



A1009 18 New Park Road, Chichester

Replacement Rear Extension
Design & Access and Heritage Statement

January 2024

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On behalf of: Mr & Mrs Sylvester- Brown

Revisions:	A	Householder Planning Application	16.02.2024
	B	Householder Planning Application	01.03.2024

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No dimensions to be scaled from drawings.



1.0 Introduction

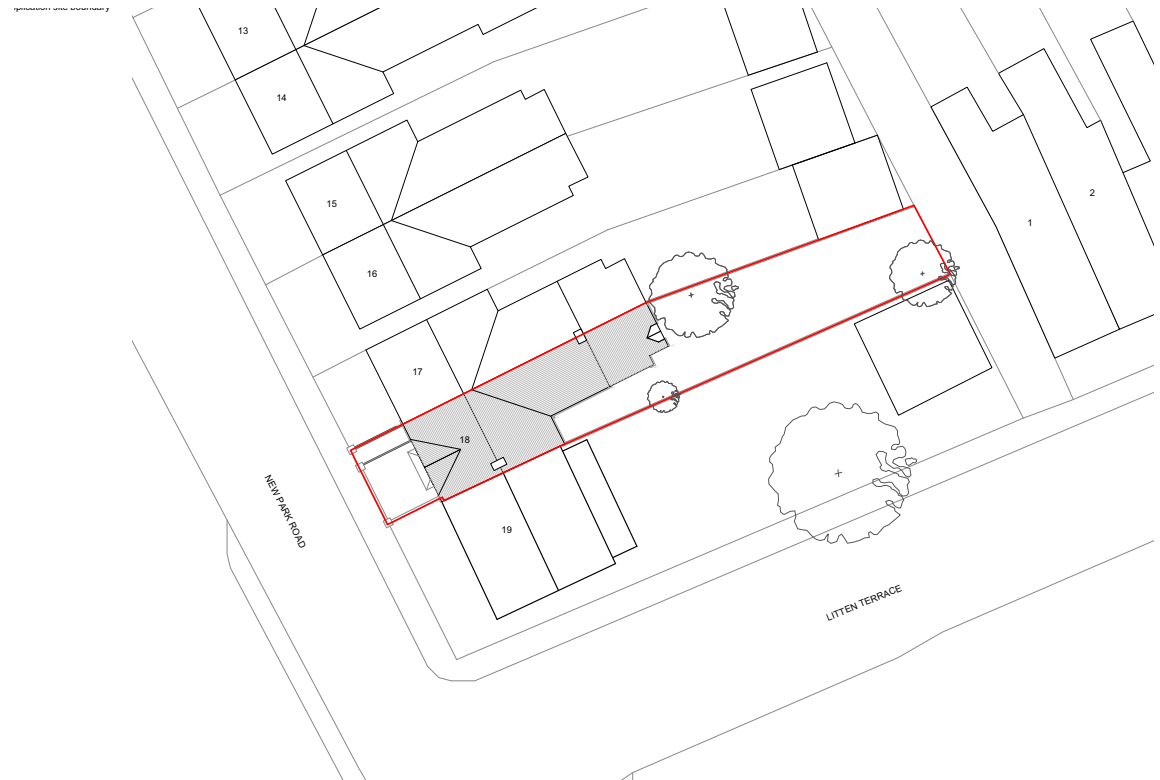
This Design & Access and Heritage Statement has been prepared in support of the application for Householder Planning Permission for works to an unlisted building in a conservation area by Mr and Mrs Sylvester-Brown

The proposal includes demolition of existing lean-to extension and introduce a replacement extension, to the rear of the property. The application also seeks to fell 1no. Snowy Mespilus tree to facilitate extension.

The Application Site is identified on the adjacent site plan.

The Application Site is located within Environment Agency Flood Zone 3, therefore a Flood Risk Assessment has been included within this application.

The purpose of this statement is to assess the site, identify the site context and establish the design principles and influences which inform the proposals. This document should be read in conjunction with the accompanying drawings.



Existing Site Plan- Not to Scale

2.0 Site Analysis

2.1 Character of the Property and Surrounding Area

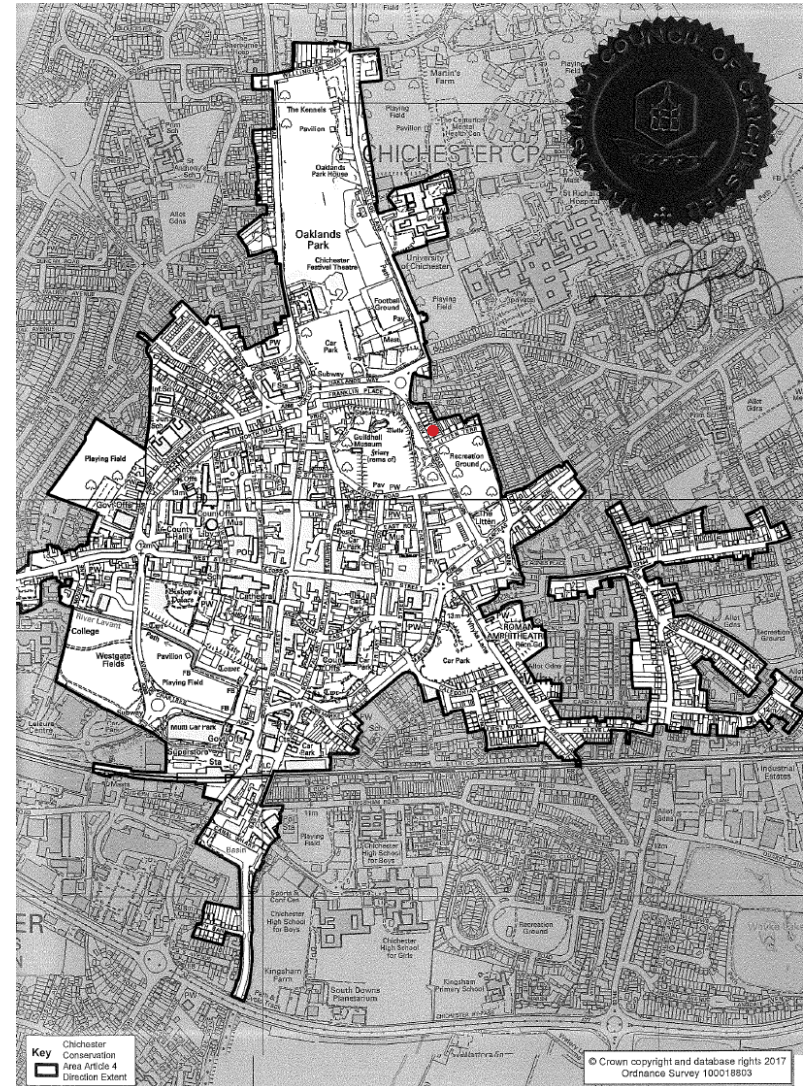
18 New Park Road is an unlisted semi-detached Victorian property located within Chichester Conservation Area. The row of houses sit directly opposite Jubilee Gardens adjacent to the north east city wall surrounding Priory Park.

The front elevation comprises slate, brick quoining and arches with flint infill and decorative barge boards. To the rear, the brickwork has been painted off-white/cream and a small brick and slate lean-to extension has been introduced to house the kitchen.

This application does not seek to make any changes to the main roof or front elevation of the property, and seeks to only replace the rear extension.

The property has a site area of approximately 0.01939 hectares (194sqm) and can be accessed by foot from New Park Road, to the south west of the site, or from the rear from an access road to the north east. This vehicle road is accessed from Litten Terrace.

The site is located within walking distance from Chichester City centre's multitude of amenities, including restaurants, bars, shops, The Festival Theatre, Cathedral and many more.



Map showing Chichester Conservation Area



South west / front elevation fronting New Park Road



Existing kitchen within lean-to extension



North east elevation- existing lean-to extension

3.0 The Proposals

3.1 Outline of Proposals

The proposal includes demolition of existing lean-to extension and introduction of a replacement extension, to the rear of the property, including a roof lantern.

Currently, the lean-to extension is small and comprises a dated and dark kitchen with very little visual connection to the garden. The applicants wish to improve this connection by introducing a slightly larger extension with double doors opening up into the garden and wider opening between the existing dining room and new kitchen space. This will provide a more spacious and suitable open-plan kitchen/diner for modern family living.

The roof lantern and double doors will also provide additional daylight into the kitchen and much needed light into the existing dining room.

3.2 Heritage Considerations

It is considered that visual impact on the neighbouring properties from the proposed extension will be minimal as the works are only located to the rear.

Materials have been selected to mimic the existing, including brickwork and painted timber windows.

3.3 Scale

The existing extension is 4.2m (L) by 3.5m (W) and it is proposed to increase the length by 1.5m to 5.7m.

3.4 Layout

The proposals seek to ensure no significant harm to the amenity and privacy of neighbouring properties by reason of overlooking or overpowering effect.

3.5 Access

Access to and around the site is unaffected by these proposals.

There is no impact on parking provision associated with this application

3.6 Appearance

The proposed replacement extension will be constructed using the following materials:

Roof: Flat roofing membrane

External walls: Brick to match existing

Windows & doors: Painted timber framed double glazing units

Rainwater goods: To match existing

3.7 Arboriculture

An arboricultural survey has been conducted to determine the condition, size and species of 3no. tree on the site. Refer to Arboricultural Report included within this application.

The report recommends removal of 1no. tree directly to the north east of the proposed extension, due to its location. A separate application has been made which seeks to fell 1no. Snowy Mespilus tree to facilitate extension.

4.0 Heritage Statement

The site has an area of approximately 0.01939 hectares (194sqm) and can be accessed by foot from New Park Road, to the south west of the site, or from the rear from an access road to the north east. This vehicle road is accessed from Litten Terrace.

18 New Park Road is an unlisted semi-detached Victorian property located within Chichester Conservation Area. The row of houses sit directly opposite Jubilee Gardens adjacent to the north east city wall surrounding Priory Park.

The front elevation comprises slate, brick quoining and arches with flint infill and decorative barge boards. To the rear, the brickwork has been painted off-white/cream and a small brick and slate lean-to extension has been introduced to house the kitchen.

This application does not seek to make any changes to the main roof or front elevation of the property, and seeks to only replace the rear extension.

It is considered that visual impact on the neighbouring properties from the proposed extension will be minimal as the works are only located to the rear, replacing the existing extension.

Materials have been selected to mimic the existing, including brickwork and painted timber windows.

Sustainability should be considered as a combination of the following factors:

- Economic Sustainability- social benefits, transport benefits and employment benefits.
- Social Sustainability- health & wellbeing, safety, satisfaction, form and space, access, amenity
- and inclusion.
- Environmental Sustainability- air quality, noise, land use, water, ecology & cultural heritage, design & operation and transport.
- Natural Resource Conservation- materials, water, energy, land use and waste.

Sustainability has to start at the preliminary design stage, to work with a development's surrounding environment and not against it.

Consideration must be given to the shape, form, orientation and function of buildings and how they will interact with each other. Carbon, water and waste are clear means by which the sustainability can be measured.

The use of sustainable resources and materials, together with the management of pollution, waste and recycling, air quality, and waste through construction should all be monitored through method statements.

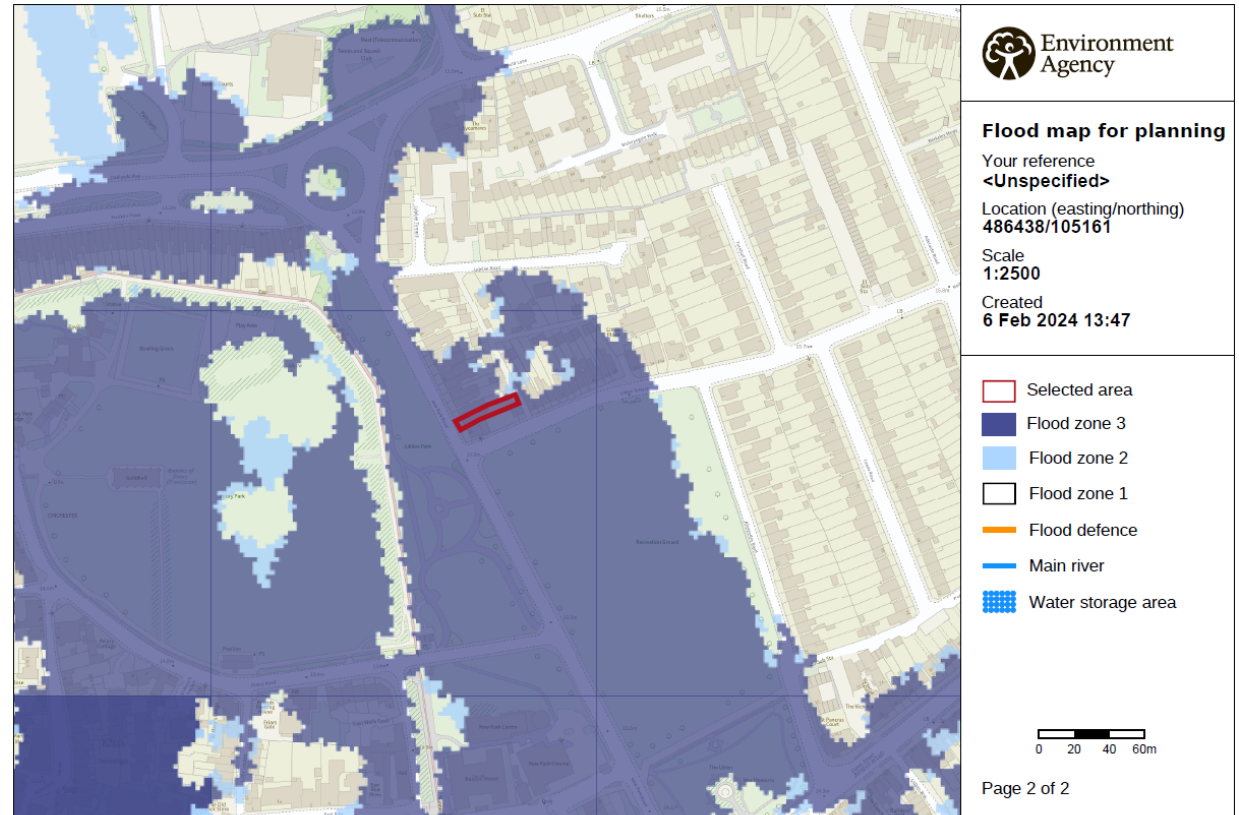
5.0 Flood Risk Assessment

The Environment Agency Flood Map for Planning (Rivers and Sea) shows the Application Site to be classified as Flood Zone 3, with a high probability of flooding – with a 1% or higher chance from rivers or 0.5% from the sea. See extract from Environment Agency opposite.

We do not believe this to be a concern as similar and larger replacement extensions have been approved and constructed in recent years to neighbouring properties, within the same flood zone.

Mitigation Measures to Protect from Flooding in Householder Extensions:

- Seal service entry connections
- All service outlets within the building to be a minimum of 450mm above floor level
- External doors to have slotted jamb provisions for flood boards
- All drain and service access covers at ground level to have locking covers and frames
- Passively support the maintenance and improvements of the city's coastal defences
- Ensure all bedrooms are at first floor level
- Ensure design and layout of development minimises the risk to people and damage to property in the event of flooding
- Sign up to relevant flood warnings (Environment Agency, Floodline etc)
- Complete the 'Personal Flood Plan' as issued by the Environment Agency for in house management in case of inundation
- Install remote location outdoor water and flood alarm to allow occupants for warning of flood depths



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Extract from Environment Agency

Householder and other minor extensions in Flood Zones 2 and 3

Applications for planning permission should be accompanied by a completed form. An electronic version can be submitted by 'printing' it to a PDF writer.

This guidance is for domestic extensions and non-domestic extensions where the additional footprint created by the development does not exceed 250 sq. metres. It should NOT be applied if an additional dwelling is being created, e.g. a self contained annex.

We recommend that:

Planning Authorities:

- 1) Refer the applicant to the standing advice pages on the Environment Agency website or provide them with a copy of this page for them to include as part of the planning application submission.
- 2) Check the planning application to ensure that one or other of the mitigation measures from the table below has been incorporated.

Applicants:

Complete the table below and include it with the planning application submission. The table, together with the supporting evidence, will form the Flood Risk Assessment (FRA) and will act as an assurance to the Local Planning Authority (LPA) that flood risk issues have been adequately addressed.

Applicant to choose one or other of the flood mitigation measures below	Applicant to provide the LPA with the supporting information detailed below as part of their FRA	Applicant to indicate their choice in the box below. Enter 'yes' or 'no'
Either ; Floor levels within the proposed development will be set no lower than existing levels AND, flood proofing of the proposed development has been incorporated where appropriate.	Details of any flood proofing / resilience and resistance techniques, to be included in accordance with 'Improving the flood performance of new buildings' CLG (2007)	Yes
Or, Floor levels within the extension will be set 300mm above the known or modelled 1 in 100 annual probability river flood (1%) or 1 in 200 annual probability sea flood (0.5%) in any year. This flood level is the extent of the Flood Zones	This must be demonstrated by a plan that shows finished floor levels relative to the known or modelled flood level. All levels should be stated in relation to Ordnance Datum ¹	No

Subterranean/basement extensions

Due to the risk of rapid inundation by floodwater basements should be avoided in areas at risk of flooding. The LPA may hold additional guidance for basement extensions.

Self-contained basement dwellings are 'highly vulnerable' development and should not be permitted in Flood Zone 3. We are opposed to these developments.

Continued...

¹ Ordnance Datum or the abbreviation 'OD' is the mean level of the sea at Newlyn in Cornwall from which heights above sea level are taken. The contour lines on Ordnance Survey maps measure heights above OD for example, though these are not accurate enough for a flood risk assessment..

Cumulative impact of minor extensions and the removal of Permitted Development rights.

There is potential for the cumulative impact of minor extensions to have a significant effect on flood risk. Where local knowledge (Strategic Flood Risk Assessment held by the LPA/information provided by the parish council) suggests this is the case the guidance contained in FRA guidance note 2 should be applied. FRA guidance note 2 can also be applied where permitted development rights have been removed for flood risk reasons. The Environment Agency does not usually comment on minor development in this category.

Permeable paving and changes to permitted development rights for householders

On the 1st October 2008 the General Permitted Development Order (GPDO) in England was amended by the Government (Statutory Instrument 2008 No. 2362).

One of the changes introduced by the GPDO amendment is the removal of permitted development rights for householders wishing to install hard surfacing in front gardens which exceeds 5sq. metres (i.e. 1m x 5 m) without making provision to ensure permeability. This means that use of traditional materials, such as impermeable concrete, where there is no facility in place to ensure permeability, requires an application for planning permission.

In order to help and advise householders of the options for achieving permeability and meeting the condition for permitted development status the Department for Communities and Local Government (CLG) has produced guidance on permeable paving which can be found on the following link <http://www.communities.gov.uk/publications/planningandbuilding/pavingfrontgardens>

The Environment Agency supports the GDPO amendment as it is in line with the recommendations of the Pitt Report regarding the need to better tackle the impact of surface water flooding. However, Local Planning Authorities should determine these applications in accordance with the CLG guidance **without** consulting the Environment Agency.

End of comment