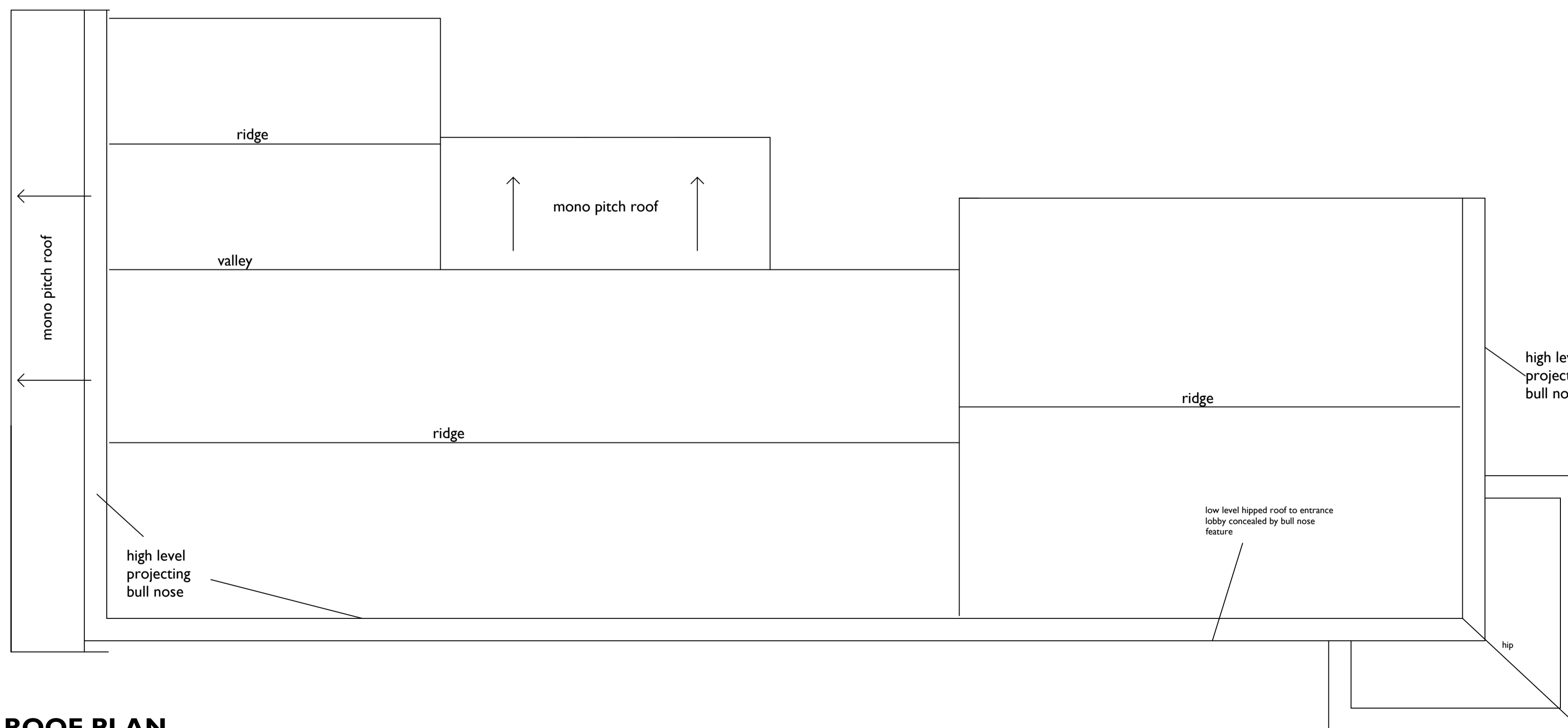


FLOOR PLAN

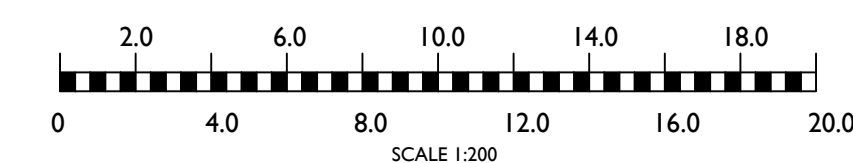
revision	date
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ROOF PLAN

Notes
 All work to be carried out in accordance with the requirements of the current Building Regulations, all relevant BS Specifications, Codes of Practice, Local and Service Authority Byelaws, and in compliance with the Local Authority Approvals
 Contractors must verify all dimensions on site before commencing any work, making any shop drawings or fabricating off site.
 Written dimensions should be taken in preference to scaled-off dimensions.
 If there are any discrepancies found between the drawing and site, the CRC Design should be notified immediately

PARTY WALL ACT 1996
 PLEASE NOTE THAT IF YOU INTEND TO CARRY OUT WORKS ON A WALL SHARED WITH ANOTHER PROPERTY, OR BUILD ADJACENT TO THE BOUNDARY WITH A NEIGHBOURING PROPERTY, OR EXCAVATE NEAR A NEIGHBOURING BUILDING YOU MUST FIND OUT WHETHER THAT WORKS FALLS WITHIN THE SCOPE OF THE PARTY WALL ACT 1996. IF IT DOES YOU MUST SERVE THE STATUTORY NOTICE ON ALL AFFECTED OWNERS



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project
**PROPOSED EXTENSION
 BOUNDARY OUTLET
 PARK LANE
 SHIREMOOR
 NEWCASTLE UPON TYNE**
 client
LIBRA TEXTILES

drawing title
**EXISTING FLOOR, ELEVATIONS &
 ROOF PLAN
 UNIT 2
 PLANNING SUBMISSION**

date JAN 2024	scale 1: 200 @ A1	drawing no. 1514-8
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