



Design & Access Statement

62 Albion Hill, Brighton

February
2024



Section 1:

The State of the Existing Building

The State of the Existing Building: *Introduction*

The building at 62 Albion Hill requires urgent repair, as indicated by reports from the structural engineers, building assessments, and feedback from senior building control officials at Brighton & Hove Council. Our primary focus is to bring the building back into use. Our approach prioritises architectural and historical integrity whilst aiming to create a space that serves the community in alignment with its designation as an Asset of Community Value (ACV).

Key Structural Issues: *Overview*

Widespread Structural Degradation

Every component of the building's fabric is marred by deterioration and necessitates substantial upgrading or Replacement. Structural defects in the walls, floors, roof, doors, windows, and lintels are pervasive.

Pronounced Timber Damage

Numerous reports detail extensive insect attack and wet rot fungi in the timbers, which necessitate removal. All timber elements, including lintels, floor timbers, and joinery items, are deemed unsalvageable.

Roof and Chimney Perils

Multiple issues with roof, including sagging, distortion, leakages, and ineffective, perished sarking felt. Substantial damage to the chimney, including cracked rendering and a precariously loose chimney pot, postures a significant risk.

Potentially Hazardous Conditions

An overt threat of falling debris due to corrosion and expansive forces in structural elements. A bathroom on the first floor is on the brink of collapse. Aberrant construction methods and materials were observed, diminishing structural integrity.

Bungaroosh Construction Challenges

Walls, constructed using bungaroosh, a notably friable material, crumble when interfered with and fail to amalgamate with new materials. Issues with waterproofing and insulation also make them functionally obsolescent.

Wood-rot Mould and Damp Prevalence

The establishment of live mould spores deep within the wall, irreparable via conventional methods and potent health hazard. Severe infestation of wood-boring insects in floor joists, which is beyond remedy.

Supporting Reports

Evidence of these findings are provided in the following reports, which are appended to this Design & Access Statement.

[Annex A: Building Survey - Leo Horsfield Surveying](#)

[Annex B: Structural Survey - Couch Consulting Engineers](#)

[Annex C: Building Condition Report - Allport Installations](#)

[Annex D: Roof Condition & Survey - Adelaide's Roofice & Property Maintenance Ltd.](#)

[Annex E: Statement from Mike Sansom MRICS, Senior Building Control Surveyor, Brighton & Hove City Council](#)

[Annex F: Survey Report - Rentokil](#)

[Annex G: Council Tax Ruling - Property Valuation Tribunal](#)

[Annex H: Detailed Report of Tile Condition](#)

Building Safety

Ensuring the safety and functionality of the building is essential prior to its reoccupation. The property Valuation Tribunal has mandated the necessity of significant reconstruction efforts before the property can be deemed habitable.

"The panel reached the conclusion that the building would require major reconstruction works before the appeal property could be occupied. As set out in Bunyan v Patel, a property that required major reconstruction works before it could be occupied "may be incapable of beneficial occupation". The panel held that the major reconstruction works required went beyond the Wilson "reasonable amount" test, and this led to the conclusion that the property was incapable of beneficial occupation."

[- Annex F: Council Tax Ruling](#)



Rear Extension

A key area of structural concern is the building's rear extension. This view is shared by the Senior Building Control Surveyor, Brighton & Hove City Council:

"The rear extension part where an acro prop has been provided this is showing signs of deterioration and I would agree that this is an area of the building that should be addressed."

"Any delay in making repairs in the medium to longer term may result in the building representing as a potential Dangerous structure."

[- Annex E: Statement from Mike Sansom MRICS, Senior Building Control Surveyor, Brighton & Hove City Council](#)

Severe Rusting & Corrosion

There is evidence of severe rust and corrosion to weight-bearing beams throughout the property.

"All structural steels, particularly the RSJ beams to the rear extension, are experiencing severe corrosion. These elements, crucial for the building's support, are embedded within the structural fabric and have deteriorated to a point where replacement is unavoidable. Localized demolition will be necessary to excavate and replace these failing steels.

Similarly, the RSA steel lintels embedded within the building's fabric are severely corroded. This has compromised their structural integrity, necessitating their removal and replacement. The process will involve the removal of some of the decorative tiled cladding on the building's façade, this needs to be undertaken to ensure the ongoing safety and stability of the structure."





Section 2:

Limitations

The Tiled Facade: *Limitations*

We acknowledge the Council Issued Enforcement notice, which calls for the reinstatement of the glazed ceramic tiles to the facade of the building. We confirm our intention to comply with the enforcement notice.

In this section of the Design & Access statement, we aim to transparently outline the challenges encountered in meeting these obligations.

Key Points:

1. Further Tile Removal Required:

While we fully understand the requirement to reinstate the tiled facade, it's imperative to conduct further tile removal to facilitate essential structural repairs. These necessary actions have been approved by the local authority.

2. The Extent of the Damage:

Anticipated repairs will inevitably exacerbate the already extensive damage to the facade, as elaborated on page 7 of this document. Following the repair process, only a minimal number of original tiles will remain affixed to the building.

3. Pre-existing Damage:

Upon acquisition of the building in 2022, the condition of the tiles was notably poor. Expansion of corroded lintels has caused the tiles covering these lintels to fracture and crack significantly.

Damage attributable to previous owners includes installation of wooden paneling, signage, and broadband, resulting in sections of tiles being chipped away, cut with an angle grinder, or affixed with nails. Previous repair attempts involved the removal of large tile sections, subsequently patched over with plaster without replacement.

Over the years, natural wear and tear has further weathered and chipped the tiles adorning the facade.



[Annex H: Detailed Report of Tile Condition](#)

An Evolving Problem:

The degradation of the tiles presents an ongoing issue as the steel structures underneath continue to expand, leading to further cracking if left unattended.

Replacing the tiled facade without addressing the underlying issue will inevitably lead to any new tiles becoming delaminated and damaged.

At this stage, our primary focus is to reinstate the tiled facade following essential works. Our approach aims to ensure that the restoration work ensures that the building is brought back into use, is fit for purpose and that replacement time survive.

Tile Damage: Visualisation of Current Damage



Damage from Tile Removal



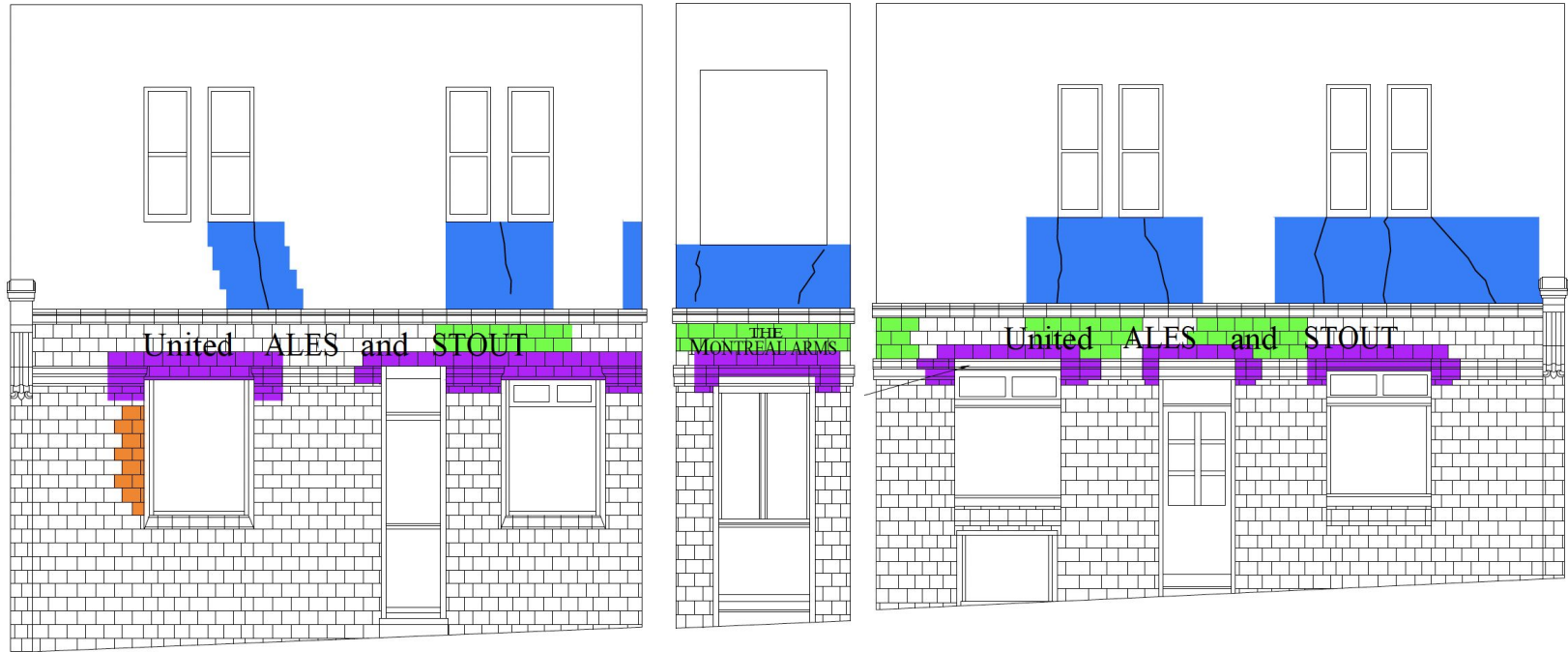
Pre-existing Tile Damage



Damage Overlap

Drawings represent the building in its current state: tiles highlighted in yellow represent tiles with existing damage, prior to tile removal in 2022. Tiles highlighted in pink represent tiles damaged or removed in 2022. Orange tiles represent overlap in the existing damage and in tile removal.

Tile Damage: Visualisation of Required Works



Red Tiles from this area to be removed to allow for temporary propping (as required) including tile to soffit of opening. Removal of existing corroded steel angle lintel. Forming new square and level bearing and installation of new galvanised or stainless steel lintel. Re-build stonework locally prior to reinstatement of render and tiles.

Orange Remove tiles from this area including reveal to remove any embedded steel causing cracking to the reveal face. Re-render and reinstate tiling.

Green Remove tiles and substrate render from this area to allow stitch repair to vertical cracks. Allow min. 2No. Heli bar stitches, to extend 600mm either side of crack. Reinstatement of render and tiles post repair.

Blue Stonework and render stitch crack repair

Tile Damage: *Conclusion*

The visual representations on pages 7 and 8 illustrate the extensive existing and predicted damage to the tiled facade. The replacement of lintels across all 7 window and door apertures inevitably requires more tile removal, resulting in a situation where the majority of tiles must be replaced.

Moving Forward:

Patch Repair:

Given the extent of damage, the majority of tiles will require replacement. Opting for a challenging 'patch repair' approach would result in very few original tiles remaining and could lead to neglecting further structural repairs. Additionally, the outcome of such a patch repair would be unsightly. Despite our efforts to source replica tiles, disparities in glaze and finish due to age differences would be inevitable.

Replica Frontage:

This proposal advocates for the installation of an entirely new, exact replica of the tiled frontage. This comprehensive approach ensures the building is fully restored to modern building standards while faithfully restoring the tiled frontage to its former glory. This proposal also exceeds what has been sought by the local planning authority and aims to resolve a sensitive issue.

For a detailed breakdown of the required works, please refer to [Annex B-2: Summary of Findings - Couch Consulting Engineers](#).

Maintaining Heritage: *Moving Forward*

Our approach to addressing the tile issue is pragmatic yet sensitive to heritage considerations. We have endeavoured to find a solution that balances preservation with safety and practicality, focusing on what will truly enhance the building and benefit the community.

A Full Replacement of the Tiled Facade

At this stage, we believe the most sensible way to do justice to the building and ensure that the newly instated tiles stand the test of time is to undertake a full replacement of the facade. This view has been thoroughly considered and discussed with heritage specialists.

Heritage Report: *Findings*

A comprehensive Heritage Report has been produced by Heritage Corp - detailing the historical context of the building at 62 Albion Hill, the history and ongoing condition of tiled facade, and the ongoing preservation of similar heritage buildings in the local area.

Key Points:

1. The existing tiled facade has unfortunately been deteriorating for some time:

"The generally unkempt and deteriorating condition of the property is obvious. This, as evidenced by streetview images from previous years, has been the case for some time prior to survey works carried out recently. What is more, professional surveys have identified a number of key safety concerns regarding the condition of the current building."

2. Previous repairs and modifications have been unsympathetic & damaging - have devalued the historical significance:

"Although it features an attractive frontage, it is rather conventional for its type displaying limited individuality of design and quality of craftsmanship. Much of the property's significance has been eroded by its deteriorating condition and unsympathetic alterations since it was first built. These include the loss of historic glazing and doors, the addition of poor quality extensions, a polycarbonate shelter, and visual clutter created by modern cabling, ducts, uPVC downpipes, guttering, and a satellite dish. Whilst the architectural interest and significance of the building is primarily expressed through its principal elevation at ground floor level, the value of the tiled frontage is relatively low due to its poor state of preservation."

3. Local heritage is not lost, there are other better-kept examples locally:

"It is noted this design is not particularly rare within Brighton, and many examples of a higher quality and better state of preservation exist."

- [Annex I: Heritage Report - HeritageCorp](#)

Tile Restoration:

A key objective of this proposal is to completely refurbish and replace the tiled facade with an exact, historically accurate replica of the original frontage.

We understand the importance of approaching this task with sensitivity and respect for the building's heritage. Therefore, we have engaged experienced suppliers capable of executing the work with care and expertise.



**CRAVEN DUNNILL
JACKFIELD**

Working with Craven Dunnill Jackfield:

Craven Dunnill Jackfield's facilities and colour matching service ensures that tiles will be faithfully restored to their former glory.

Their team of glaze experts have considerable knowledge and experience in delivering to specific colour requirements. With a long history in delivering the colour required, they have the skills to control different glaze base chemistries.

Craven Dunnill Jackfield's expertise in product matching is simply unrivalled. With production facilities set up to cater for specialist restoration projects, including colour matched glazes, moulded fittings and cappings. The company take great pride in the faithful manufacture of period style tiles.

15.5cm



22.5cm

Tile Replicas:

The existing tiles will be laser scanned and replicated by specialists at Craven Dunnill.

Replica tiles will be all glazed by hand, in true Victorian size and coloured 'crazing' glaze.



Section 3:

Proposed Design

We have listened to feedback from the council during the pre-application process, taking into account comments and concerns raised over previous suggestions.

Our Key Objectives:

1. To reinstate traditional architectural features
2. To reclad and revamp the exterior
3. To remove all poorly constructed extensions
4. To bring the building in line with modern building standards

Proposed Design: Key Features

Replica Tiled Frontage:

The existing tiles will be laser scanned and replicated by specialists at Craven Dunnill. Replica tiles will be all glazed by hand, in true Victorian size and coloured 'crazing' glaze.

Updated Doors and Windows: Modernised doors and windows will be installed.

Preservation of Architectural Integrity:

Emphasis will be placed on maintaining the historical architectural charm

Slightly Raised Roof Ridgeline: The roof ridgeline will be subtly elevated to mirror that of neighboring properties.

Usage:

Usage:

The building comprises a commercial unit on the ground floor and a residential unit above, mirroring the existing structure.

We will work to maintain as many parts of the existing structure as possible, whilst being mindful of the challenges with regard to structural integrity and safety outlined in this document.



Architectural Changes

This document presents the architectural enhancements proposed in our planning application, elucidating the transformative impact these changes are poised to have on the existing structure. By refining the building's footprint, enhancing its roofline, and revitalising its facade, the application promises not only to restore but also to elevate the property's architectural integrity. These proposed changes aim to harmonise with the building's historic character while introducing functional improvements that align with contemporary needs.

Refinement of Building Footprint

The building's footprint has been amended slightly, but has not been expanded. The key objective of the re-design is to 'tidy up' the rear of the building, which is currently comprised of a mish-mash of unsightly modern additions. Our goal with the new design is to harmonize these additions with the original structure, ensuring they complement its design and create a sense of coherence throughout.

Roofline Transformation

A significant aspect of the proposed architectural enhancements includes a subtle yet impactful modification to the roofline. By slightly raising the ridge-line, the proposal aims to eliminate the unsightly tapering present at the boundary firewall. This minor adjustment ensures a consistent and aesthetically pleasing roofline, respecting the building's heritage while improving its external appearance.

Alignment with Adjacent Structures

In a bid to achieve visual harmony within the streetscape, the proposed changes include aligning the building with the adjoining property at number 63. This decision aims to contribute to a more cohesive architectural narrative along the street.

Expansion of Outbuilding Rear Wing

The proposal envisions a slight expansion of the outbuilding rear wing, offering a more functional commercial space. This thoughtful enhancement is designed to meet contemporary commercial needs while maintaining the architectural essence of the property.

Courtyard Reconfiguration

A key feature of the proposed architectural changes is the reconfiguration of the courtyard area. The redesign aims to create a more practical and aesthetically pleasing outdoor space, incorporating private access to the flat, efficient areas for refuse, recycling, and bicycle storage. This transformation also includes the removal of an unattractive, poorly constructed modern lean-to, further purifying the property's architectural expression.

Restoration of Heritage Features

A cornerstone of the proposal is the reinstatement of heritage timber sash windows, an original feature lost to previous redevelopment efforts. This restoration is respectful of the building's historical significance, aiming to reintroduce lost character and charm; bridging the gap between past and present architectural features.

Conclusion

This application represents a meticulously considered scheme that respects the property's historical roots while introducing necessary enhancements for its contemporary relevance. Through careful adjustments to the footprint, roofline, and facade, alongside thoughtful functional improvements, this application sets a precedent for sensitive yet transformative architectural development. Approval of this plan will not only enhance the property itself but will also contribute positively to the architectural fabric of the surrounding area.

Roofline Transformation



Existing Roofline

The existing roofline exhibits an unappealing tapering effect at the boundary firewall - creating an uneven, asymmetrical silhouette.



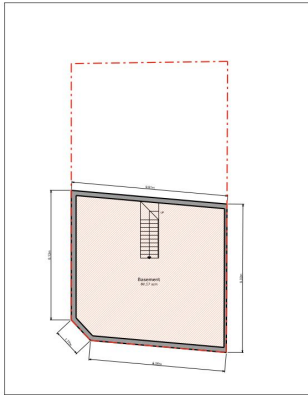
Proposed Design

The proposed design features a subtly elevated ridgeline, aiming for coherence with the neighbouring property

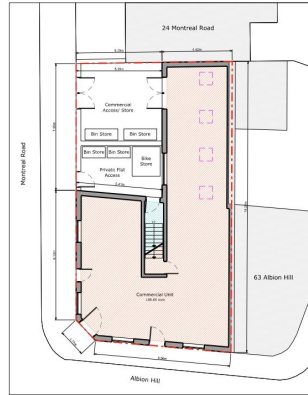


Timber Sash Windows:

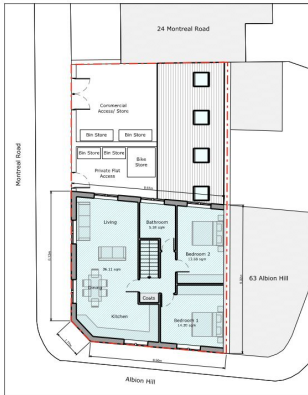
A key element of this proposal is the reintroduction of heritage timber sash windows. These are an original feature which were lost during previous redevelopment.



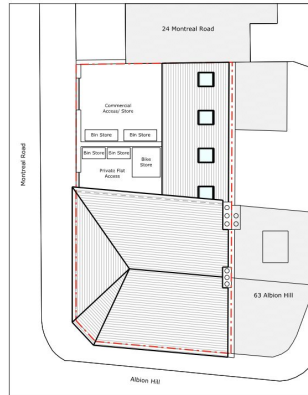
Basement Plan



Ground Floor Plan



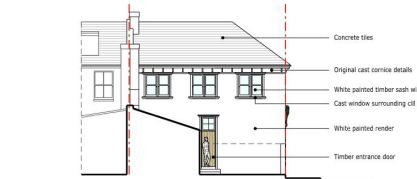
First Floor Plan



Roof Plan



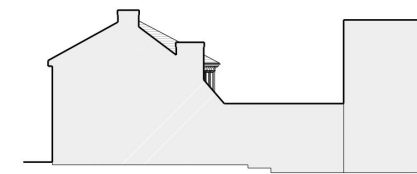
Front Elevation (South)



Rear Elevation (North)



Side Elevation (West)



Side Elevation (East)

Existing roof to be reconstructed and the ridge raised to run inline with the neighbouring building
 Striped render detail to emulate existing signage outline
 White painted render
 Traditional white painted timber doors with glazed panels
 Emerald green ceramic tiles to match the existing facade
 Traditional white painted timber sash windows

Concrete tiles
 Original cast cornice details
 White painted timber sash windows
 Cast window surrounding cill details
 White painted render
 Timber entrance door

Dark grey concrete tiles
 Aluminium framed rooflights
 White painted render
 Timber doors
 White painted rendered wall

Building Composition

The structure comprises a commercial unit on the ground floor and a residential unit on the first floor, consistent with the previous building layout.

The ground floor unit offers versatility, suitable for a cafe, bakery, or potential re-establishment as a Public House.

The design of the rear extension improves upon the existing structure with a similar pitched roof, featuring a private entrance for deliveries, ample bin storage, and the possibility of serving as a smoking area if the building functions as a Public House.

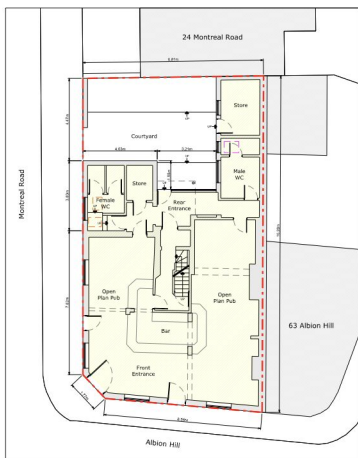
The building is intentionally designed to be adaptable, accommodating various purposes. While this application designates the first floor as a Residential Dwelling, it could alternatively serve as a co-working space, leveraging the private rear entrance to offer secure 24/7 access.

We are of the opinion that this utilization would not only enhance the building's functionality but also contribute positively to the community, aligning with the ACV ruling. The applicant is open to discussing this potential option with the council if deemed preferable.

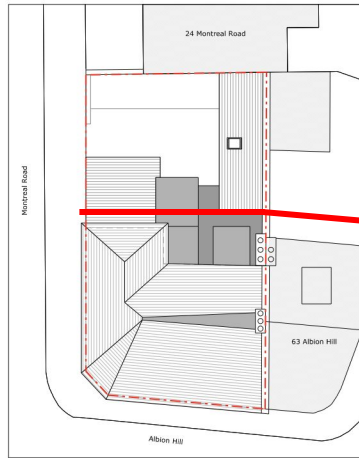
The architectural design has been carefully considered, ensuring adherence to modern building standards during the renovation process.

Alignment with Adjacent Structures

In a bid to achieve visual harmony within the streetscape, the proposed changes include aligning the building with the adjoining property at number 63. This decision aims to contribute to a more cohesive architectural narrative along the street.



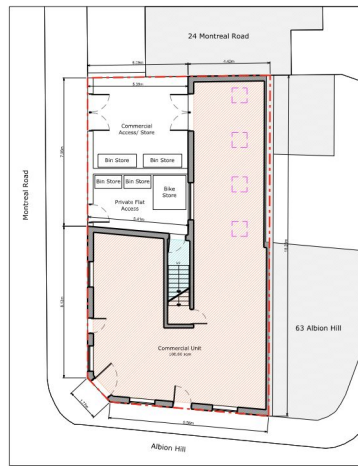
Ground Floor Plan



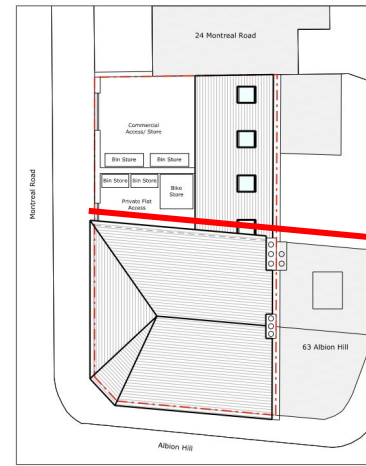
Roof Plan

Existing Floorplan

 Red line highlights line of property back wall



Ground Floor Plan



Roof Plan

Proposed Design

Rear View: *The View from Montreal Road*



Current view from Montreal Road



Proposed Design

The proposal includes expanding the outbuilding rear wing for improved commercial functionality while preserving the property's historical architectural value. Additionally, the redesign of the courtyard aims to create a more practical and visually appealing outdoor space, with private flat access and efficient waste management areas. This transformation also involves removing an unattractive modern lean-to, refining the architectural quality of the building.

Heritage Report: *Response to Proposed Design*

Recognising the significance of the building's history, we have engaged with heritage experts to ensure that our proposed design respects and aligns with its historical importance.

Quote from Heritage Report:

"The significance of the locally listed building is ascribed largely to the architectural and historic interest of its tiled frontage. Although its value is recognised, the decaying state of the property necessitates major repairs and the rebuilding of the structure is considered the only viable solution to bring it back into safe use.

The proposed changes offer a heritage benefit in restoring the tiled frontage to a pristine condition, which will be reinstated within new high-quality development.

[Annex I: Heritage Report - HeritageCorp](#)



Acknowledgement:

We recognise the importance of repairing the green tiled frontage on the property and honoring the heritage of the site.



Section 4:

Impact to Neighbourhood



Impact to Neighbourhood

The key objective of the proposed design is to further the social wellbeing and/or interests of the local community, as stipulated by the listing of the building as an Asset of Community Value (ACV). We are attentive to the potential effects of this development on the surrounding area and have carefully assessed various factors relevant to the community's concerns.

- 1. Parking:**
The existing parking provision is deemed sufficient and will remain unchanged.
- 2. Bin Storage:**
The design includes ample space for bin storage and recycling .
- 3. Community Focus:**
The proposed building design aligns with the designation as an Asset of Community Value: the proposed redevelopment does not seek a change of use.
- 4. Restored tiled facade**
The fully restored replica tiled facade will serve as a visual enhancement, offering a preferable alternative to potentially unsightly and unsustainable patch repairs.

Supporting Documents:

[Annex A: Building Survey - Leo Horsfield Surveying](#)

[Annex B: Visual Structural Survey - Couch Consulting Engineers](#)

[Annex B-2: Summary of Findings - Couch Consulting Engineers](#)

[Annex C: Building Condition Report - Allport Installations Ltd](#)

[Annex D: Roof Condition & Survey - Adelaide's Roofice & Property Maintenance Ltd.](#)

[Annex E: Statement from Mike Sansom MRICS, Senior Building Control Surveyor, Brighton & Hove City Council](#)

[Annex F: Survey Report - Rentokil](#)

[Annex G: Council Tax Ruling - Property Valuation Tribunal](#)

[Annex H: Detailed Report of Tile Condition](#)

[Annex I: Heritage Report - HeritageCorp](#)

[Annex J: Proposed Works: Further Tile Removal](#)

[Annex M: Architectural Drawings](#)

All supporting documents can be found by clicking the links above.