



Design, Access & Heritage Statement

Full Planning Application for demolition of existing stables outbuilding, and construction of replacement outbuilding plus car port, for ongoing use ancillary to The Leys.

The Leys, Hatchet Leys Lane, Thornborough, MK18 2BU.

Rachel Proudlove & Adam Powell

Contents

- 1. Overview**
- 2. Site**
- 3. Planning Statement**
 - 3.1 History**
 - 3.2 Development Proposals**
 - 3.3 Key planning considerations (from Pre-application)**
- 4. Conclusion**

Appendix 1 – Submission drawings (Separate)

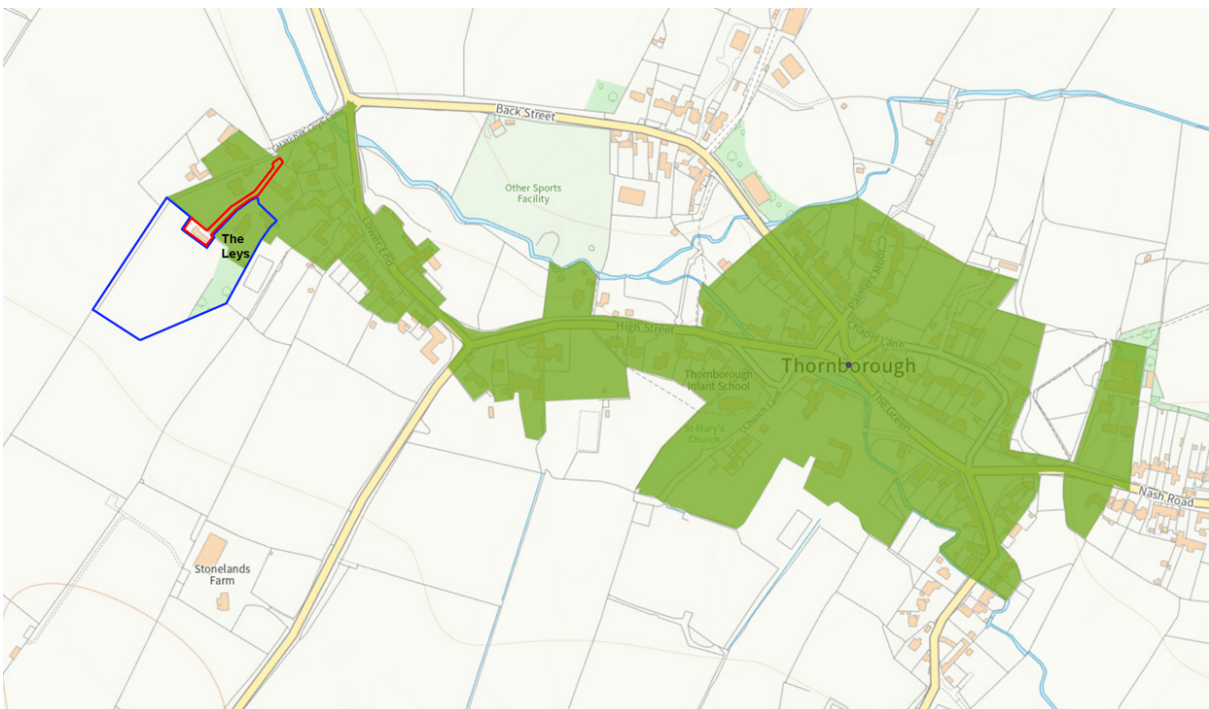
Appendix 2 – Supporting reports (Separate)

1. Overview

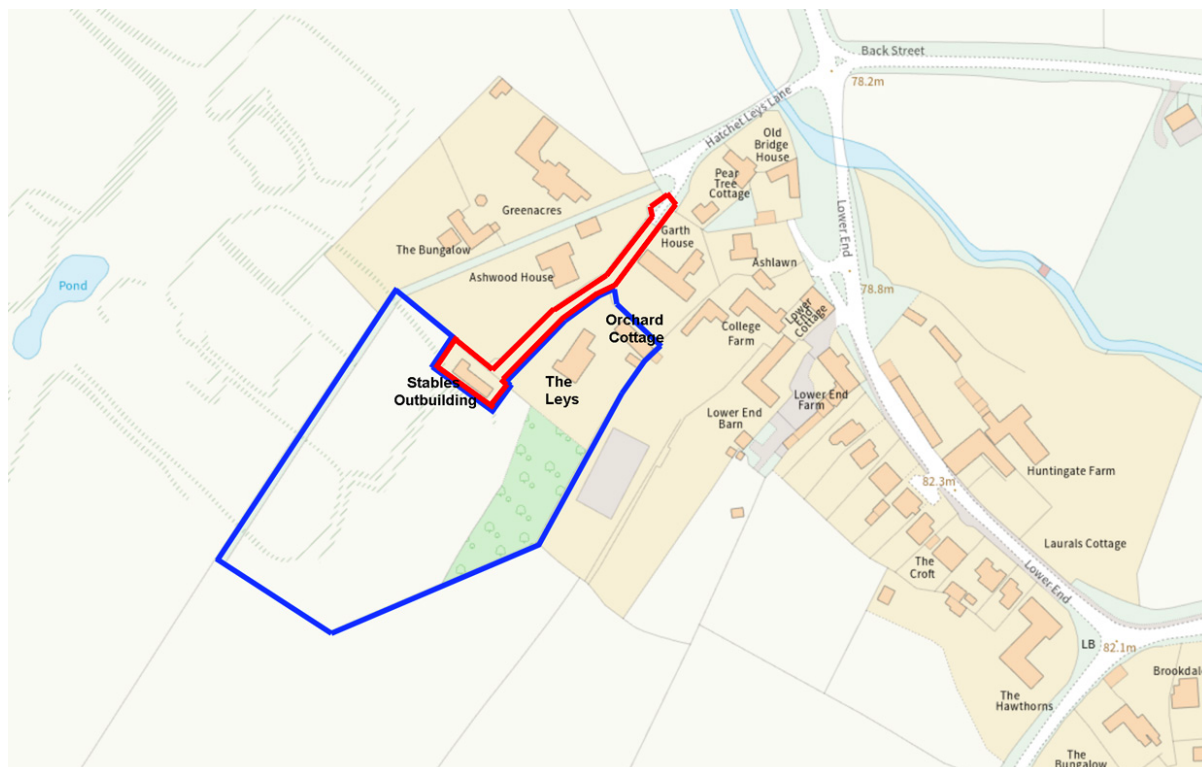
This document has been prepared on behalf of the applicants Rachel Proudlove and Adam Powell by Black Shed Works Ltd (The Agent) in connection with their property The Leys, Hatchet Leys Lane, Thornborough. The document is provided alongside drawings submitted to support an application for “Full Planning Permission” in respect of the following:

“Demolition of existing stables outbuilding, and construction of replacement outbuilding plus car port, for ongoing use ancillary to The Leys”.

As required by the NPPF, the detail of the included heritage statement is proportionate to the significance of the asset and communicates the potential impact of the proposals on the significance of any other heritage assets or the conservation area context.



2. Site



The site is on the southwestern edge of Thornborough's historic village settlement.

It primarily includes "The Leys", a large centrally placed two-storey detached dwelling. There is also a separate garage block, a store building, and a private residential unit "Orchard Cottage", which stands in the northeast corner of the plot.

This planning application relates to the existing Stable Outbuilding. It is a single storey L-shaped lightweight timber framed building, finished in timber cladding with a felt roof. It provides separate and additional accommodation for the main house, so is viewed as an annexe to The Leys. Until 2021 it was used as an artist's studio and workspace for many years.

The Stable Outbuilding stands to the south-west of The Leys on an adjoining piece of land. It is lawfully ancillary to "The Leys", linked to it by confirmed historic use as studio workspace accommodation. For planning purposes, it is on the outside of the village settlement and Conservation Area boundary. This was all confirmed in 2023 through a Certificate of Lawfulness award, local authority pre-application advice, and follow up planning department enquiries.

There is no physical boundary demarcating the village settlement or the Conservation Area. The garden of the Leys simply extends out.

Access

The site entrance is off Hatchet Leys Lane, with a long driveway extending the length of the site's northwest boundary. This driveway provides access to all buildings and areas mentioned above.

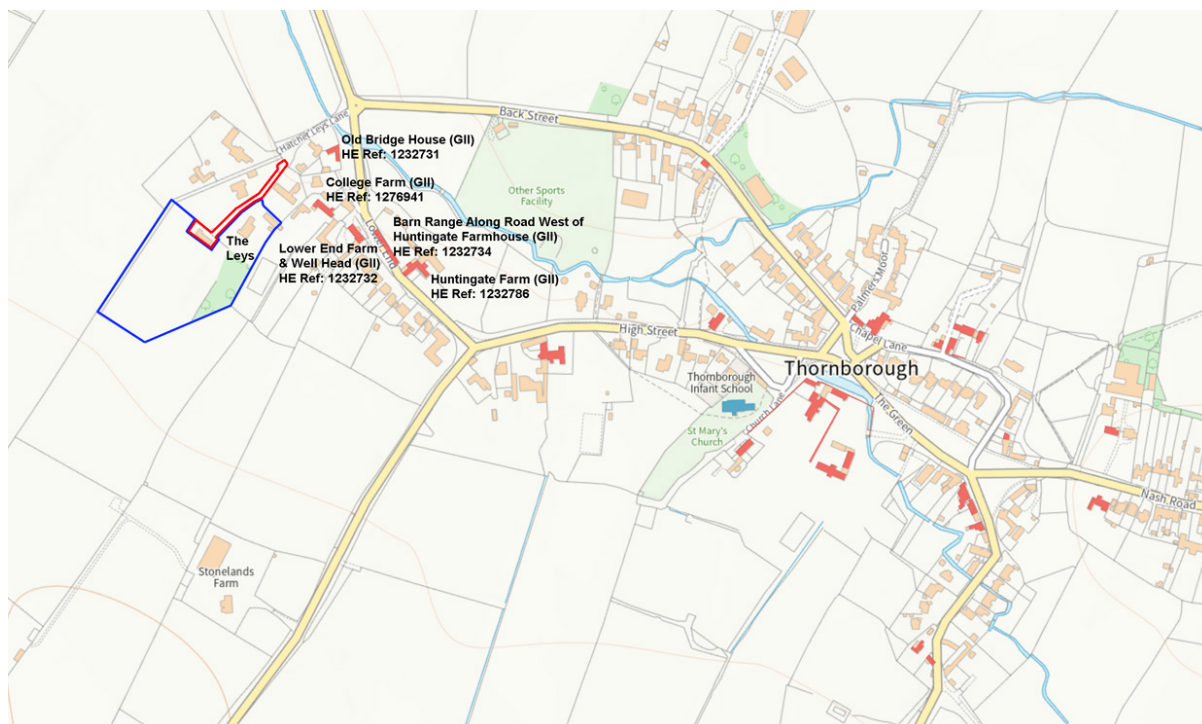
There are various neighbouring/nearby dwellings which are accessed off Hatchet Leys Lane: Green Acres, Ashwood House, Old Bridge House, Pear Tree Cottage and Garth House.

The Leys' driveway has hedgerow along the majority of its edges, with wire fencing or a timber fence making up the remainder. Specific to the Stables Outbuilding, there is timber fencing immediately opposite, which becomes timber fence with hedgerow further along.

The drive is marked in red on the site maps, with the Stables at the south-west end.

There are three properties nearby with listed status: College Farm (GII) immediately neighbouring to the southeast, Old Bridge House (GII) to the north east at junction of Hatchet Leys Lane with Lower End, and Lower End Farm & Well Head (GII) to the east.

None of these listed buildings are in the immediate context of the Stables Outbuilding, nor is there any intervisibility between them.



3. Planning Statement

3.1 History

78/01901/AV - Planning Application for "The Leys" - CONSTRUCTION OF ALTERATIONS AND ADDITIONS FOR USE AS PRIVATE DWELLING HOUSE FOR APPLICANT AND FAMILY. - Permitted 11/1/79.

79/00212/AV - Planning Application for "The Leys" - CONVERSION OF PART OF EXISTING STABLE/GARAGE BLOCK TO SERVICE DWELLING FOR OCCUPATION OF HOUSE STAFF. - Permitted 3/8/79.

88/00371/APP - Planning Application for "The Leys" - RESITING OF FORAGE STORES AND LOOSE BOX ERECTION OF 2 NEW LOOSE BOXES. - Permitted 31/3/88.

97/01809/APP - Planning Application for "The Leys" - EXTENSION & ALTERATIONS. – Permitted 28/10/97.

99/01845/APP - Planning Application for "The Leys" - SINGLE STOREY FRONT EXTENSION. – Permitted 29/9/99

21/02455/ACL – Lawful Development Certificate Application (existing use in breach of a condition) for "Orchard Cottage". - APPLICATION FOR A LAWFUL DEVELOPMENT CERTIFICATE FOR THE CONTINUED USE OF AN EXISTING STAFF ACCOMMODATION BUILDING AS AN INDEPENDENT UNIT OF C3 ACCOMMODATION. - Refused 13/2/23

23/02173/CPE - Lawful Development Certificate Application (existing use in breach of a condition) for "Orchard Cottage". - APPLICATION FOR A LAWFUL DEVELOPMENT CERTIFICATE FOR THE CONTINUED USE OF PROPERTY AS PRIVATE RESIDENTIAL C3 UNIT IN BREACH OF OCCUPANCY CONDITION. - Issued 31/08/23

23/02172/CPE - Lawful Development Certificate Application (existing use) for The Leys. - CERTIFICATE OF LAWFULNESS APPLICATION FOR THE CONTINUED USE OF THE EXISTING OUTBUILDINGS AS AN ANCILLARY WORKSHOP/STUDIO AND STORAGE SPACE. - Issued 31/08/23

This planning application is the first submission made in respect of the current proposals. Pre-application advice has been sort (Ref: 22/03856/PREMTG). Feasibility design plans, elevations and sections regarding the proposals were submitted digitally on 22nd October 2022. There was a meeting with the Planning case officer Matthew McKane on 27th January 2023, and his response was subsequently received on 16th March, 2023.

Additional Planning advice was subsequently obtained from Planning officer Faye Hudson during October and November 2023. This was in response to queries issued to her about certain matters within the Pre-application.

All matters raised within the pre-app report have been fully examined in detail and addressed. We have summarised them in **3.3 Key planning considerations**. In turn this has informed altered design proposals.

3.2 Development Proposals

The applicants moved into The Leys, which has four bedrooms, in August 2021. They have two growing children (currently aged 12 and nine). The property dates back several hundred years, with small rooms and very thick walls. It has been extended in parts by previous occupants, however the current occupants recognise the need to develop the Stable Outbuilding to cater for their growing family and their professional needs.

Specifically, both applicants are professionals who work from home, with many meetings and conference calls, often with both applicants on calls simultaneously. This means that the small fourth bedroom is currently used as an office on a daily basis, as well as being the only spare bedroom in the property.

Because of this, the occupants want to utilise the existing Stables Outbuilding to create a new home office on the site, plus recreational space for themselves and their children.

This will also free up the fourth bedroom in The Leys to enable them to welcome overnight guests and family members (several of whom are in their 80s and live in other parts of the country). It will also professionalise their working set up – moving from a bedroom to a dedicated office space.

Utilising the existing Stables Outbuilding also avoids erecting a new building on the site.

About the Stables Outbuilding

The Stables Outbuilding has good access and is in close proximity to the house.

In its current form the Outbuilding provides basic internal spaces. Until 2021 it was used as a studio, workshop and materials storage area by the previous occupant, who was a wood sculptor and artist by profession. This demonstrates that the Outbuilding has a long history as an annexe to The Leys, providing separate and additional ancillary accommodation for work purposes.

Need for modernisation

The fabric and structure of the Stable Outbuilding is such that it cannot be used as a home office for modern professional use, as required by the current owners and occupants of The Leys.

This is because the existing building is too old and has been neglected over time by the previous owners. The water supply has been disconnected and buried.

There's no internet connection, and the capability and capacity of the electricity supply is insufficient for modern office needs.

There's no insulation. The windows are single glazed Perspex sheets, or open to the elements.

There are open eaves running the length of the interior of the building, and the fabric is generally deteriorating through lack of upkeep and water damage.

Further, the internal heights were also insufficient to provide quality environments, in line with modern standards.

As such it is unviable for use as a home office or for recreation space without significant overhaul.

A sympathetic redevelopment

The applicants propose to construct a new modern building of similar dimensions that could address all the issues mentioned above, whilst also providing adaptable internal spaces to suit changing uses over time.

They are determined to keep the Outbuilding similar in general form and size (L-shaped plan and single storey). And to keep the same material appearance (timber cladding) and also maintaining its current low profile within the landscape.

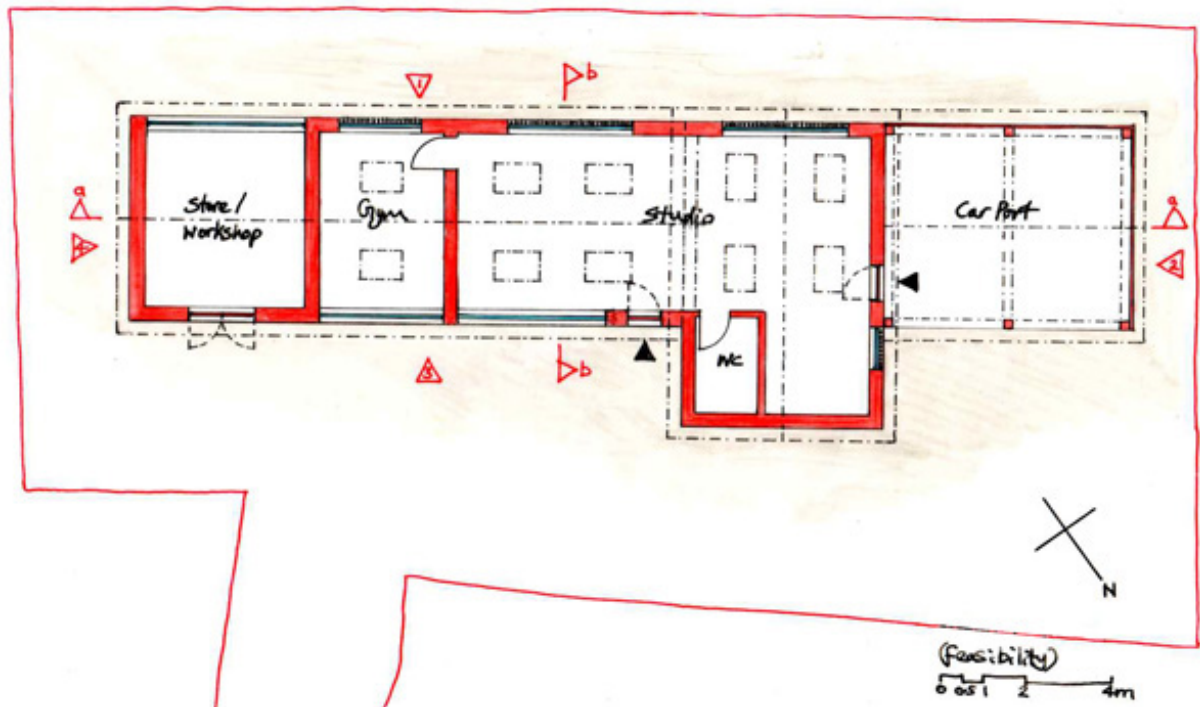
The only addition is a formal parking area, which is currently lacking on the site. The existing outbuilding form and proportions naturally extend to include a discreetly placed car port.

A full topographical and buildings measured survey, and a photographic study, have been carried out across the entire site. This allows full appreciation of the existing buildings and site and enabled respectful attention to detail when considering the following:

- Site and building levels;
- Proposed massing relative to surroundings,
- Overall internal/external layout and elevations design; &
- Landscaping alterations.

The resultant proposals do the following:

- Keep the original building footprint;
- Keep the original building/roof width and roof pitch;
- Retain the original building material appearance;
- Retain the original pedestrian and vehicle access off long driveway;
- Raise marginally the original ridge/eaves heights to meet modern internal height standards;
- Provide level access arrangements, driveway parking and double carport;
- Remodel existing land bank to the rear of the outbuilding to improve existing perimeter access and maintenance;
- Improve land drainage for better protection of the new building from any surface water flooding risk.



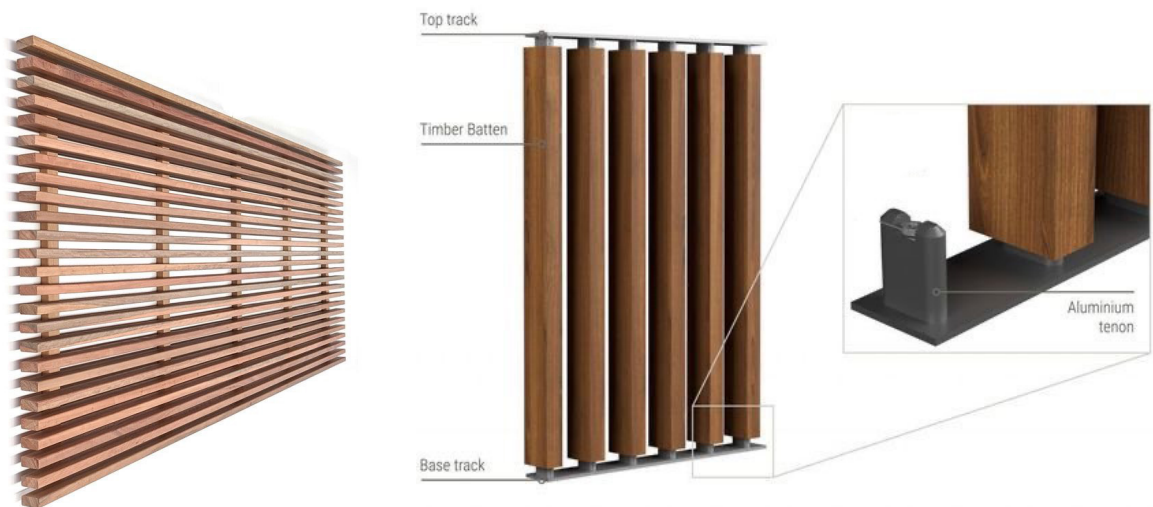
Proposed floor plan

The elevations have been developed to maintain the existing stables/barn general appearance and typology.

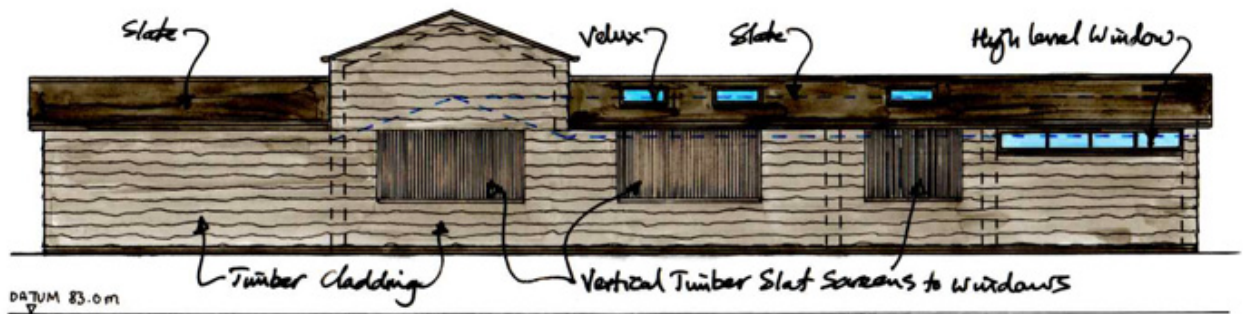
The proposed new building will be finished in dark brown/black coloured horizontal ship lap timber throughout.

There is an emphasis on roof lights to bring in large amounts of natural light, and minimal “visible” glazing on the facades themselves.

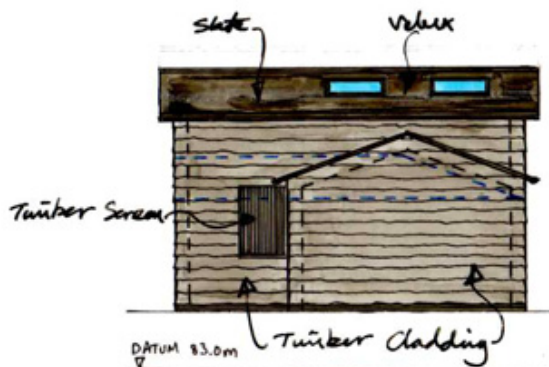
Façade glazing takes the form of either eaves level horizontal slot windows, or lower-level casement windows made discreet by external timber louvered screens (vertical or horizontal), flush with the surrounding timber cladding.



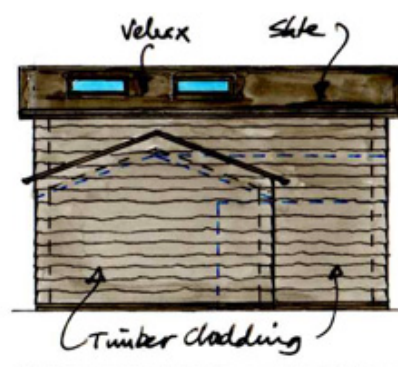
The roof would be finished in dark grey natural Welsh slate to tie in with the overall building tones and surrounding landscape.



Elevation 1

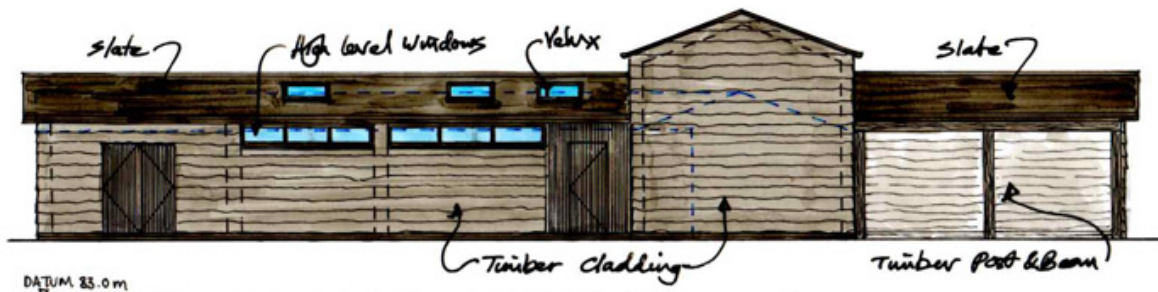


Elevation 2

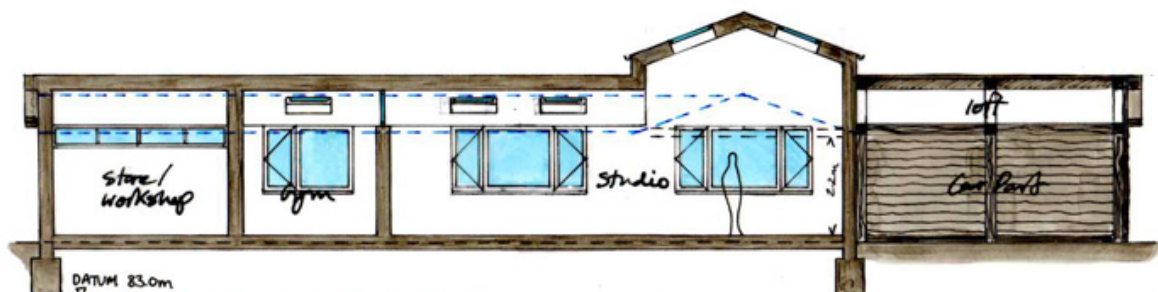


Elevation 4

(Feasibility)
0 0.5 1 2 4m



Elevation 3



Section aa

(Feasibility)
0 0.5 1 2 4m

Proposed elevations & section (blue dashed line denotes existing ridge/eaves)

3.3 Key planning considerations (from Pre-application)

This section looks at responses to feedback at the Pre-application stage and how they have been addressed.

3.3.1. Aligning the proposal to the siting.

The proposals are for continued use of the location as accommodation ancillary to The Leys, established by the Certificate of Lawfulness (23/02172/CPE Issued 31/08/23). They align to policies S1, S2, S3 and D4 of the VALP and with the aims of the NPPF.

3.3.2. Identifying with the rural locality.

The proposals maintain the general appearance and typology of the existing building, i.e. that of a discreet single storey barn sitting into the landscape, that relates more to the surrounding countryside than to the built-up area of the village.

The proposals therefore align to policy BE2 and NE4 of the VALP and the aims of the NPPF.

3.3.3. Reinforcing the setting of the adjacent conservation area.

As stated above, the proposals maintain the general appearance and typology of the existing building. The proposals would subsequently enhance and preserve the existing setting of the adjacent Conservation Area. They therefore align to policy BE1 of the VALP and the aims of the NPPF.

3.3.4. Mineral Safeguarding.

A Mineral Safeguarding Area Assessment was carried out to address concern (see appendix & separate report). On the basis of evidence sourced, mineral safeguarding was not considered to be of concern with regard to the proposed development.

3.3.5. Ecology

A Provisional Ecological Assessment was carried out as advised (see appendix & separate report). We fully support the requirements and other recommendations highlighted regarding existing and new biodiversity resources. Note – An Ecology and Trees Checklist has also been included with the current application.

3.3.6. Trees

An Arboricultural Impact Assessment was carried out as advised (see appendix & separate report). The report raises no issues with the proposals, providing root protection measures for the construction stage, and recommends the removal of one tree.

3.3.7. Archaeology

Advice was sought in reference to what may be required to accompany any future Planning application. Correspondence with Faye Hudson on 9th October 2023 advised the Planning department would consult the Local Authority archaeologist during the lifetime of the application. If they required further information, they may be able to request this during the application process.

3.3.8. Highways

The proposals will maintain current vehicle access through the site, up to and including the location of the Stables Outbuilding. No additional vehicle movements to or from the site will occur. Further, the new driveway and carport design will improve matters of existing vehicle movement and parking.

3.3.9 Flood Risk & Drainage

The site is located within Flood Zone 1 and is at very low risk of surface water flooding. The site is below the 1-hectare threshold for requiring a Flood Risk Assessment. Therefore, in principle, the proposed development is currently deemed to be resilient to climate change and flooding, and neither would it increase flood risk elsewhere in accordance with policy I4 of the VALP and the NPPF.

Existing hard standing areas by the outbuilding will be improved, without any new hardstanding areas being added. Surface water from the building will be collected and directed either to an on-site soakaway or collection/storage tank for landscape irrigation.

3.3.10 Agricultural Land Quality

Based on Natural England's Agricultural Land Classification map, the site comprises land that is of Grade 4 (poor) agricultural quality. All of the land within the site is limited to this land grade by wetness.

The proposals will not require any additional area from the land surrounding the Stables Outbuilding. The car port will sit within the existing plot occupied by the building. Ground levels will be adjusted as required to facilitate the design and drainage.

3.3.11 Sustainability

Consideration will be given to incorporating sustainable methods of construction and other sustainable energy solutions within the scheme wherever possible e.g. air source heating. These will include targeting greater efficiency in the use of natural resources, measures minimising energy use, improving water efficiency and promoting waste minimisation and recycling. The development will minimise, reuse and recycle construction waste wherever possible.

4. Conclusion

This application seeks full planning permission for

“Demolition of existing stables outbuilding, and construction of replacement outbuilding plus car port, for ongoing use ancillary to The Leys”.

This statement and accompanying drawings set out the details of the proposed development, based upon the matters raised as part of the pre-application 22/03856/PREMTG.

The following considerations have been assessed: the principle of development; visual impact of the development; impact on heritage assets; mineral resources; bio-diversity; highway safety and parking; flood risk; agricultural land quality and sustainability.

The proposed development would not result in any additional impacts over the existing building, and therefore these factors would be neutral in the planning balance.

The assessment of the proposals above highlights that there are no adverse impacts identified that would significantly or demonstrably outweigh the benefits of the development, and therefore in accordance with Paragraph 11 of the NPPF permission should be granted.

As such we trust that the Council will find the proposal acceptable and that planning permission will be granted accordingly.

Appendix 1 – Submission drawings

A 000 001p5	site location plan – existing	1:200@a3
A 000 002p1	site location plan – proposed	1:200@a3
A 025 001p1	site views – existing	
A 025 002p0	ground floor & roof plans – existing	1:100@a3
A 025 003p0	elevations & sections – existing	1:100@a3
A 025 004p0	elevations & sections – existing	1:100@a3
A 100 000p0	existing & proposed massing comparison	
A 100 001p0	existing & proposed site views comparison	
A 100 002p0	ground floor & roof plans – proposed	1:100@a3
A 100 003p0	elevations & sections – proposed	1:100@a3
A 100 004p0	elevations & sections – proposed	1:100@a3

Appendix 2 – Supporting reports

Provisional Ecological Assessment (V2 14/11/23) – Elite Ecology

Mineral Safeguarding Area Assessment (RevA December 2023) – Soiltechnics

Arboricultural Impact Assessment (January 2024) – RGS