

PROPOSED REAR ELEVATION

CONSTRUCTION DETAILS

New Extension 4.78m wide x 4m long. Concrete foundations 600mm wide x 450mm deep, or sized to suit ground conditions, or otherwise directed by Building Control.

Standard cavity wall construction to comply with current building regulations, using concrete blocks for inner leaf, cavity insulation & concrete blocks & K render on outer leaf, together with stainless steel ties. Exposed external wall below DPC to have Class B engineering brickwork in colour to match existing. DPC to be Hi-Load, or similar upvc damp proof course laid to a minimum 150mm above the finished external ground floor level. Vertical DPC to be fitted to reveals to prevent cold bridging.

Internal wall face to have 12mm thick plaster board fixed with plaster dabs and skim finish. Finished wall to receive emulsion paint finish. Door opening to have suitably sized lintel.

Ground floor slab comprise of 65 grano screed over 150 thick mass concrete oversite, with A393 mesh reinforcement laid on 500 grade separating layer on 150 Celotex, or similar flooring grade insulation on 200 gauge DPM linked to DPC on walls, on 150 thick sand blinded selected and compacted hardcore.

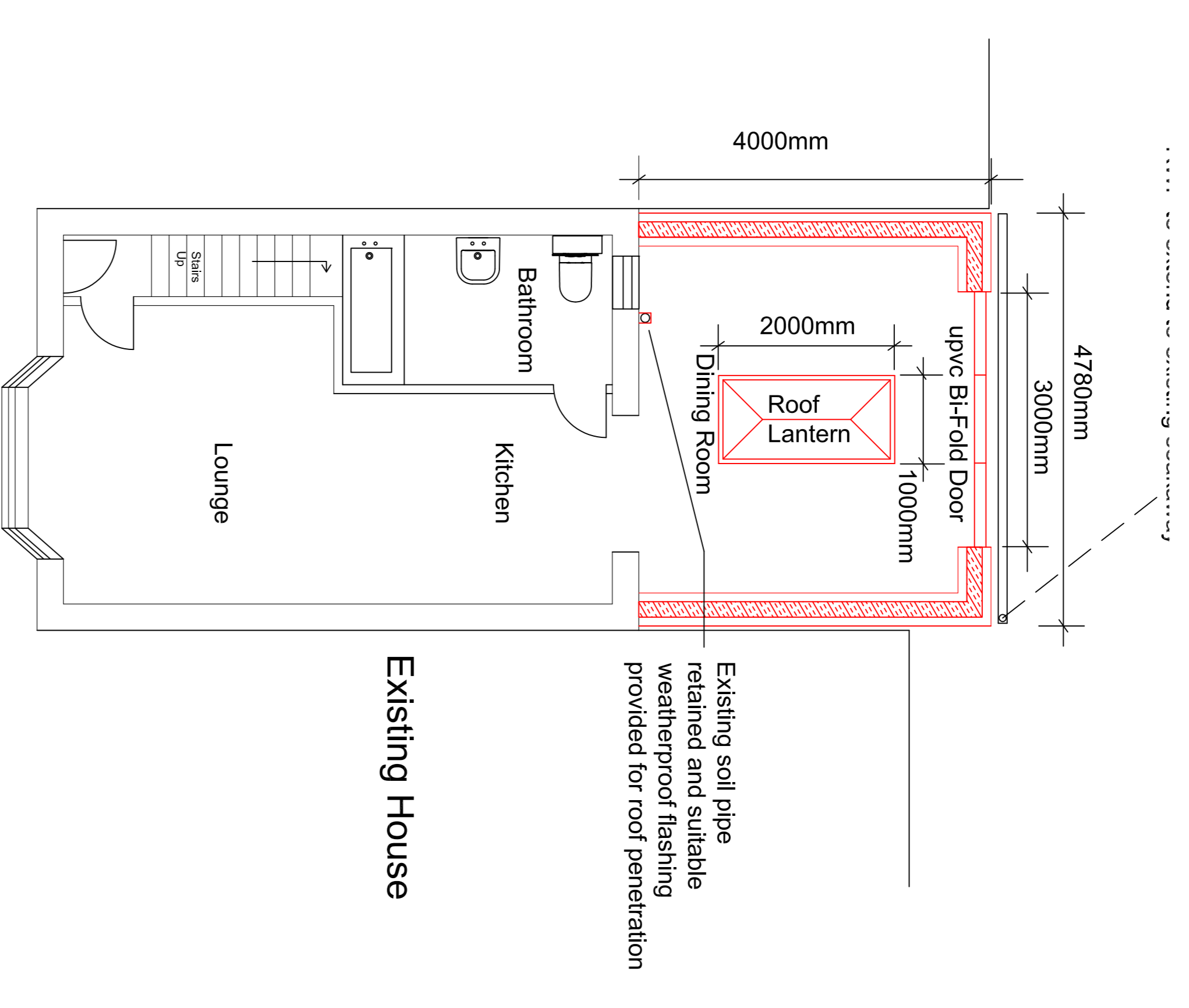
Extent of extension aligns with the existing extensions on the neighbours houses.

New extension complete with 3m wide upvc bi-fold door into garden, no windows, but with 2m x 1m upvc roof lantern fitted into flat roof. Roof construction using 6"x2" timber joists, 12mm plywood, vapour barrier, insulation board, 18mm plywood, GRP fibreglass finish with edge trim.

Electrical power for the new extension is to be fed from the existing house in compliance with BS 7671 Wiring Regulations.

Drainage - All proposed rainwater goods are to be upvc, 100mm rigid guttering with brackets at 900mm centres fitted to fascia board to match existing. Rainwater pipework to extend to discharge into existing soakaway. Existing foul water drainage to be retained. Drainage downpipe to be boxed in internally with timber battens and plasterboard. Roof penetration provided with suitable weatherproof flashing.

ALL DIMENSIONS TO BE REGARDED AS A GUIDE TO THE OVERALL REQUIREMENTS AND ARE TO BE CHECKED AND VERIFIED BY THE BUILDER PRIOR TO ANY MATERIALS BEING ORDERED.



ROOF PLAN

Existing House

Proposed Elevation & Roof Plan

Scale: 1:50 @ A1

Site Address:

6 Boverton Drive

Brockworth

Gloucester GL3 4DB

New Rear Extension for

Mr Paul Embley