

**J.A.P.** Architects

**Combined:  
DESIGN & ACCESS STATEMENT,  
HERITAGE STATEMENT and SCHEDULE of WORKS**

**for  
Proposed single storey extension, rear porch & cartlodge  
at  
Burnthouse Farm, Stoke-by-Clare**

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## 1.0 Introduction

- 1.1 This combined Design and Access Statement and Heritage Statement has been prepared in support of the listed building consent application to West Suffolk Council regarding a proposed single storey extension, rear porch and detached cartlodge to Burnthouse Farm, Stoke-by-Clare, CO10 8HU.
- 1.2 The former farmhouse is Grade II listed and lays one mile north of Stoke-by-Clare.
- 1.3 The house has recently undergone meticulous renovations, reflecting considerable investment of both time and financial resources by the applicants. The repairs have been executed to an exceptionally high standard and by way of LPA consents.



## 2.0 Existing Site

- 2.1 Existing survey drawings are provided at 23002 01-03. The site area totals 2.0 acres and comprises the farmhouse itself, an existing outbuilding/garage, landscaped gardens, and small spinney. The curtilage is unusually large in relation to the house, even for the rural location, reflecting its history as the heart of the former farm.
- 2.2 Analysis of historic maps indicates there was a scattering of outbuildings to the south west of the farmhouse inside what is the curtilage of Burnthouse Farm today. Historically, the neighbouring private barn conversion formed part of the farm but this was divided off in the C20th.
- 2.3 The house was Grade II listed on 19 May 1974 under list entry number 1235381.

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*1. STOKE BY CLARE Burnthouse Farmhouse 2006 TL 74 SW 15/458 II*

*2.A C17 timber-framed and plastered house refronted in the C18 and renovated in the C20. 2 storeys. 3 window range on the north front, double-hung sashes with glazing bars. A central 8-panel door (C20) has a wood doorcase with pilasters and a cornice hood. Roof tiled, double pitched.*

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*Satellite image of the application site.*

- 2.4 Burnthouse Farm is a handsome Georgian-fronted farmhouse sitting within the landscape typology of “rolling valley farmlands” along the north of the Stour. The original rear half of the house dates from C17th. There is an original brass benchmark plate on the garden wall which can be seen from the road. Of note is the double pile arrangement and large brick chimneys of the farmhouse. Recent sensitive re-rendering and reroofing has preserved the value of the heritage asset.

### 3.0 The Proposal

3.1 Detailed proposal drawings are provided in 23002 04-06. The proposal firstly seeks to remove the poorly constructed existing 1970s hipped-roof utility-and-WC extension which, at present, manifests as a barrier to the outside spaces, restricting views of the handsome garden and hampering movement and flow.

3.2 The proposed extension would accommodate a kitchen, utility, and WC, making use of a better layout whereby the connection with the garden is greatly enhanced and the functional spaces are kept “back of house”. The intention is to create an extension that is of an equal quality to the rest of the property whilst respecting an appropriate hierarchy of building forms.

3.3 Linking the proposed extension to the existing east elevation would be a pitched roof element with glazed wall to the slim south opening and a stepped-back WC wall to the north end. A new opening would be formed where the existing kitchen window is. This modern (assumed 1980s) window is set within



*The kitchen window area (the area proposed for intervention) during the replacement render works last year. Original timbers are highlighted red.*



*Taken during renovation works by the previous owners, the modern internal plinth is clearly visible.*

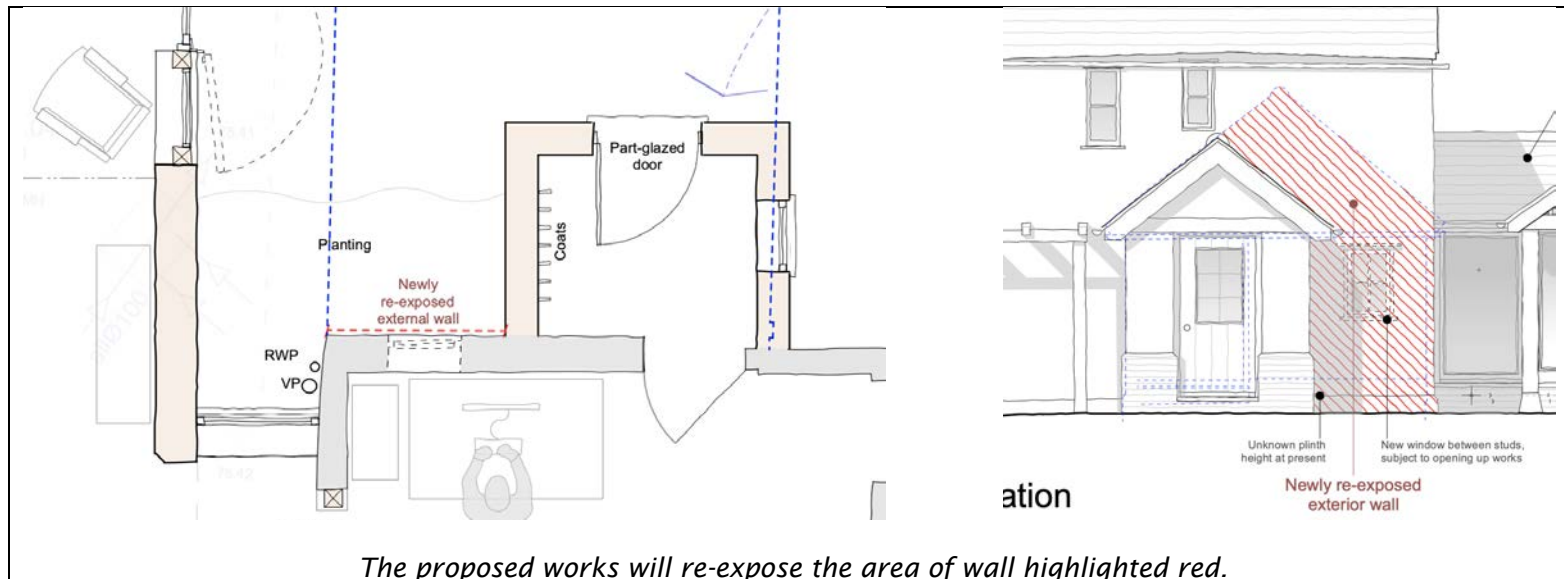
modern studwork as exposed during last year’s replacement rendering of the house carried out under DC/23/0018/LB. The intention is to remove the window, studs below, and plinth at a width of 1.7m. The original external wall will be retained as an internal wall in the WC. The two original studs either side of the existing window will be retained and exposed.

3.4 The north elevation of the proposed kitchen extension has been sensitively designed to respect the principal elevation of the farmhouse. It is set back some five metres from the face of the existing north elevation to not compete with the host dwelling. The materials change on this parapet gable from the more contemporary vertical timber cladding on the east, west, and south elevations to a more traditional brick and flint palette. The windows on this elevation will be traditional in styling with glazing bars, unlike the other sides of the extension. The parapet brick and flint wall allows the cladding on the east elevation to abut to the rear of the north wall, which gracefully conceals the transition detail.

3.5 A new underground foul drainage installation would be installed to the existing domestic sewage treatment plant. Rainwater disposal will be to existing soakaways. The external soil pipe on the south elevation will be rerouted and a new soil pipe installed on the north end of the east elevation.

3.6 The proposal includes a rear porch to replace the boot room, utilising part of the existing utility-and-WC extension footprint.

3.7 The removal of the utility-and-WC extension will reveal a formerly-exposed external wall of the building. It is proposed that during this process the opportunity for a small timber casement window, roughly central to this wall, be explored.



3.8 The two proposed extensions to the house would, in part, replace the existing badly planned 1970s utility-and-WC extension. The proposal splits the functions of this existing space: keeping the proposed rear porch (boot room) separate is logical to best aid the day-to-day running of a tidy house.

3.9 The modest size and traditional appearance of the rear porch will enable it to sit harmoniously adjacent to the existing house. It will make use of traditional materials and form, with a brick plinth, rendered above to match in with the house, and a pitched roof to match the pitch of the existing extension. The kitchen extension will then have its own distinct identity and be clearly discernible so as to not compete with the host dwelling.

3.10 Any repairs or making good to the original C17th timber frame of the house will use lime render on softwood battens and new green oak timber. These materials were approved in the recent replacement rendering of the house carried out under *DC/23/0018/LB*.

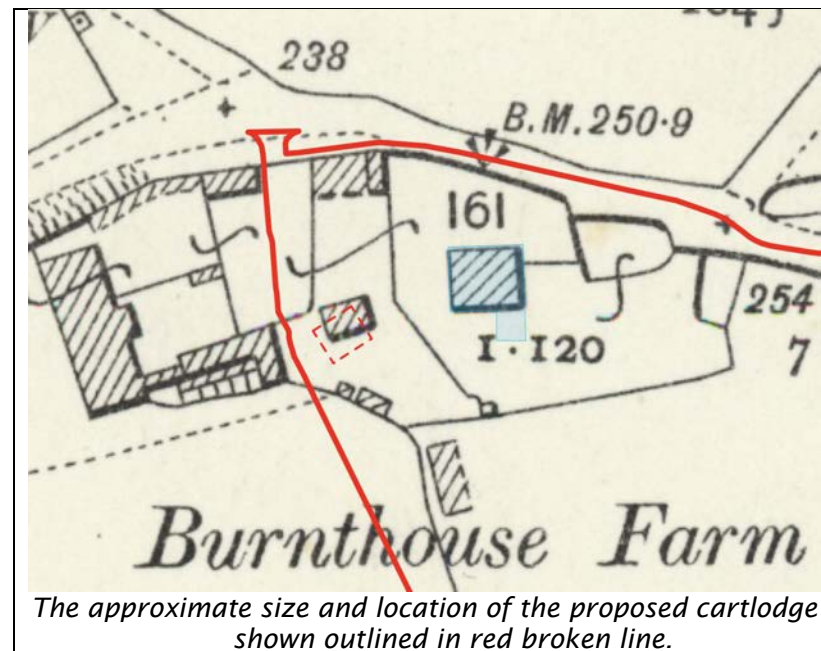
3.11 The proposed development's impact on the listed building will be an overall enhancement, revealing the southern corner of the original building once more and allowing better enjoyment of the garden from the inside of the house. The extension utilises an existing window-opening to link in with the

existing house and stands apart from the original house, so its visual impact is reduced.

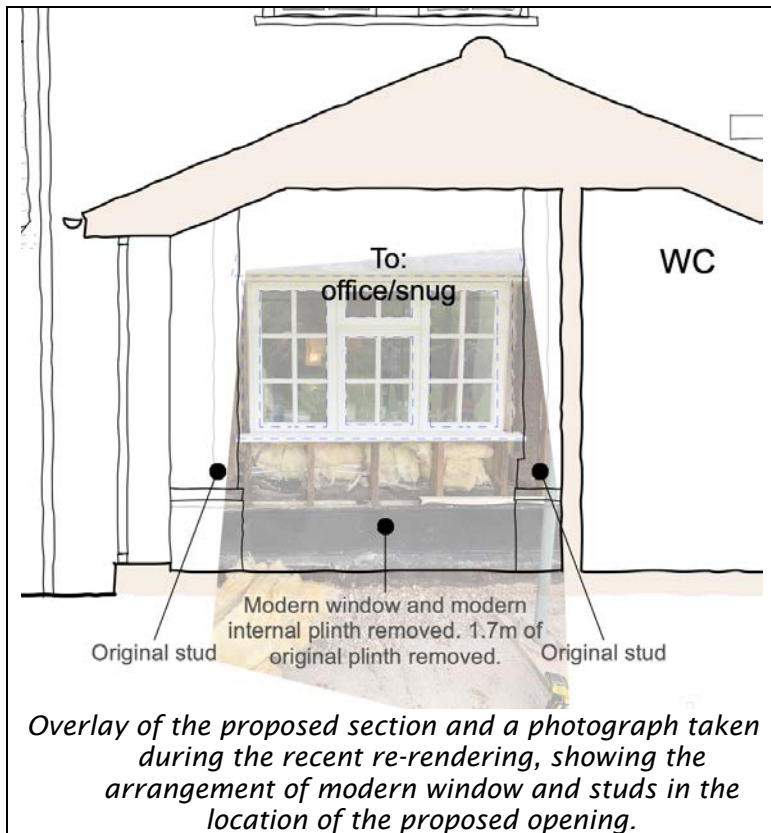
3.12 The proposed south elevation of the kitchen extension features a glazed gable, framed by timber posts, and complemented by a generous roof overhang. Adding to its aesthetic appeal, a vertical timber louvred screen enhances both privacy and solar shading. Part of the brief was to foster a stronger connection between the house and the garden—a connection that is currently obstructed by the presence of the existing utility-and-WC extension. By introducing this architectural element, we aim to dissolve the barrier imposed by the current layout and create an inviting space that encourages interaction and appreciation of the outdoor environment. This design intervention not only enhances the visual continuity between indoors and outdoors but also enriches the overall living experience by fostering a harmonious relationship with the well stocked garden.

3.13 Lastly, the application seeks to erect a cartlodge south west of the house, in approximately the size and position of a former outbuilding. This slight change in orientation from the former building is to account for the steep change in level across this area and allow for turning. The cart lodge will be used to park one car and provide mower and gardening related storage. The proposal is modest in relation to the size of the application site and relates well to the setting of the listed farmhouse. A small number of domestic garden trees will require removal. Consent is not required to remove these trees and the limited size of the trees obviates the need for a felling licence.

3.14 The proposed cartlodge will be a timber framed structure over a brick plinth with a traditional pitched slate roof. The roof will overhang on one side to form a semi-sheltered space for logs and bins.



#### 4.0 Conservation Preapp



4.1 The historic significance of Burnthouse Farm has been at the heart of the proposal from the outset, prompting conservation preapp advice being sought December 2023-January 2024 to guide the suitability of an extension. Claire Johnson was able to give helpful feedback and a discussion was had regarding changes to the design that would result in minimal harm to the heritage asset.

4.2 The proposals, as submitted, are a reflection of these discussions. Further work has been done to ascertain the significance of the opening between the proposed kitchen extension and original house. This is covered in paragraph 3.3.

4.3 The additional accommodation provided in this proposal would improve the balance of the house whilst simultaneously removing an inappropriate 1970s extension.



## 5.0 Summary

- 5.1 This combined DAS and Heritage Statement provides an assessment of the proposed development and its impact on the historical significance of the listed building. It outlines measures to ensure the proposed alterations are suitable for the original farmhouse and minimise harm to the existing fabric of the farmhouse.
- 5.2 The proposals are carefully considered, driven by respect for the historic farmhouse and a desire to create a more functional and appropriate extension to replace the LC20th utility-and-WC extension. The response takes into account the conservation preapp advice from December 2023-January 2024.
- 5.3 The proposals will contribute to enhancing the asset's historical integrity and overall significance by creating a functional and attractive new kitchen extension, rear porch, and cartlodge while preserving the authentic character of the original farmhouse. The proposed design not only respects the historical context but also improves the functionality of the property, ensuring its continued relevance and enjoyment for future generations. On this basis, we respectfully request that consent is granted for the proposal.



*The existing Burnthouse Farm from the garden looking north east.*