rear view of existing property.



Fig. 06 - View of front elevation of existing garage

### Site Location & Character

**2.01** The site is located within the village of Shalford, immediately south of Guildford, Surrey. The property is a Victorian three bedroomed house of traditional construction with facing brickwork and tile hanging and a plain clay tiled roof, a main gable features painted timber work with render to the rear. The property sits within the Shalford Village boundary and is located off of the Christmas Hill road (B2128), a key arterial route which links the centre of Shalford and Wonersh. The property has with good accessibility to the village centre and its various facilities which are approximately a 13 minute walk away, with pavements along the roadside and bus stops located along Christmas Hill.

**2.02** The property does not sit within a conservation area but does within an Area of Great Landscape Value (AGLV) and within an identified area of the green belt, although we consider that the property should fall into the Village settlement. The Site of Nature Conservation Importance abuts the front of the site. Shalford Village is semi-rural in character with local amenities such as a Post Office, Pharmacy, Convenience Stores and Public Houses. A railway station provides good links to Guildford and the wider Surrey area.

**2.03** The property is set within spacious grounds of over 1.5 acres which contains a wooded area, pond, well house, gazebo and greenhouse. A stream also cuts through the sloping rear garden of the property with generous views offered towards the Chantries across the Royal Grammar School Chilworth Playing Fields. A detached four-car garage is also located on the property, however due to its age and thin concrete panel construction is now starting to fall into a state of disrepair.

**2.04** The existing main house comprises of three bedrooms with a small upstairs bedroom and bathroom, dining room, kitchen, utility, and study. The property also contains two lounge areas, a garden room and conservatory. Over time, the property has become outdated for modern living, with additions creating a series of smaller spaces which do not flow together. This does not create a comfortable internal environment which meets the needs and desires of 21st Century family living.



Fig. 06 - Shalford Village centre (google).



Fig. 07 - View of the property from Christmas Hill, showing pavement off of main access road to site (google).



Fig. 08 - Shalford village sign off of Christmas Hill with access road to the property circled in red in the background (google).



**3.01** The Guildford Borough Local Plan: Strategy and Sites 2015-2034 (LPSS) named Shalford as one of the 'inset villages' in terms of defined areas of the greenbelt under 'Policy P2 (2)(c) (ii)'.

**3.02** The recently adopted Green Belt Supplementary Planning Document (Greenbelt SPD) confirms that the villages named under this policy, are to be excluded from the Greenbelt and that all properties set within the main settlement area, as defined by the policies map, would not to have their development proposals considered against the policies set out in the Greenbelt SPD.

**3.03** Bradstone Garden Cottage falls just outside the main settlement boundary of Shalford when viewed on the policies map. However, the Greenbelt SPD states that the main settlement of a village boundary is not definitive and that it is possible to argue that properties should be considered as 'in the village' which would be judged on a case specific basis, we believe that an argument can be made to demonstrate that the property should be considered as part of the main village.

**3.04** Whilst various factors will be considered to determine if a property should in fact be deemed as part of the village, the Greenbelt SPD states that attention is likely to be paid to the following considerations (our responses are held out below)...

- The presence of a pavement rather than a grass verge along the road frontage -

*A pavement is located immediately adjacent to Bradstone Garden Cottage on Christmas Hill with a dropped kerb serving the access road to the property. This pavement is continuous from the property into the Shalford Village and associated amenities.*

- Accessibility of day-to-day services and facilities –

*The property is located on Christmas Hill, with direct access to the centre of Shalford, with the train station a 15 minute walk or 3 minute drive. The Shalford Village Hall is located only half a mile away from the property site.*

- Location of reduced speed limit signs or signs with the village's name -

*Christmas Hill, which is located immediately adjacent to the property site operates under a 40mph speed limit. The 'Shalford' village road sign is located further to the east, past the property if driving down the B2128 towards Wonersh.*

- Presence, proximity and relationship of neighbouring properties -

*Whilst the property sits outside central Shalford, it is located on Christmas Hill in proximity to surrounding larger standalone properties which sit in large plots such as Bradstone Brook, Grove Cottage, Old Croft, Lantern Cottage, and Laurel Cottage. The property is a semi-detached dwelling shared with Kitchen Garden Cottage.*

- Pattern of development and relationship to the main built-up area and the surrounding countryside –

*The property is near surrounding larger standalone properties which sit in large plots. The dwelling is located set back from Christmas Hill which is the main arterial route linking the centre of Shalford to Wonersh and out to Cranleigh.*

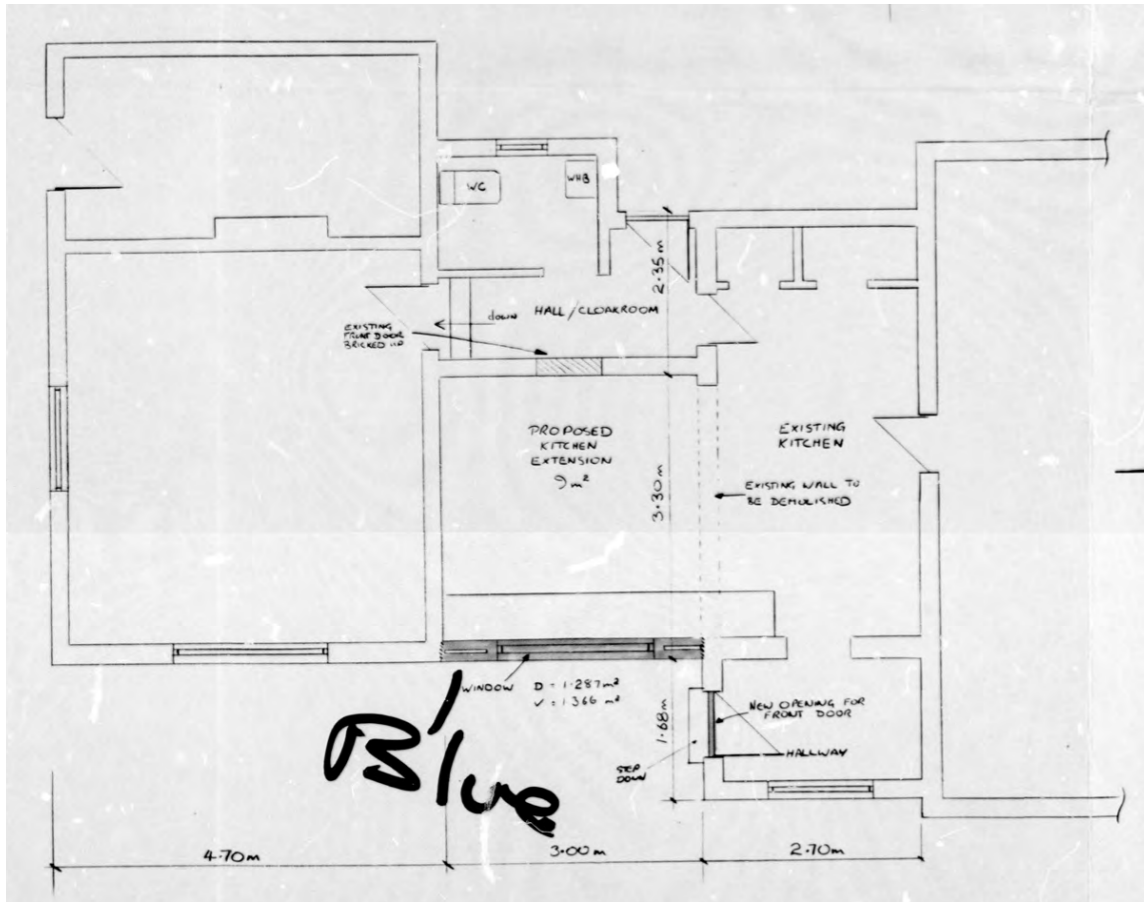


Fig. 09 - Previous approval REF: 82/P/0425 - Proposed ground floor plan (NTS)

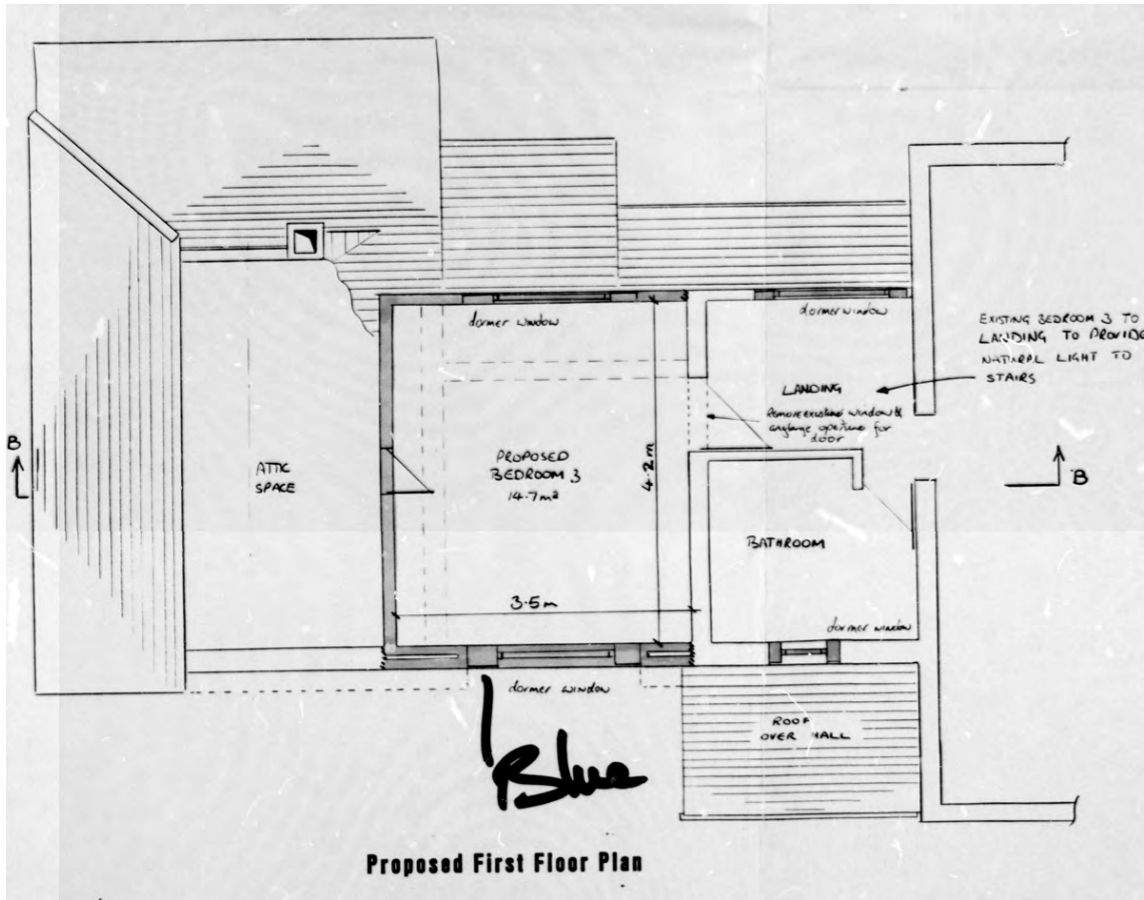


Fig. 10 - Previous approval REF: 82/P/0425 - Proposed first floor plan (NTS)

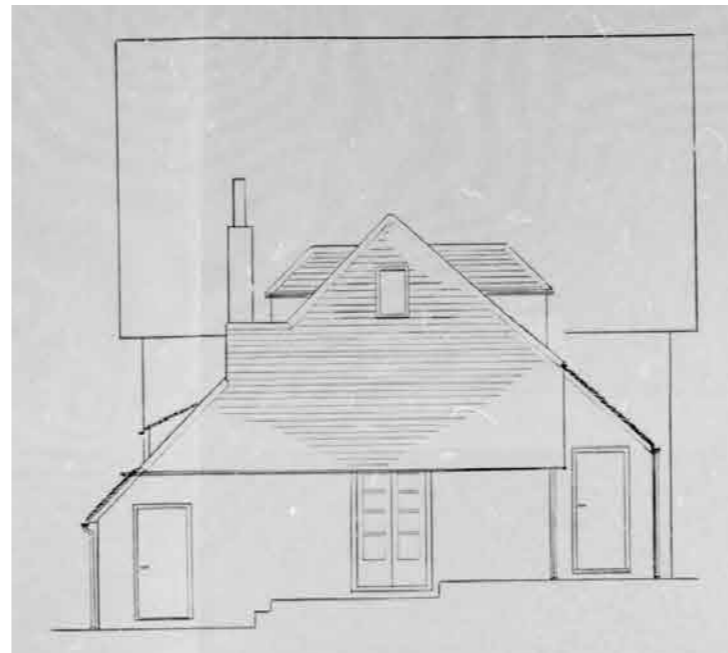


Fig. 11 - Previous approval REF: 82/P/0425 - Proposed Side Elevation (NTS)



Fig. 12 - Previous approval REF: 82/P/0425 - Proposed Front Elevation (NTS)

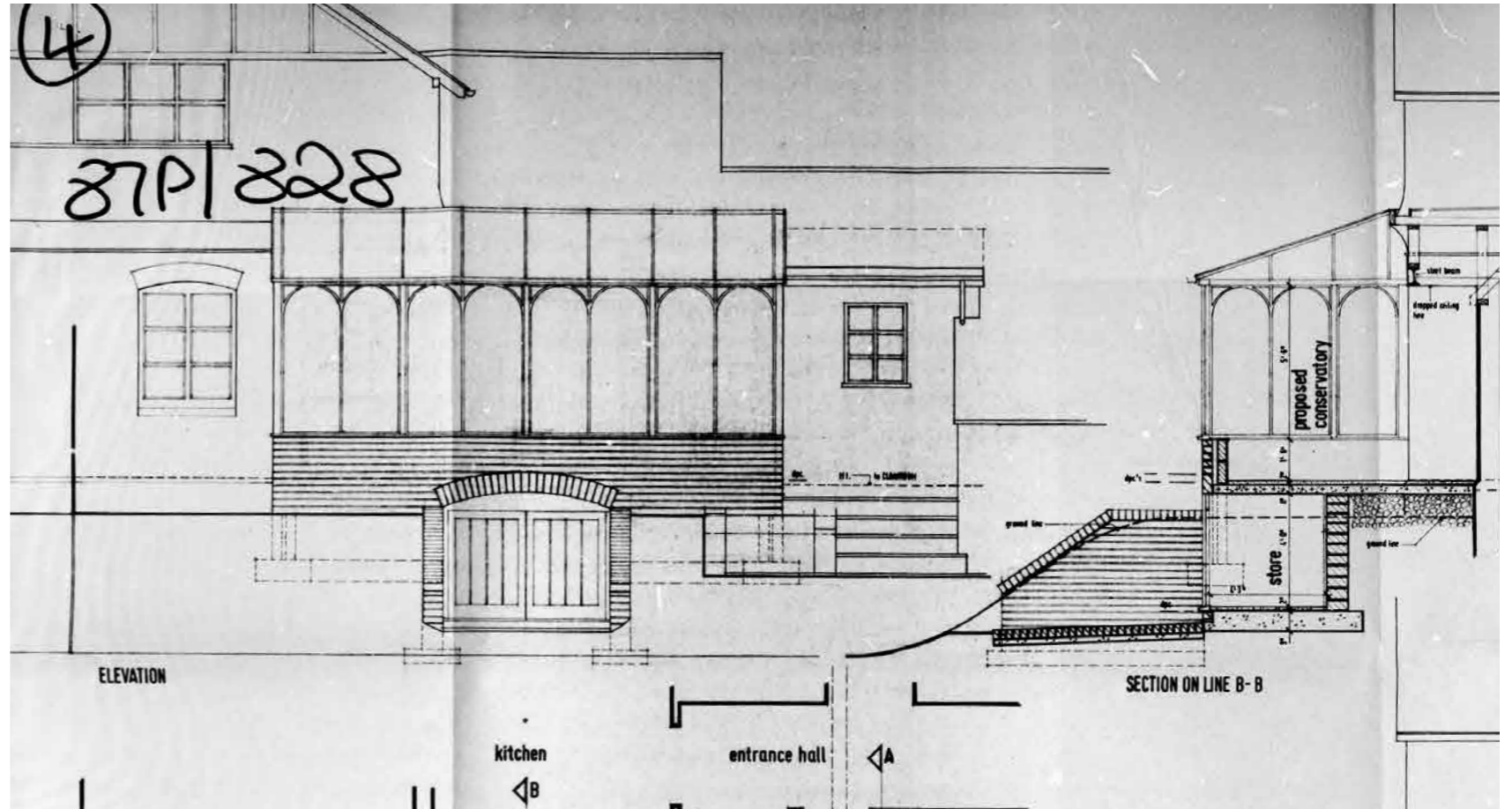


Fig. 13 - Previous approval REF: 87/P/0828- Proposed Rear Conservatory Elevation and Section through Basement Store (NTS)

Bradstone Garden Cottage:

The property has been the subject of the below previous planning applications:

- **82/P/0425** – Approval was granted in 1982 for the two-storey extension to provide enlarged kitchen on the ground floor and enlarged bedroom on the first floor. These extensions were not subsequently built out.

The approved extensions would have provided additional kitchen area by infilling the existing space between the projecting gable of the lounge and the kitchen and knocking through the existing kitchen external wall. A new external door was approved on the side wall of the existing Utility Room to act as the new entrance.

This infill extension was two storey with the external wall line of the existing bathroom carried through to provide an additional well sized bedroom, accessed off the existing bedroom 03 that would have been converted into a landing.

The form of the previously approved extensions intended to join to the ridge line of the existing pitched roof over bedrooms 01 & 02 which would then join into the pitched roof of the projecting lounge gable, forming a catslide. Front dormer windows were approved to serve the new bedroom and existing family bathroom and rear dormers were approved to the new bedroom and newly formed landing. Finally, a roof light was approved to the side elevation within the catslide roof.

- **87/P/0828** – Approval was granted in 1987 for a new conservatory to the rear, which was later erected. The application also included for a basement store directly under the conservatory however this was not constructed.

- **90/P/1185** – Approval was granted in 1990 for a single storey side extension to provide a new Garden Room, which was constructed.

Neighbouring Properties:

Various developments have been approved for the surrounding properties

The Coach House:

- **03/P/02000** – Planning approval was allowed on appeal subject to conditions in 2004 for a two-storey side extension with first floor balcony following demolition of conservatory.

The Lodge:

- **04/P/01140** – Listed Building Consent was granted in 2004 for new window and door openings and internal alterations.

- **11/P/01280** – Approval was granted in 2011 for the proposed glazed link/ extension to the south elevation.

Lantern House:

- **12/P/01527** – Planning approval was granted in 2012 for a single storey side and rear extensions. This was later amended under planning application REF: 13/P/00116 to allow for proposed side extensions and internal alterations.

Dockenfield:

- **15/P/00221** – A certificate of lawfulness was issued in 2015 for a proposed development to establish whether a single storey rear extension would constitute permitted development.

- **15/P/00722** – Planning approval was granted in 2015 for the proposed replacement of the existing glazed entrance hall with a single storey entrance hall and porch.

Bradstone Brook:

- **14/P/01894** – Planning approval was granted in 2015 for the erection of two single storey rear extensions

Grove Cottage:

- **06/P/00945** – Listed Building Consent was granted in 2006 for the creation of an underground wine cellar in rear garden with connecting walkway to main house and associated landscaping.

Ashley House:

- **20/P/01291** – Planning approval was granted in 2021 for the Erection of a care home with parking, access, landscaping and other associated works following demolition of the existing structure.

Kitchen Garden Cottage (adjoining property):

- **08/P/00657** – Approval was granted on appeal in 2009 for the erection of a single storey rear extension.

Within the appeal decision it is noted that both Kitchen Garden Cottage and Bradstone Garden Cottage have been extended over the years with single storey side extensions and the erection of conservatories. When considering the application, Guildford Borough Council calculated that the additional 26 meters of floorspace proposed would constitute in an 81% increase in floor space when combined with the other extensions against the original dwelling that this would result in a disproportionate addition that would negatively impact the openness of the greenbelt (GB). However, the appeal was allowed on the grounds that the Council's key consideration of the "potential impact of the extension itself on the openness of the GB and the visual amenities of the GB in terms of its size, scale, design, materials and character" did not provide a clear strategy to judge if a development is disproportionate and an application should not be judged solely in an increase in floor area against the original dwelling.

It was also noted within the appeal decision that Guildford Borough Council concede that "small extensions may not necessarily be refused permission where there have already been a number of extensions to the new dwelling". When considering the application, the Appeal Inspector found that the mass or design of the extension was inkeeping with the existing dwelling and that it would be sited sufficiently away from the shared boundary to protect the amenity of Bradstone Garden Cottage. It was also deemed suitable that the extension would not be visible from the road and would not detract from the AGLV.



Fig. 14 - Existing Front View



Fig. 15 - Proposed Front View



Fig. 16 - Existing Rear View



Fig. 17 - Proposed Rear View

**5.01** The scheme proposes the demolition of the existing conservatory with the erection of a basement store, single storey rear extension and two storey side and infill extensions, internal works and associated landscaping. These alterations aim improve the flow of the main house, whilst offering much needed living space for our client's family through a more open, well connected series of rooms more suited to 21st century living.

**5.02** It is also proposed for the construction of a new timber clad annexe to sit in the same location and orientation as the existing garage which will be demolished.

**5.03** Close attention has been given to the guidance within the Guildford Borough Residential Extensions and Alterations Design Guide and the policies set out in the Guildford Green Belt SPD (November 2023) and the NPPF which states that one of the exceptions to approve development within the Greenbelt is "the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building".

The Guildford Borough Local Plan: Strategy and Sites 2015 – 2034 sets out the 'original building' is the building as it existed on 1st July 1948 or the first building that was originally erected after this date. Diagrams for what is believed to be the original building are included in the application.

**5.04** It is noted that there is no clear indicator as to what is judged as disproportionate development and the proposal's mass, bulk, external dimensions, footprint and height, the property size in relation to its plot and its visual impact will be considered. Appropriate measures have been taken to ensure that the proposals are not overbearing upon the original dwelling but are subservient and complimentary to it. The existing property is set within a sloping site to the rear which falls away from the property, the proposed basement store is part submerged into the existing levels which severely reduces its visual impact, its external doors and windows are intentionally positioned to line through with those on the single storey extension above and are lower in height to appear subordinate to the main house. A small set of external steps from the garden is proposed with a separate general access stair from the rear terrace leading down to the store.

**5.05** Careful consideration has been paid to the design of the proposals at the front of the property to ensure that they are well balanced and subservient to the existing appearance and character of the existing dwelling. The two-storey infill extension allows for the entrance door to the property to be placed on the front elevation, this helps to retain the character of the existing and encourages an active frontage that faces onto Christmas Hill. This is an improvement when compared against the previously approved plans for application REF: 82/P/0425, which had reworked the ground floor to have the entrance door on the side elevation.

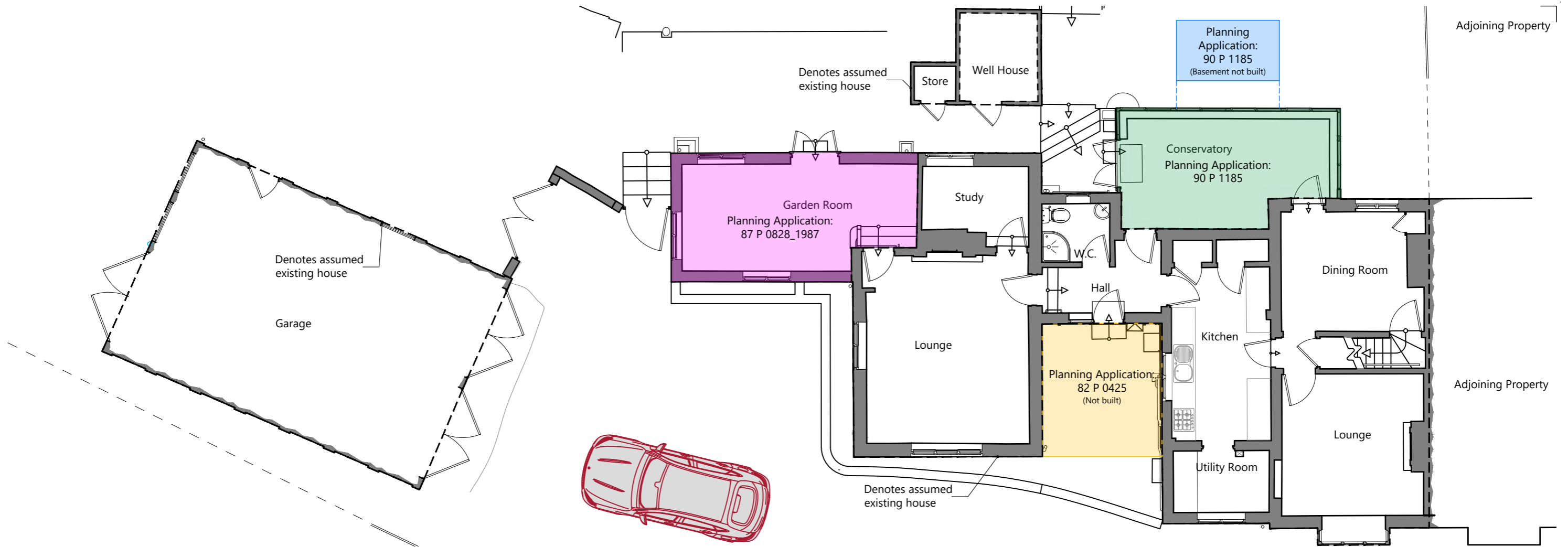


Fig. 18 - Existing Ground & First floor plans - floor area studies

**Existing:**

|                                  | GF                | 1F               | Total (House)     | Garage           | Well House & Store | Total             |
|----------------------------------|-------------------|------------------|-------------------|------------------|--------------------|-------------------|
| Original (pre 1948)              | 96m <sup>2</sup>  | 47m <sup>2</sup> | 143m <sup>2</sup> | 50m <sup>2</sup> | 6m <sup>2</sup>    | 199m <sup>2</sup> |
| Current                          | 130m <sup>2</sup> | 47m <sup>2</sup> | 177m <sup>2</sup> | 50m <sup>2</sup> | 6m <sup>2</sup>    | 233m <sup>2</sup> |
| % increase (Original to Current) | 35%               | 0%               | 24%               | 0%               | 0%                 | 17%               |

**Total:**  
 Existing floor area = **199m<sup>2</sup>**  
 Previously Approved additional floor area = **64m<sup>2</sup>**  
 Previously approved additional floor area (built) = **34m<sup>2</sup>**  
 Previously approved additional floor area (not-built) = **30m<sup>2</sup>**

**% Increase:**  
 Previously Approved additional floor area = **32%**  
 Previously approved additional floor area (built) = **17%**  
 Previously approved additional floor area (not-built) = **15%**

**Historical Planning Applications:**

|                                       | BF                           | GF                            | 1F                            | Garage           | Well House & Store | Total (Additional)                               |
|---------------------------------------|------------------------------|-------------------------------|-------------------------------|------------------|--------------------|--|
| Original (pre 1948)                   | -                            | 96m <sup>2</sup>              | 47m <sup>2</sup>              | 50m <sup>2</sup> | 6m <sup>2</sup>    | -  |
| 87/P/0828 - (Conservatory & Basement) | +4m <sup>2</sup> (Not Built) | +15m <sup>2</sup>             | -                             | -                | -                  | 19m <sup>2</sup> (Inc 4m <sup>2</sup> Not Built) |
| 90/P/1185 - (Garden Room)             | -                            | +19m <sup>2</sup>             | -                             | -                | -                  | 19m <sup>2</sup>                                 |
| 82/P/0425 - (Not Built)               | -                            | +10m <sup>2</sup> (Not Built) | +16m <sup>2</sup> (Not Built) | -                | -                  | 26m <sup>2</sup> (Not Built)                     |

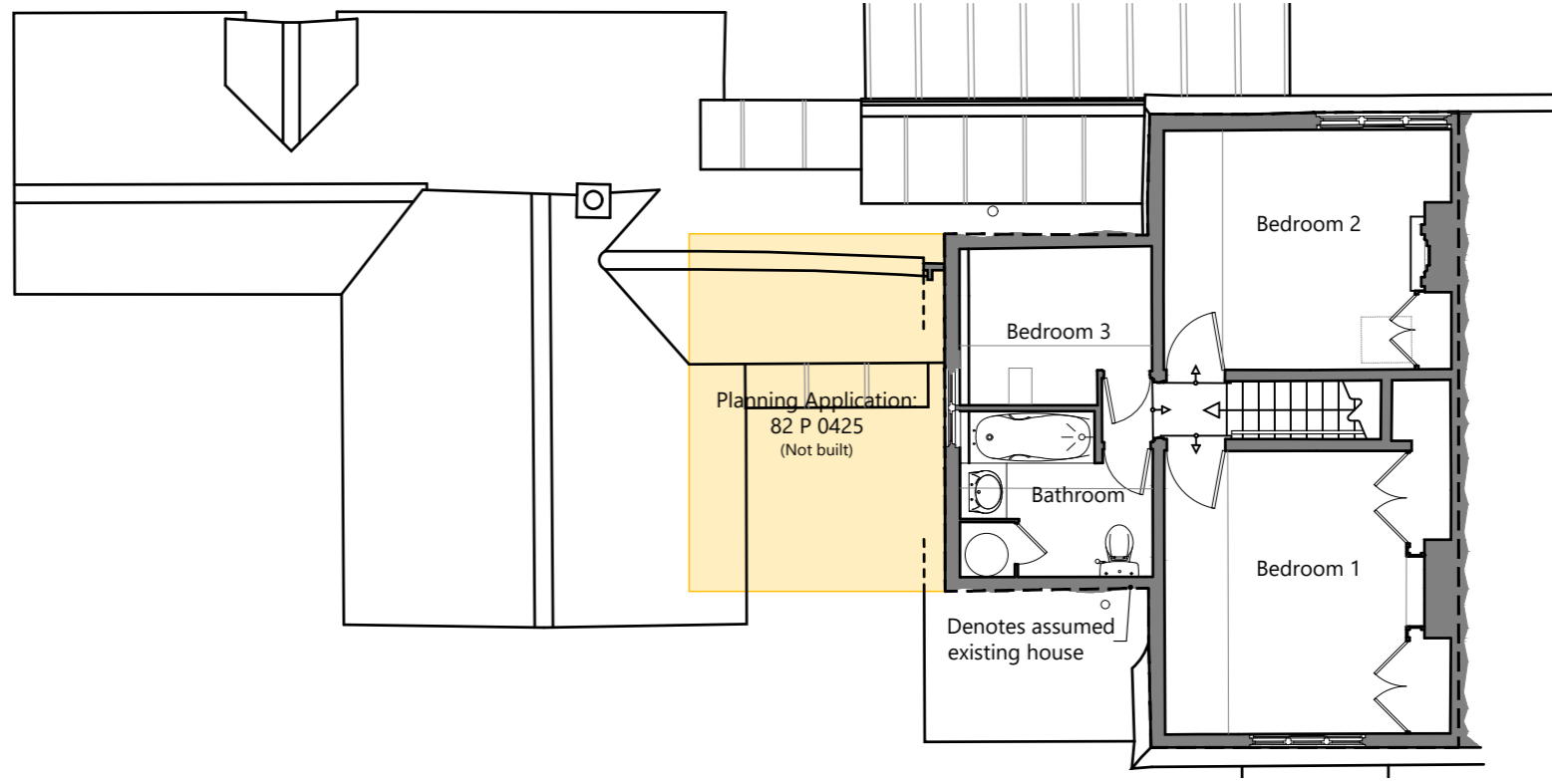


Fig. 19 - Floor area study calculations

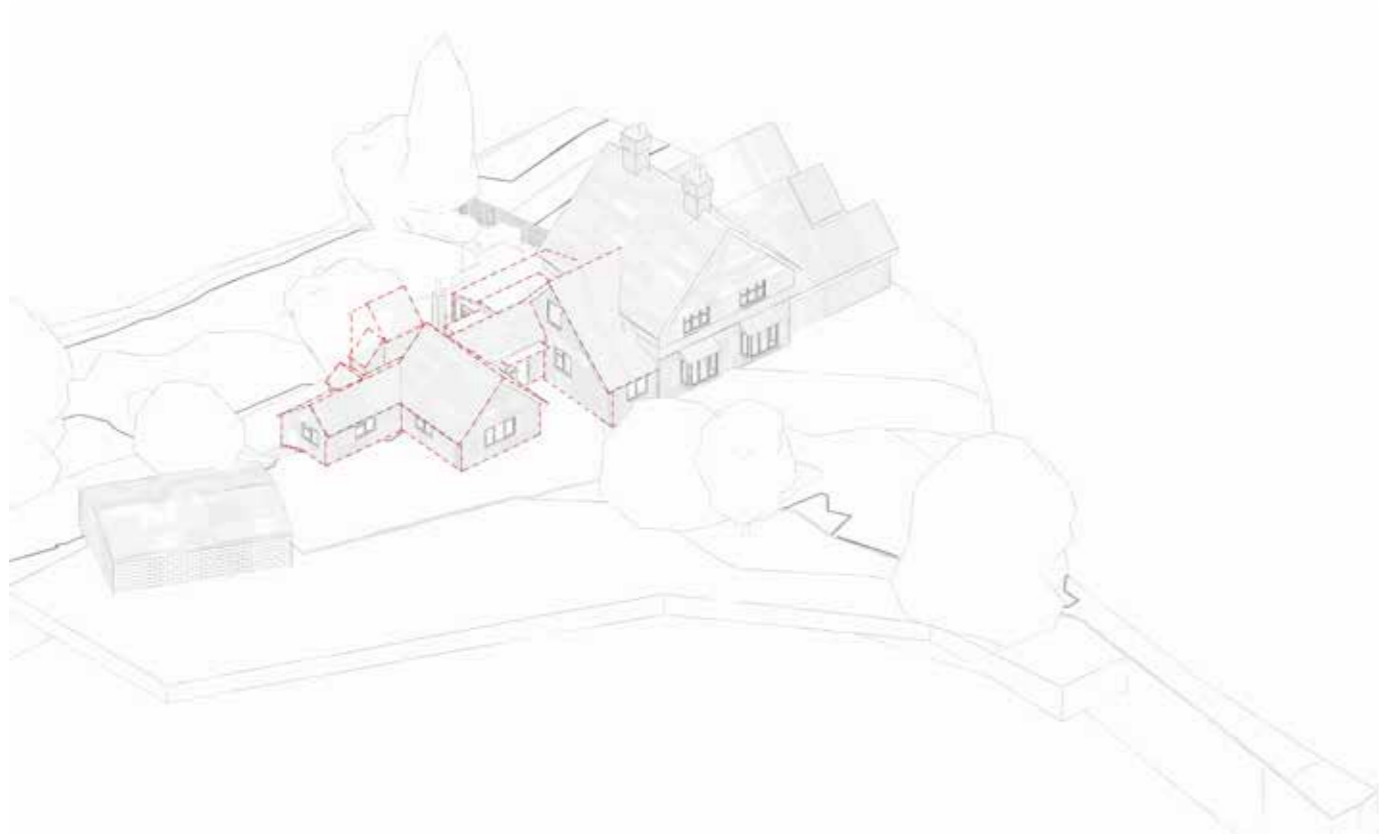


Fig. 20 - Front axonometric view of existing mass.



Fig. 21 - Rear axonometric view of existing mass.

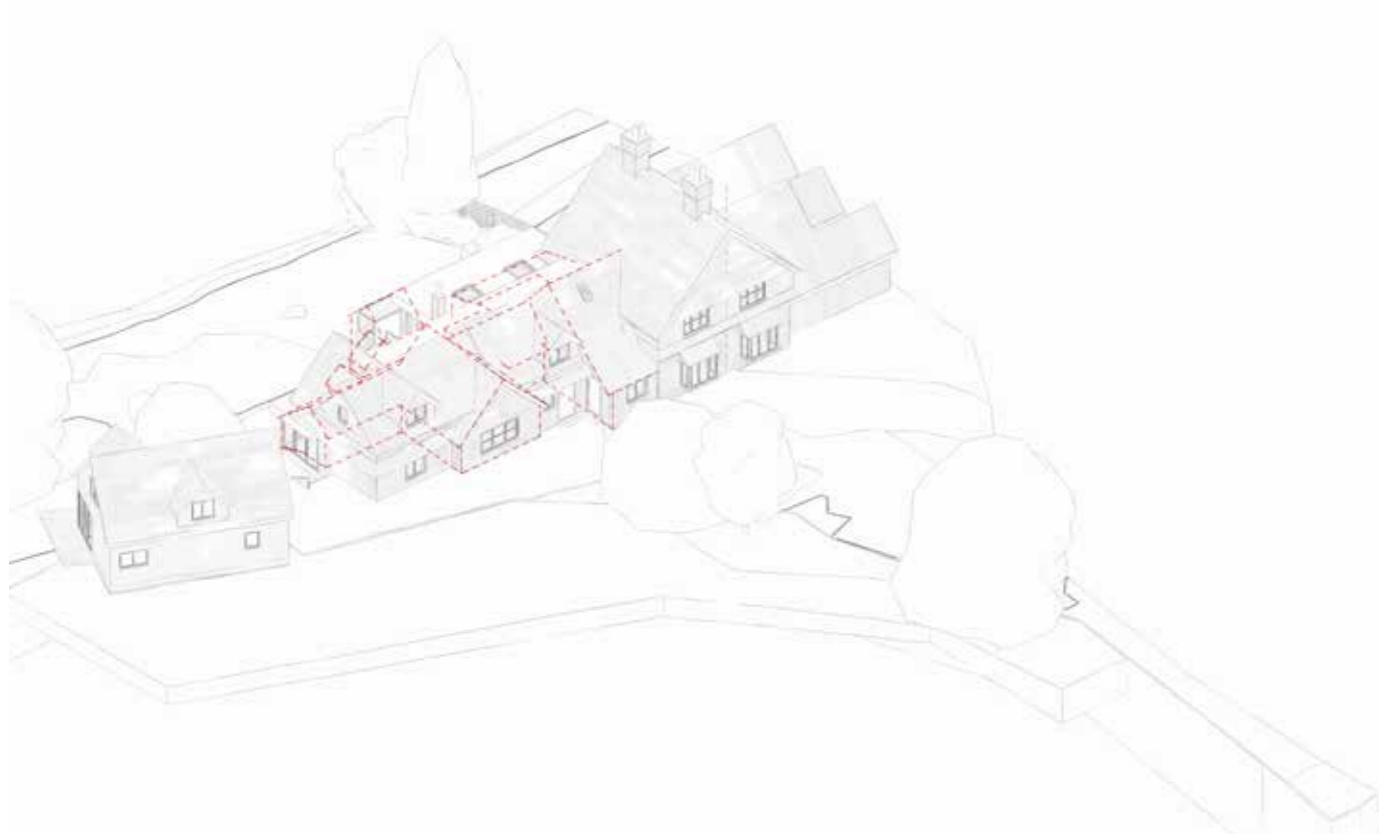


Fig. 22 - Proposed front axonometric view (Existing mass in red).

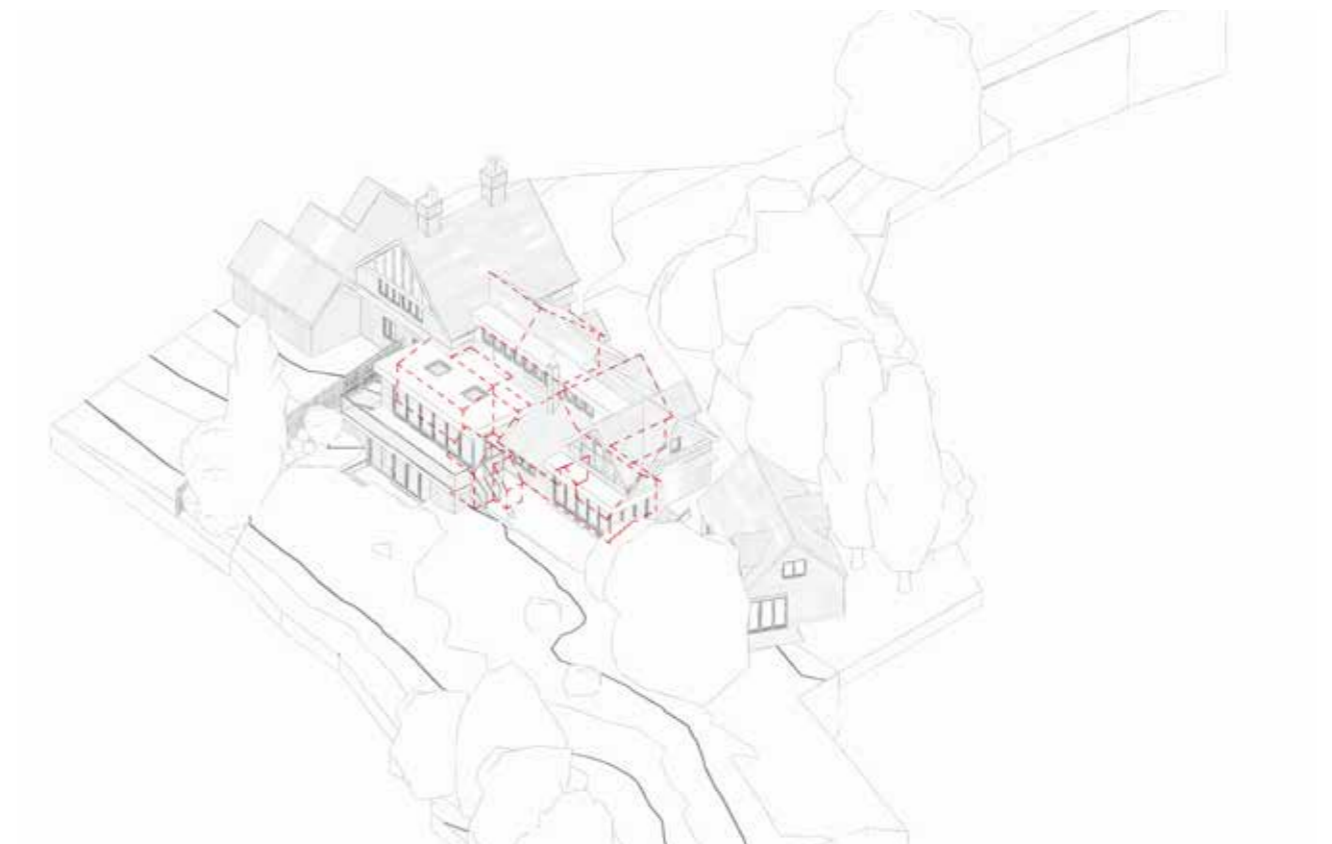


Fig. 23 - Proposed rear axonometric view (Existing mass in red).

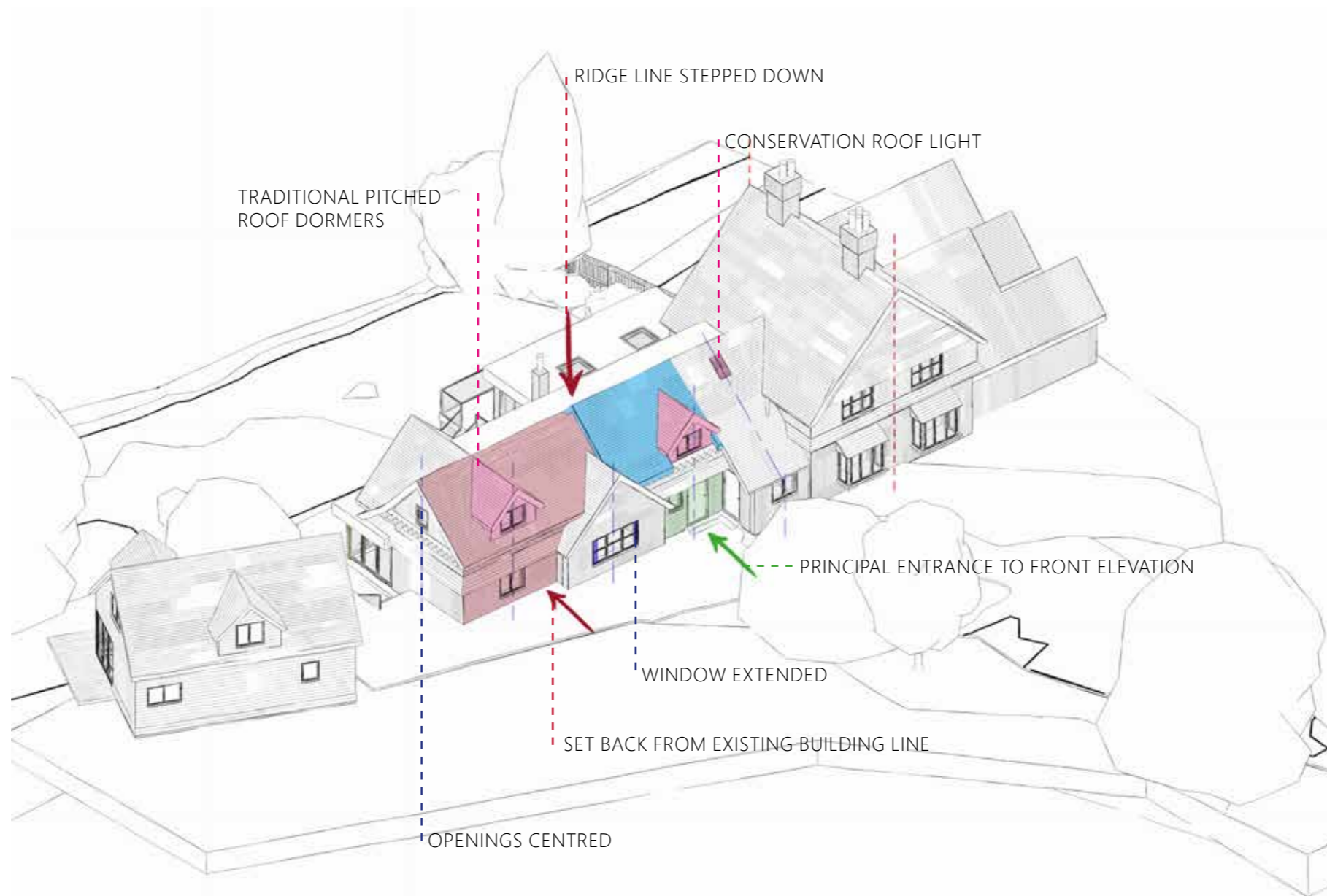


Fig. 24 - Front proposals diagram





Fig. 25 - View of site from Christmas Hill in Winter, the main shared gable is visible from the street. Area to the west is obscured by tree screening.



Fig. 26 - View of site from Christmas Hill in Summer, both Bradstone Garden Cottage and its neighbour are not visible due to heavy tree screening.



Fig. 27 - Front facing dormers at Hill House



Fig. 28 - Front facing dormers at Falcon Cottage



Fig. 29 - Front facing dormers at Clock Cottage



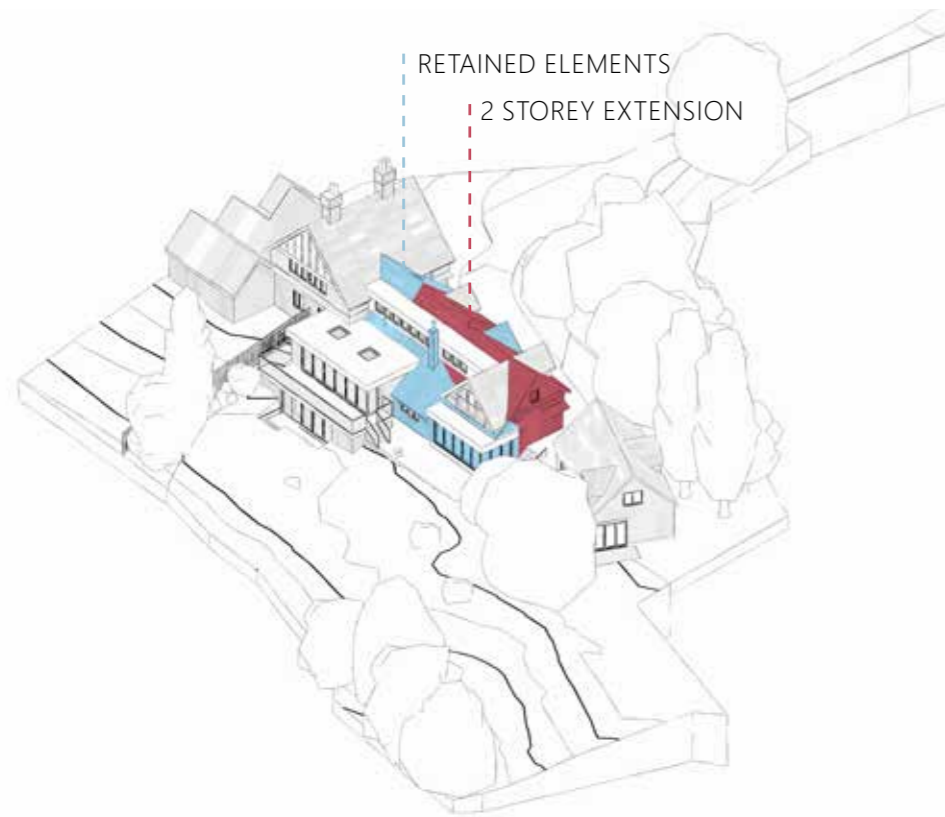
Fig. 30 - Artists impression showing front dormers at Ashley House.

**5.06** Whilst it is proposed to carry through the existing ridge line (which was also the case in the previous approval REF: 82/P/0425), the ridge and eaves level of the side extension has been stepped down positioned in line with the centre of the existing projecting gable. The external wall line to the left hand side of the existing projecting gable is also set back to communicate its subservience to the original dwelling. These steps will contribute to an overall aesthetic which ensures that the design is well balanced and integrated sympathetically back to the original house, shown by the main roof line continuing through to the rear on the same pitch as the existing.

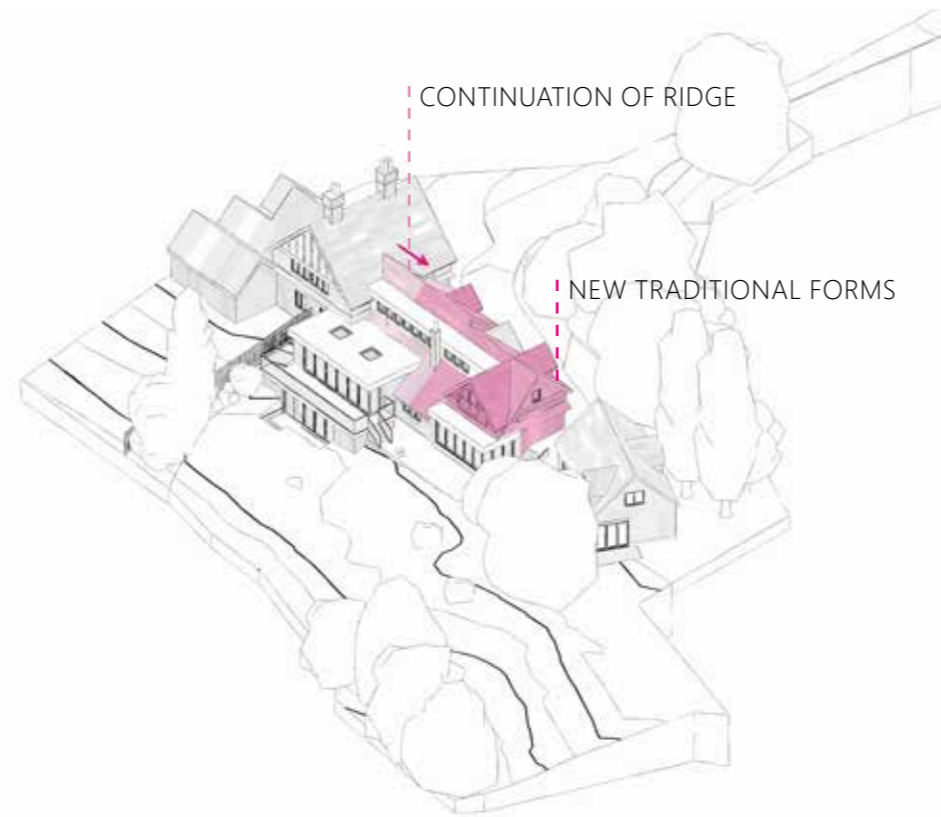
**5.07** A roof light of a 'conservation style' is proposed over the existing family bathroom. Two identical pitched roof dormer windows are proposed to the front elevation servicing the additional bedrooms, these are carefully positioned to line through with windows and doors below. This can be seen as an improvement to the previous approval (REF: 82/P/0425) which proposed two pitched roof dormers to the front elevation which were not uniform in their appearance.

**5.08** Although, front facing dormer windows are not present at Bradstone Garden Cottage or its neighbour, examples of this can be seen in the wider context of the site at Falcon Cottage, Hill House, Clock Cottage and the new care facility at Ashley house currently under construction. All of which are visible from Christmas Hill / Kings Road. Due to the existing property being set back from Christmas Hill and the high levels of screening available, visibility of the proposed dormer windows and the two-storey side extension will be extremely limited with only the main shared gable of the original house visible from the main road.

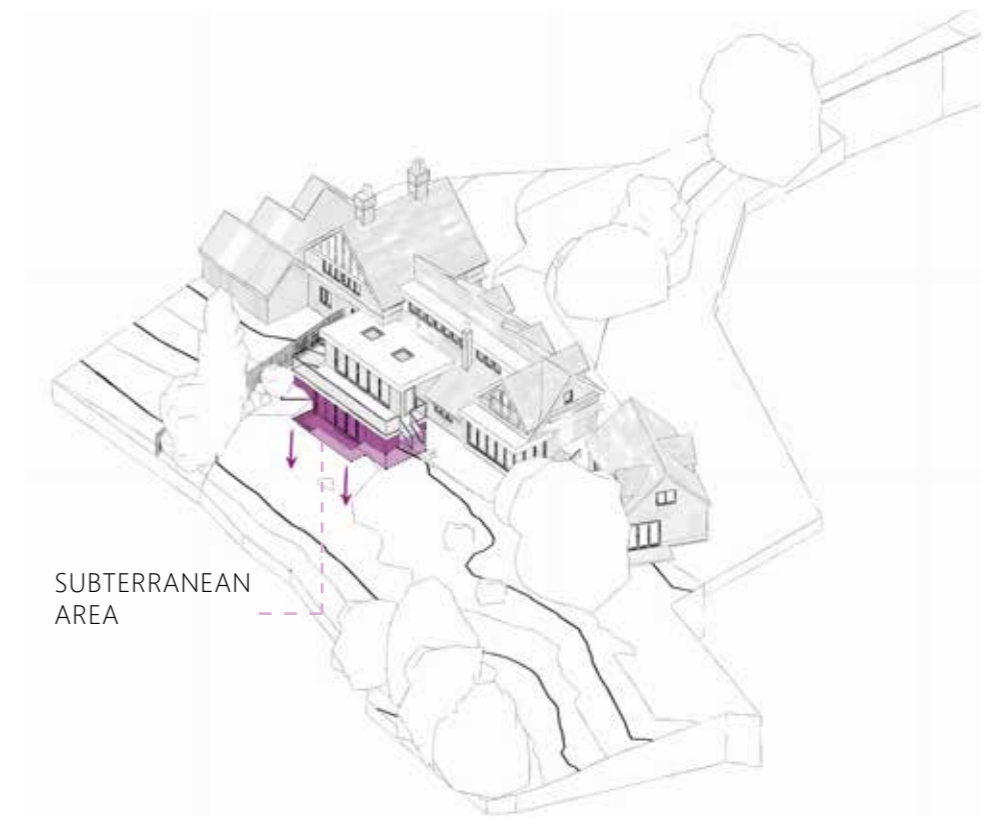
**5.09** The proposals also seek for the small enlargement of the existing Study window to the rear and Lounge window to the front elevation. All proposed and enlarged openings have been carefully positioned so that they line through with either roof ridges or other openings and are proportionate to the existing windows in their height and width to ensure that the existing character of the original dwelling is maintained. This application also proposes for direct replacement windows throughout, within existing openings, to improve the thermal performance. These are to be casement windows or fixed glazing (where appropriate) to retain the character of the existing, however no glazing bars are intended to improve the clients views offered out across their property. Careful consideration has been taken to ensure that their depth and position of mullions is directly related to match the symmetry of the existing and mitigate any visual impact. Finally, a window is proposed to the side elevation, this is facing the spacious grounds of the property and will have no impact on any neighbouring amenity. However, due to the proximity of the annexe it is proposed for this window to be opaque glazing.



RETAINING ELEMENTS AND RESPECTING EXISTING BUILDING LINES



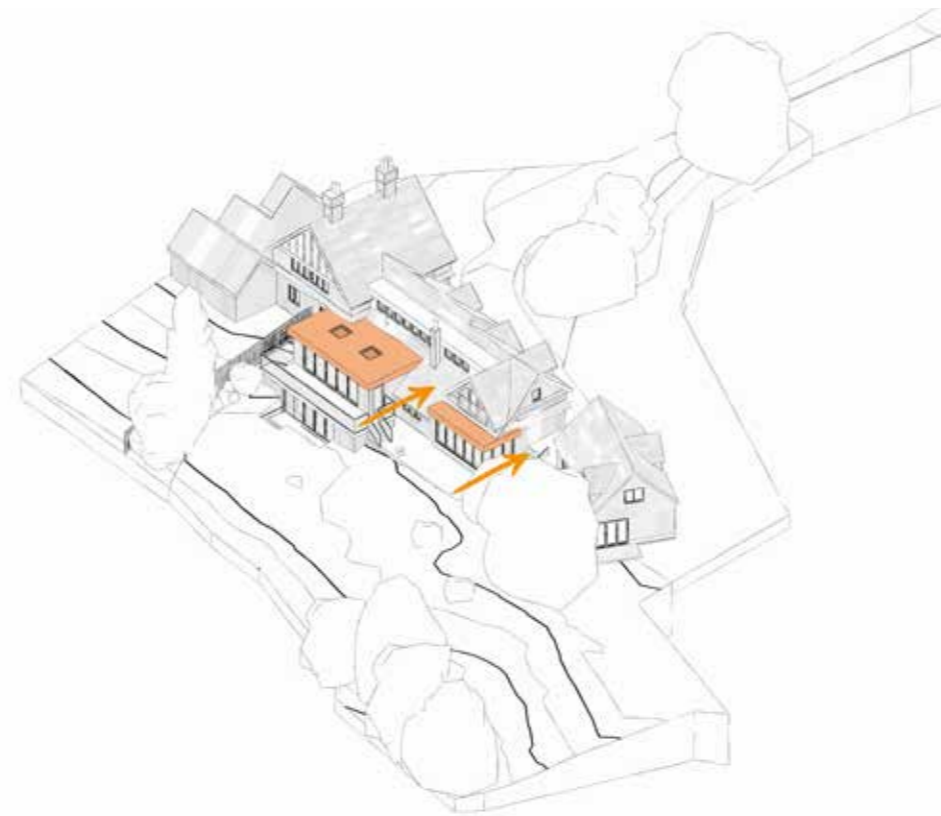
CONTINUING AND INTRODUCING TRADITIONAL FORMS



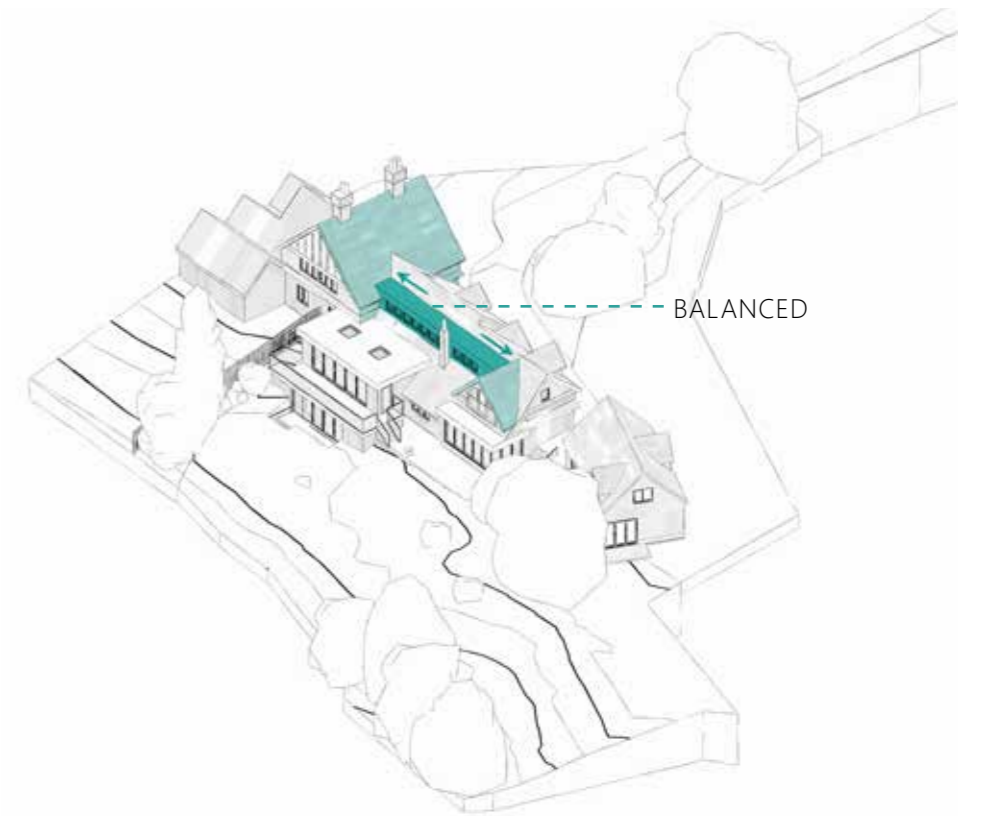
BASEMENT DEPRESSED INTO REAR LANDSCAPE



UNLOCKING VIEWS TO REAR LANDSCAPE



CONTEMPORARY FORMS INSERTED INTO TRADITIONAL ENVELOPE



FLAT ROOF DORMER BALANCED BETWEEN TWO GABLES

Fig. 31 - Design proposal diagrams

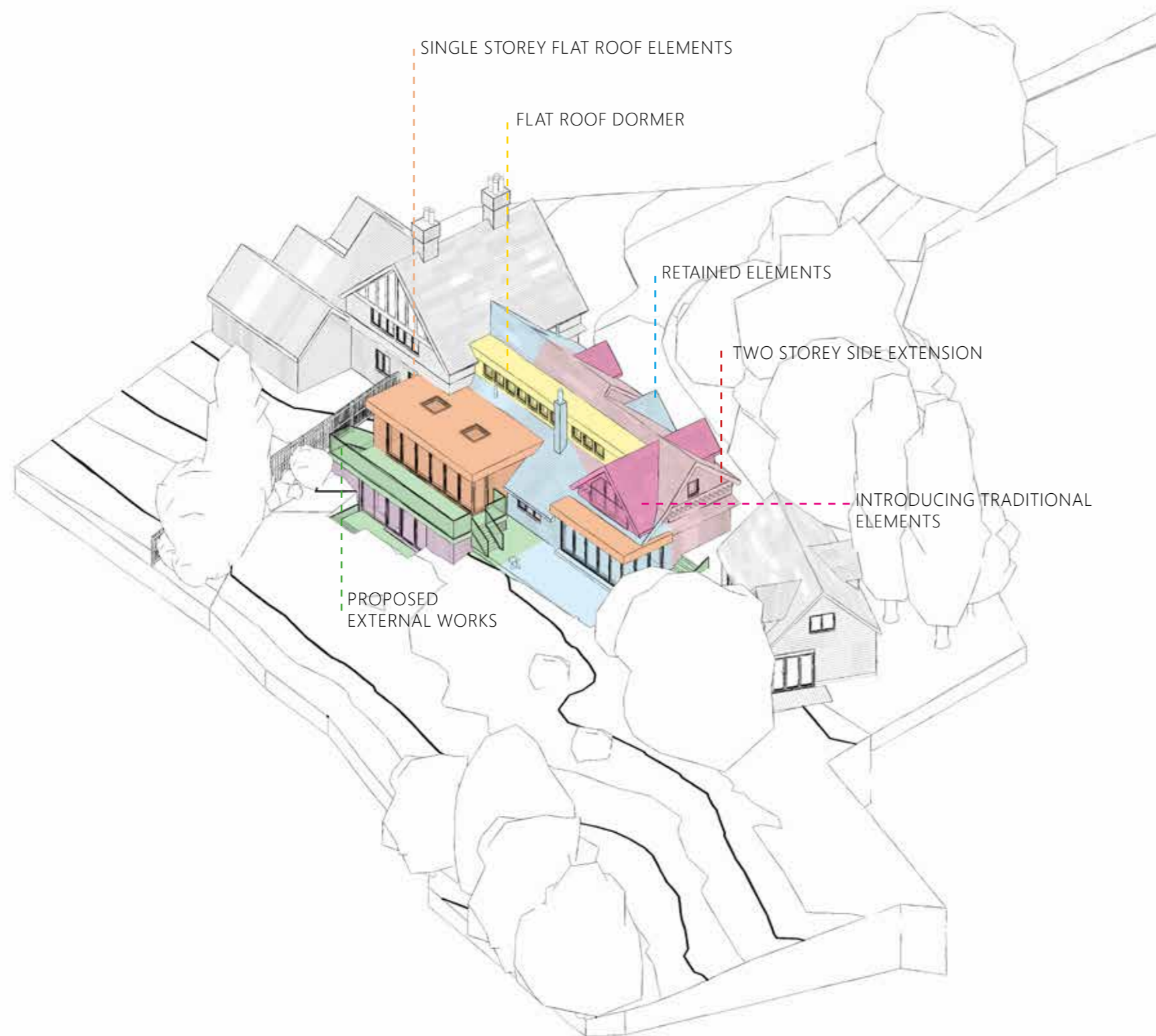


Fig. 32 - Rear proposals diagram

**5.10** To the rear, a prudent approach has been taken to mitigate the impact of the proposals upon the neighbour at Kitchen Garden Cottage. The scheme proposes to demolish the existing outdated conservatory and replace it with a single storey extension that follows the '45 degree rule' in order to preserve the levels of natural light to the immediate neighbour and in particular their ground floor window adjacent to the shared boundary. No windows to the side elevation of this extension are proposed, the existing screening at the shared boundary is to be retained and the side fall arrest of the external terrace will be formed of opaque glazing.

**5.11** The design approach for the rear extensions aims to achieve a more contemporary aesthetic whilst still being in keeping with the character of the original property so that the visual appearance of the greenbelt is retained. The design decision was taken to introduce flat roofs with deep overhangs that appear to 'puncture' through the existing property. The single storey flat roof extension, with roof lights over, will extend out further to the rear than that of the existing conservatory by just over 1 metre and will provide an open plan Kitchen/ Dining space to suit a modern style of living. The proposed flat roof to the West of the dwelling replaces the roof of the existing single storey garden room which has a low eaves, the introduction of a corner bifold door and an improved floor to ceiling height in the Open Plan Living Area will unlock views out towards the rear garden and out towards the Chantry which are currently severely limited in the existing Lounge and Garden Room.

**5.12** At first floor, a traditional rear gable projects out at the master bedroom, the external wall line of such is set back from the ground floor so that this reads as subservient to the main gable end whilst balancing out the rear elevation. A design decision was taken to not use the below Master Suite flat roof as a balcony, this would have added additional mass and ensures that both the gable and flat roof read as separate elements. Finally, a flat roof dormer extension with well-proportioned square windows spans between the two gabled ends to form a new landing, this will be of timber construction and is aimed to act as a sympathetic addition to the original house that will contribute to balancing out the rear elevation and not impose upon it.



Fig. 33 - Existing garage within site context



Fig. 34 & 35 - Side and rear view of existing garage

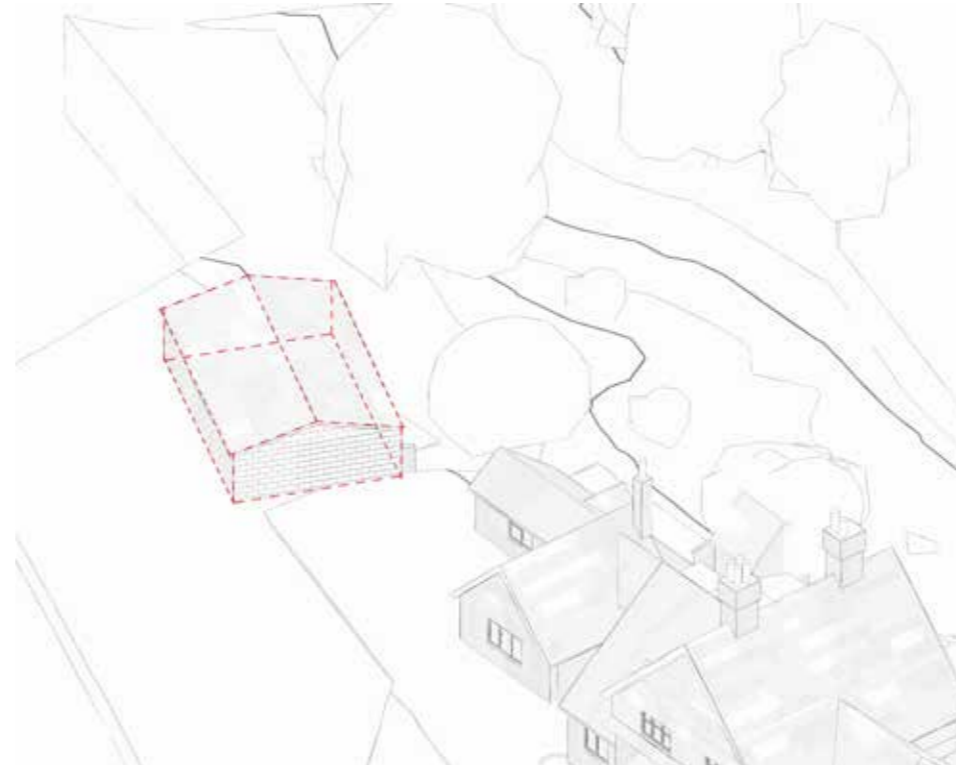


Fig. 36 - Front axonometric view of existing mass.



Fig. 37 - Proposed front axonometric view (Existing mass in red).

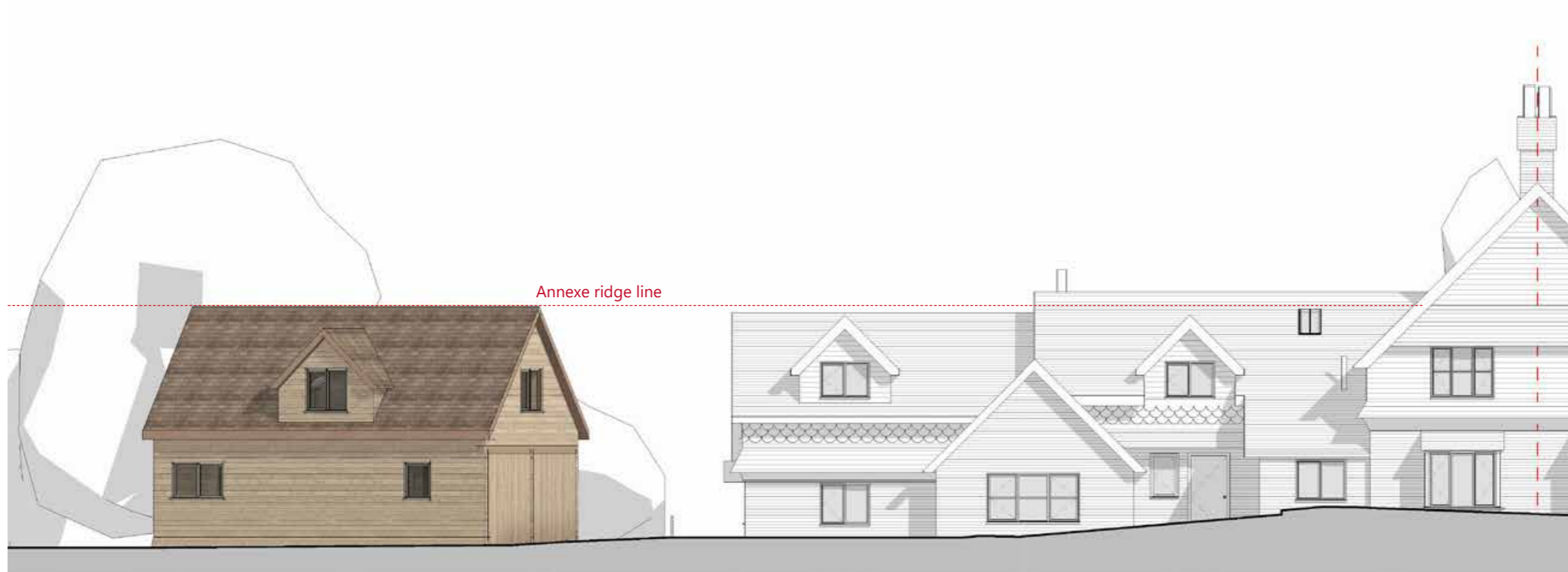


Fig. 38 - Site proposed front elevation, showing how ridge of annexe will be subservient to ridge height of existing main house (NTS)

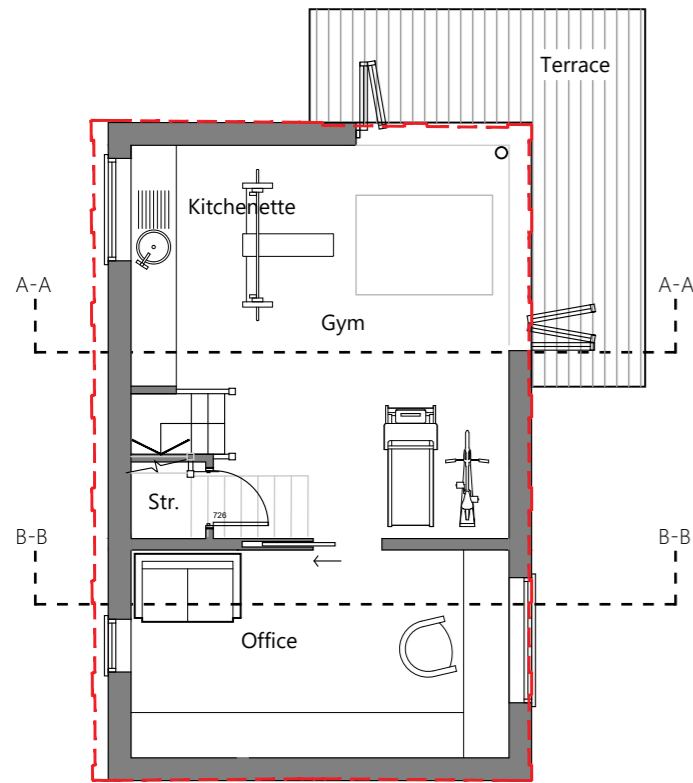


Fig. 39 - Proposed ground floor plan, showing how proposals will fit within the footprint of existing garage and will be the same orientation (in red).

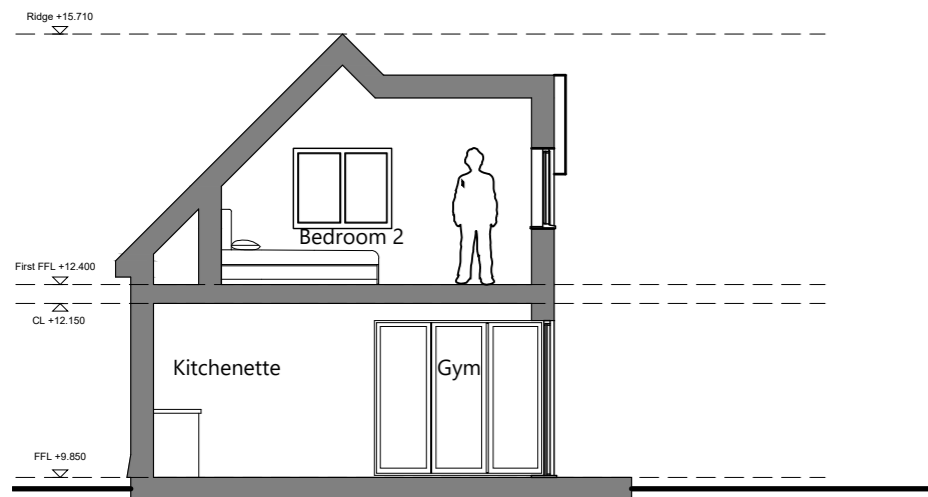


Fig. 40- Annexe section A-A

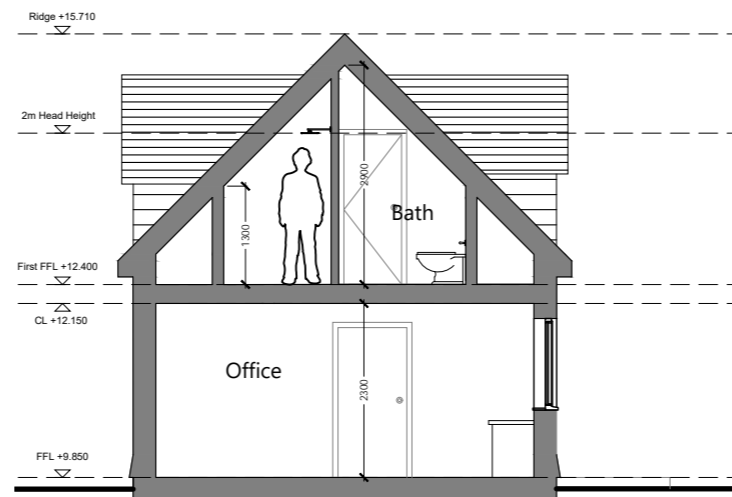


Fig. 41- Annexe section B-B

6.01 The existing garage is in a dilapidated condition, no longer serves our clients who have ample parking space on their existing driveway and is to be demolished under our proposals.

6.02 The NPPF provides that one of the exceptions to development within the greenbelt is for the 'replacement of a building' if it for the same use and not materially larger than the one it replaces. Further to this, Policy P2 (2)(b) of the Guildford LPSS asserts that "a new building will only constitute a "replacement" if it is sited on or in a position that substantially overlaps that of the original building".

6.03 A replacement standalone annexe is proposed that will be ancillary to the main house, with a kitchenette, office and gym space on the ground floor which will be used by our clients. A bedroom and bathroom on the first floor is proposed within the roof space for the enjoyment of our clients occasional guests, which is accessed via its own stair. Due to the proximity of the side elevation of the main house, it is proposed for the window to the first floor bathroom to be opaque glazing.

6.04 It is envisaged that the proposed Annexe will sit in the same site location and orientation as the to be demolished garage, comprising of a pitched roof with front and rear facing pitched roof dormer windows which are critical to maximise the internal head height within the roof space whilst ensuring that its overall height is as low as possible to be subservient to the main house.

6.05 Much of the architectural detailing on the Annexe is directly inspired by the existing main house and its proposals in order to respect its character, such as the inclusion of pitched roof dormers that compliment the proposed dormers to the front elevation of the main house and a corner bi-fold door which not only serves as the main entrance to the Annexe but also ties back to that proposed on the Open Plan Living Area.



Plain clay roof tiles, to match existing



Replacement windows to be white, to match existing



Zinc capped single ply flat roof fascia



Tile hanging, to match existing



feature club tiles, to match existing



Facing brickwork, stretcher bond to match existing



Fascias, soffits and bargeboards to be white, to match existing



Moulding and splayed tile detail to match existing



External doors on extensions to be white frame, to match existing



Adjoining Property

External doors in white, to match existing.



Fig. 42 - Proposed Side and front Elevations



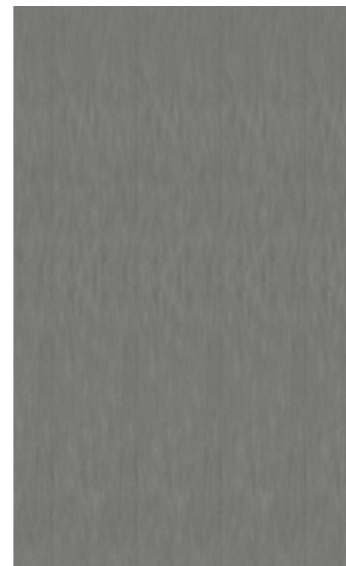
facing brickwork



plain tiles



Oak frame for flat roof rear dormer



Zinc capped flat roof



Timber shiplap cladding



Fig. 43- Precedent study of flat roof timber framed dormer balanced between two gables



Fig. 44- Precedent study of single storey extension with corner bi fold doors and deep roof overhang.



Fig. 45- Front view of existing garage

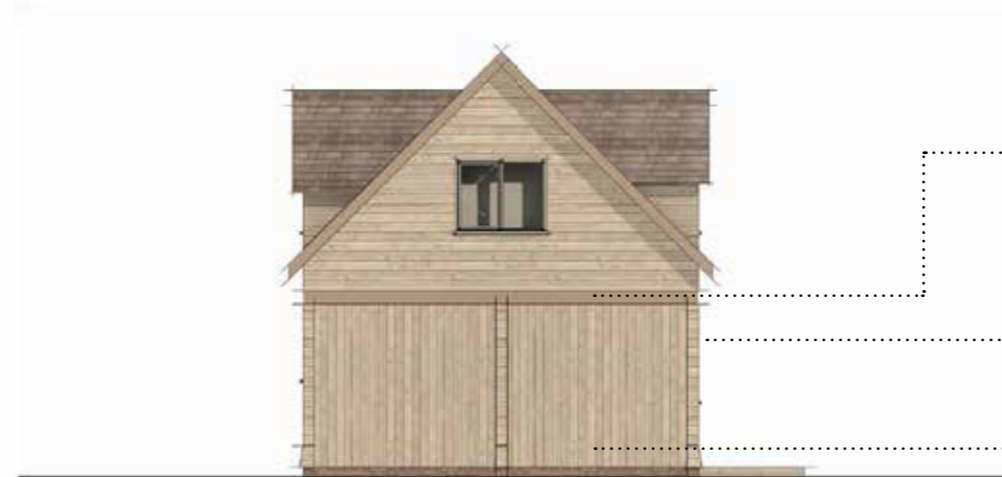


Fig. 46- Front view of proposed garage

Timber beam over to evoke existing beam over garage doors.

Horizontal shiplap timber cladding to evoke existing blockwork piers.

Vertical timber cladding in place of existing garage doors.

7.01 It is envisaged that the scheme would adopt a traditional palette of materials that matches with the appearance of the original building. This includes facing brickwork at DPC and ground floor levels, tile hanging with decorative club tiles at first floor and a plain clay tiled roof.

7.02 The architectural detailing is intended to match the existing shown by the replication of the moulded corncicing and splayed tile hanging on the main gable included on the two storey side extension.

7.03 The proposed Annexe will comprise of a timber clad finish with plain clay tiled roof. It is intended that this will provide a softer appearance compared to a traditional palette of materials that will not overpower, but instead communicate its subservience to the main house.

7.04 Finally, a design decision has been taken to communicate the annexe as a 'garage conversion' rather than a replacement building. This has been done by recreating the existing pattern of timber doors and blockwork piers, through the subtle differentiation in vertical and horizontal timber cladding. A timber beam will sit over the fixed doors to evoke the existing garage lintel.

'Secured By Design' principles have been applied to the development in terms of its design, layout and landscaping to minimise the risk of crime and maximise security, creating a safer environment.



Fig. 47 - Artists impression



### Philosophy and Approach:

**8.01** The requirements of Building Regulations Part M, 2015 now reflect to a much greater extent the notion that peoples' abilities are not uni-dimensional and change over time and with family and personal circumstances. The aim is to make buildings accessible to, and usable by, everyone including people with disabilities.

**8.02** It advises that an Access Statement should be provided at the start of, and during the building control process, and should accompany deposited plans. This should help building control bodies to make a judgment on whether building development proposals make "reasonable provision" for access. In 2006, the government in its circular 'Guidance on Changes to the Development Control System' went a step further and made it a requirement that consideration of access be formalised as part of a 'Design and Access Statement' at the planning application stage. Such a statement should consider access in terms of the accessibility of the site and inclusive access as promoted by the Disability Discrimination Act (DDA).

**8.03** To address the Disability Discrimination Act, consideration should be given at the design stage to ensuring disabled people are able to carry out normal day to day activities. The design philosophy is to reduce social exclusion and make the scheme accessible for people with all forms of disability, including people with sensory disabilities.

### Key Access Issues of the Design:

**8.04** The DDA defines a disabled person as someone with "a physical or mental impairment, which has sustainable and long-term adverse effect on his ability to carry out normal day-to-day activities." This development seeks to comply with the guidelines of Part M of the Building Regulations. This is achieved by ensuring reasonable provision is made for people with disabilities at entrances to and within new dwellings and the examples provided within Part M shall be used as guidance. Where examples are not provided in the Approved Document, interpretation and extrapolation may be required and solutions agreed with the Local Authority Building Control department, at the time of a Building Regulations Application. Generally, consideration has been given to:

- Approach
- Parking
- Entrances
- Horizontal & vertical circulation
- Access to services
- Emergency egress

**8.05** The requirements of Part M with respect to a 'level approach' and accessible thresholds are easily achieved. Within dwellings, corridors and door widths (especially to WC provision) are sized to ensure that the circulation within the entrance storey of the dwelling facilitates wheelchair use. Switches and socket outlets for lighting and other equipment in habitable rooms are to be positioned at an appropriate height of between 450mm and 1200mm from finished floor level.

### Access to Dwellings:

**8.06** Bradstone Garden Cottage is an existing dwelling that sits on a sloping site with a difference in ground floor level from east to west of 900mm approx. All existing floor levels are to be retained within these proposals which are accessed, like the existing condition, by sets of internal steps throughout. Level thresholds are proposed to the Annexe.

**8.07** As part of Building Regulations Part M for dwellings; Access to and Use of Buildings; design parameters are set out ensuring the following general criteria:

- The approach route should be safe and convenient for everyone, including older and disabled people and some wheelchair users. It should adopt the shallowest gradient that can reasonably be achieved and be step free where possible.
- The approach route should be level, gently sloping, or, where necessary, ramped, or where unavoidable, stepped.

**8.08** Principle private entrances to dwellings should comply with the following:

- The door has a minimum clear width opening of 775mm.
- Any threshold is an accessible threshold.
- Where a step into the dwelling is unavoidable, the rise is a maximum of 150mm and is aligned with the outside face of the door threshold.

In order to ensure an access and approach route that is safe and usable by everyone, the above principles are adhered to by all new build developments under statute.



Fig. 48- Proposed Artists impression

**9.01** This Design and Access Statement demonstrates the key criteria, context, planning history and policies from which a prudent set of proposals has been fully developed that does not seek to act as overbearing on the original property at Bradstone Garden Cottage or negatively impact the visual amenity of the greenbelt. The proposals achieve a well-balanced overall design that is subservient to the original house and can be seen as more inkeeping than the historic previous approval (REF: 82/P/0425). It has also been carefully considered to respect the character of the existing house by the use of its matching materials and architectural detailing whilst also introducing contemporary elements which are sympathetic to the traditional vernacular.

**9.02** Local and national policies have been instrumental in developing a design that maximises the potential of the existing property by creating a more open layout more suited to the needs of 21st Century family living and unlocking the views offered out to the rear of the site and beyond.

**9.03** The schemes provides for the successful development of the application site which accords with all the key planning and design policies and results in a high-quality design and layout which acts in harmony with the existing building and is not harmful to the visual impact of the greenbelt.

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