



# PLANNING DESIGN & ACCESS STATEMENT

Greenhouse

Orchard House, Orchard Lane, Itchenor,  
PO20 7AD

FEBRUARY 2024





This statement accompanies a full application for a greenhouse within the garden of Orchard House, Orchard Lane, Itchenor, PO20 7AD; a property that is currently under construction. The application has been prepared with due regard to the character and appearance of the site and the surrounding area; its relationship with existing neighbouring properties and relevant planning policy.

## THE SITE & SURROUNDINGS

Orchard House is located in a harbour front location, accessed via a narrow private road servicing a small cluster of large, individually designed properties set within generous plots. The application site is situated outside of any designated settlement boundary, within the village of Itchenor. The site is located within Chichester Harbour National Designed Landscape, and Flood Zones 2 & 3. The site location is illustrated within Figure. 1 opposite.

### Planning History of the Site

The site has been subject to a number of applications following permission for the replacement house under application LA Ref: WI/22/00374/FUL. Relevant subsequent applications are listed below:

23/01942/FUL

Replacement dwelling, outbuildings and associated works - (Variation of Conditions 2 and 4 of Planning Permission WI/22/00374/FUL for amendments to; fenestration, front entrance canopy and associated steps, roof shingles added to side entrance and changes to materials schedule.

Status: Permit

22/02130/FUL

Replacement dwelling, outbuildings, and associated works (Variation of condition 2 from planning permission WI/22/00374/FUL - Amendments to outbuilding/pool house).

Status: Permit

22/00374/FUL

Replacement dwelling, outbuildings, and associated works.

Status: Permit

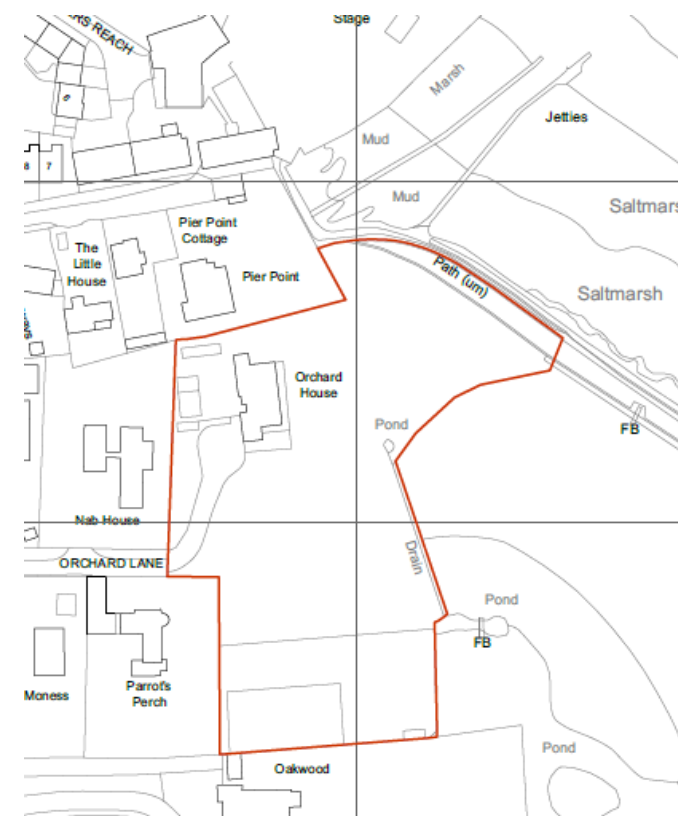


Figure 1: Site area outlined in red



## RELEVANT PLANNING POLICY

### National Planning Policy

The National Planning Policy Framework was revised in response to the Levelling-up and Regeneration Bill: reforms to national planning policy consultation on 19 December 2023 and sets out the government's planning policies for England and how these are expected to be applied and sets out the most up to date planning guidance for the proposed development.

On design, paragraph 135 the NPPF require decision to ensure that developments:

- will function well and add to the overall quality of the area, not just for the short term but over the lifetime;
- are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- establish a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Section 12 concerns design and states that achieving well-designed places is one of the key components of achieving sustainable development. Paragraph 126 states that; 'Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Section 12 also requires planning policies and decisions to ensure that development is designed to function well and add to the overall quality of the area for the lifetime of the development; including quality of architecture, layout, and effective landscaping, a sympathetic to local character and history. The section also supports innovation and change and encourages that design should achieve a strong sense of place through an appropriate amount and mix of development through arrangement of streets, spaces, building types and materials. Design should also achieve places that are accessible, and which promote health and well-being with a high standard of amenity for existing and future users are also encouraged.



## Local Plan Policy

The Chichester Local Plan: Key Policies 2014-2029 was adopted in July 2015 and the key policies relevant to the application proposal are Policy 1 (Presumption in Favour of Sustainable Development), Policy 2 (Development Strategy and Settlement Hierarchy), Policy 33 (New Residential Development), Policy 39 (Transport, Accessibility and Parking), Policy 40 (Sustainable Design & Construction), 43 (Chichester Harbour Area of Outstanding Natural Beauty), 45 (Development in the Countryside), 48 (Natural Environment) and 49 (Biodiversity).

Policies 1 and 2 set out the hierarchy of the settlements for the district and sets out the locations and role of the settlements to support sustainable development. This site is located within the Rest of the Plan area and therefore the location is at the lowest level within the district hierarchy when considering locations for new development. However, in this case the principle of development is established by the existing residential use of the site and is considered acceptable where it meets other development management considerations.

Policy 33 of the LP refers to new residential development and sets out that proposals must meet the highest standards of design and a high-quality living environment in keeping with the character to the surrounding area and its setting in the landscape; In addition, that its scale, form, massing and siting, height and design respects and enhances the character of the surrounding area and site.

Policy 43 states that the impact of individual proposals and their cumulative effect on Chichester Harbour AONB and its setting will be carefully assessed. Planning permission will be granted where it can be demonstrated that all the following criteria have been met:

1. The natural beauty and locally distinctive features of the AONB are conserved and enhanced;
2. Proposals reinforce and respond to, rather than detract from, the distinctive character and special qualities of the AONB;
3. Either individually or cumulatively, development does not lead to actual or perceived coalescence of settlements or undermine the integrity or predominantly open and undeveloped, rural character of the AONB and its setting; and
4. Is appropriate to the economic, social and environmental well-being of the area or is desirable for the understanding and enjoyment of the area (where this is consistent with the primary purpose of conserving and enhancing natural beauty); and
5. The policy aims of the Chichester Harbour AONB Management Plan.



Policies 45 and 48 refer to development within the countryside, design and the impacts upon the natural environment. These policies set out that proposals must be well related to an existing group of buildings, not prejudice any viable agricultural operations on a farm and ensure that their scale, siting, design, and materials would have minimal impact on the landscape and rural character of the area. Further there are requirements to respect the distinctive local character and sensitively contribute to creating places of a high architectural and built quality, respect natural landscapes and the tranquillity of the rural character of the area, meet the highest standards of design and a high-quality living environment in keeping with the character to the surrounding area and its setting in the landscape and maintain individual identity of settlements.

Policy 49 requires development to safeguard the value of the site, suitable mitigation of habitats and species, protection, management and enhancement of ecology networks, individual and cumulative impacts are avoided, and the benefits of the development outweigh any adverse impact on biodiversity on the site. The use of planning conditions and obligations may be utilised to propose suitable mitigation.

## Chichester Harbour Conservancy Design Guidance

The SPD provides guidance for development in the AONB and is a relevant material consideration for the application proposals. It was adopted by CDC on 16th May 2017 and provides non-prescriptive guidance as well as area specific guidelines for the design of new dwellings and extensions.

Paragraphs 12.1 and 12.2 of the SPD offer guidance on outbuildings, extensions and replacements dwellings where they are visible from the wider landscape. The proposals have been designed to respect local character by reflecting the surrounding pattern of development and locally distinctive building styles, materials and landscape setting. Landscaping has an important part to play in mitigating the visual impact of new development and new planting is encouraged especially native species typical of Chichester Harbour where this can help reduce the visual impact of new development.

The scale, mass and design of a house or extension will be critical in ensuring it is appropriate to the character of the AONB landscape. The SPD offers guidance on size increase based on building footprint (a 50% increase above the original) or silhouette increase (a 25% increase above the existing silhouette). In all cases however, the key test will be whether the site can accommodate the proposed increase irrespective of whether the design is within these guideline limits or not. Acceptability will depend on the combination of all factors for a particular site including setting in the landscape, the surrounding pattern of development and spaces between the buildings, proposed materials, silhouette height articulation and roof lines. The use of materials with muted or darker tones is encouraged to help reduce visual impact.

## West Itchenor Village Design Statement

The Itchenor Village Design Statement (VDS) was published in 2012 and provides local design guidelines for development in the parish of West Itchenor. Orchard House is identified as forming part of the area known as Area 1 - The Waterfront & Boat Yards. This area overlooks Itchenor Reach and extends from Northshore Yachts to the west as far as the water meadows below Spinney Lane in the east. The principal characteristic of this area is the Hard with its attractive views over the water to Bosham and the Downs beyond. The VDS recognises that the feature buildings within this area include the Itchenor Sailing Club, Conservancy building and waterfront properties focusing their layout and design on the availability of sea views.



## CONSIDERATIONS FOR THE DEVELOPMENT PROPOSAL

The proposal involves the construction of a domestic greenhouse with associated works to be erected within the garden of Orchard House. The greenhouse would be located to the west of the site, close to the permitted pool house and within the landscaped area permitted by discharge of condition application LA Ref: WI/23/01065/DOC.

The principle of residential development in this location is established by policies 33 and 45 of the Local Plan. The proposed building would be commensurate with the scale of the plot and well related to the host dwelling, its permitted incidental buildings and landscaped setting.

### Design and Appearance

The design of the greenhouse has been carefully considered to allow it to sit comfortably within the grounds, providing a domestic greenhouse to support growing of fruit, vegetables, and plants on a domestic level.

The scale of the building is commensurate in terms of the wider site and would be seen as an incident outbuilding subservient to the main house and pool house building. The design and form of the proposed building is low key within this domestic setting. Therefore, the proposal would integrate well within the site to respect the character of the area.

The design of the greenhouse is styled on a traditional Victorian greenhouse that utilises powder coated aluminium and a brick plinth. These materials would support the longevity of the building in this coastal environment.

The greenhouse would not be illuminated given the sensitive nature of the site within the National Landscape. The greenhouse would include water harvesting and irrigation to support reductions in water consumption. See figures 2 and 4 for siting and design images.

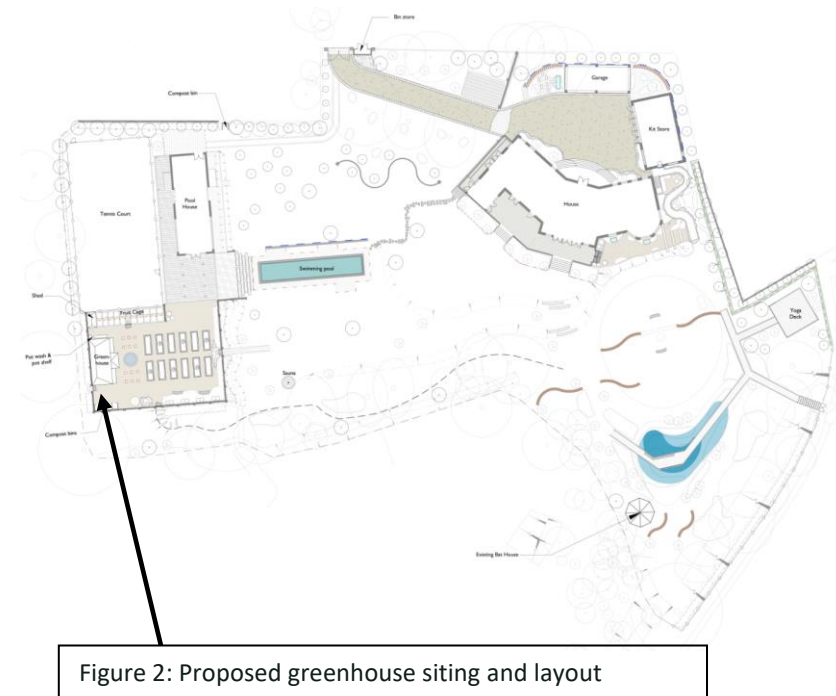


Figure 2: Proposed greenhouse siting and layout

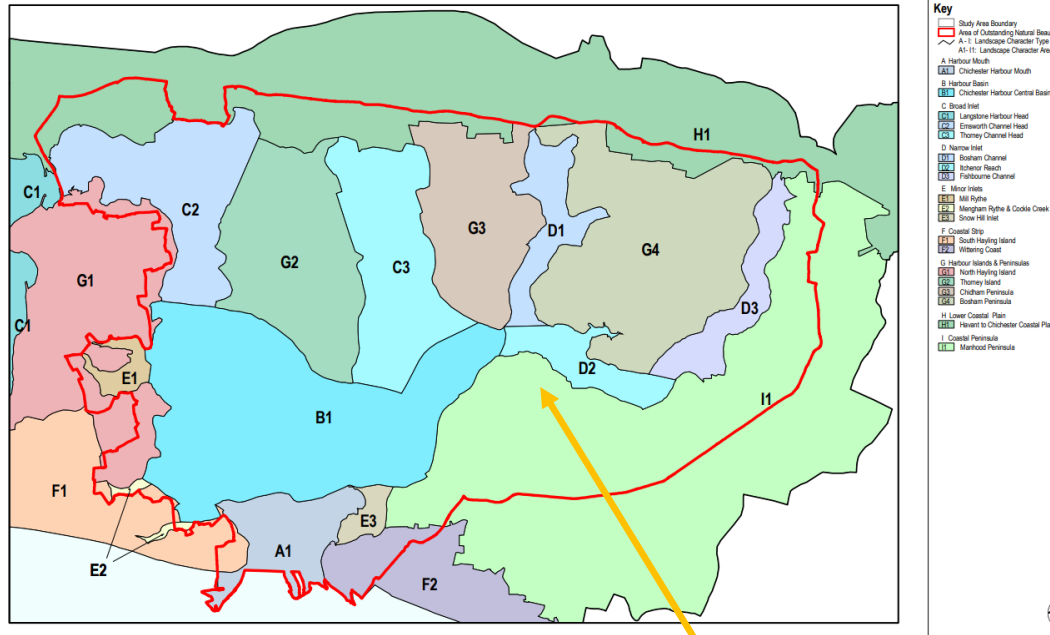
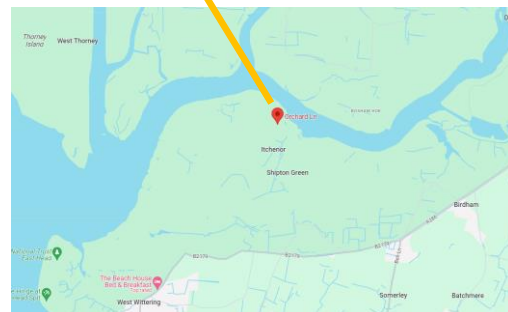


Figure 3: Site location in the context of Chichester Harbour AONB Landscape Character Assessment



### Chichester Harbour National Landscape Statement

On the 22nd of November 2023 all designated Areas of Outstanding Natural Beauty, including Chichester Harbour became National Landscapes. Chichester Harbour was designated as an AONB in 1964 and is one of 38 National Landscapes covering 14% of the land area of England and 5% of the land area of Wales. The site lies in a waterfront location of the Chichester Harbour National Landscape. Chichester Harbour National Landscape is one of the most important sites for wildlife in the UK, as well as being an active harbour for water users.

Chichester Harbour AONB landscape is reported as being in good condition overall, and its character areas are predominantly considered to be of high landscape sensitivity with areas of moderate-high sensitivity around the fringes of some settlements. The special qualities of Chichester Harbour AONB are defined in the AONB Management Plan as

- The unique blend of land and sea – especially the combination of expanses of open waters, narrow inlets and intimate creeks.
- The frequently wooded shoreline.
- The flatness of the landform, unusual among AONBs, accentuates the significance of sea and tide and of distant landmarks across land and water.
- The open water of the central area of the Harbour.
- The overall sense of wilderness within the seascape.
- The particularly strong historic environment and heritage assets.
- The picturesque harbourside settlements.



- The wealth of flora and fauna, notably the vast flocks of wading birds add to the richness and diversity of the landscape.
- The unspoilt character and unobtrusive beauty.
- The very special sense of peace and tranquillity, largely engendered by the gentle way the AONB is used and closeness to nature that is experienced.

The site is located within character area I1 Manhood Peninsula of the Landscape Assessment and is also closely located to character area D2 Itchenor Reach, see Figure 3. I1 is characterised as being broadly flat land overlying brickearths, intersected by small streams or rythes; predominantly open arable farmland with medium to large-scale field patterns; Small-scale hedged paddocks, concentrated around the villages, have an intimate character; Parkland estate landscape at Itchenor and Westlands enclosed by tree belts and copses; A wide range of habitats including unimproved coastal grassland, small ancient woodlands, marshes along the River Lavant, and Birdham Millpond contribute to character; Historic north-south road and settlement pattern; Dispersed modern roadside development along the A286; Distinctive clusters of flint and brick cottages at Itchenor, Birdham and Dell Quay; Wide views of the Harbour from coastal path in the southwest and views across farmland to Chichester Cathedral in the north; Birdham Pool and Chichester Marina are major recreational centres; overall the area retains a largely rural, undeveloped character. D2 is characterised as being; narrow inlet with a shoreline of wooded appearance; mudflats and saltmarsh at low tide; many small timber and concrete jetties; high density of moored yachts; historic settlement of Itchenor and modern harbourside houses are prominent in views.

The special features of the National Landscape would be retained by this proposal as a result of its modest scale, traditional design, use of muted colour to the frame and brickwork, and being non illuminated during dark hours. Further, the already permitted garden wall, framing the vegetable garden, would contain the greenhouse from the wider landscape.





## CONCLUSION

The applicant is committed to creating a high-quality development that provides a domestic greenhouse to support the dwelling. The scheme would incorporate high-quality design that is reflective of the character of the site and wider setting. The design would ensure the proposal assimilates comfortably within the site.

The development is justified in this location due to its association with the existing dwellinghouse. The small-scale development has been carefully considered to ensure a suitable design approach and is well related to the host house. The modest size of the building, with removed views from public vantage points, is considered to represent a sensitively considered form of development in keeping with the character and appearance of the site and surroundings. Importantly, the character and appearance of the National Landscape and its special features would be conserved and enhanced by this proposal.

The proposal is therefore considered to comply with the relevant policies of the Development Plan. Therefore, subject to conditions, permission should be granted at the earliest opportunity.



Figure 4: Illustrative image for style and colour example