

Flood Risk Assessment

For

34 Orchard Avenue, Chichester

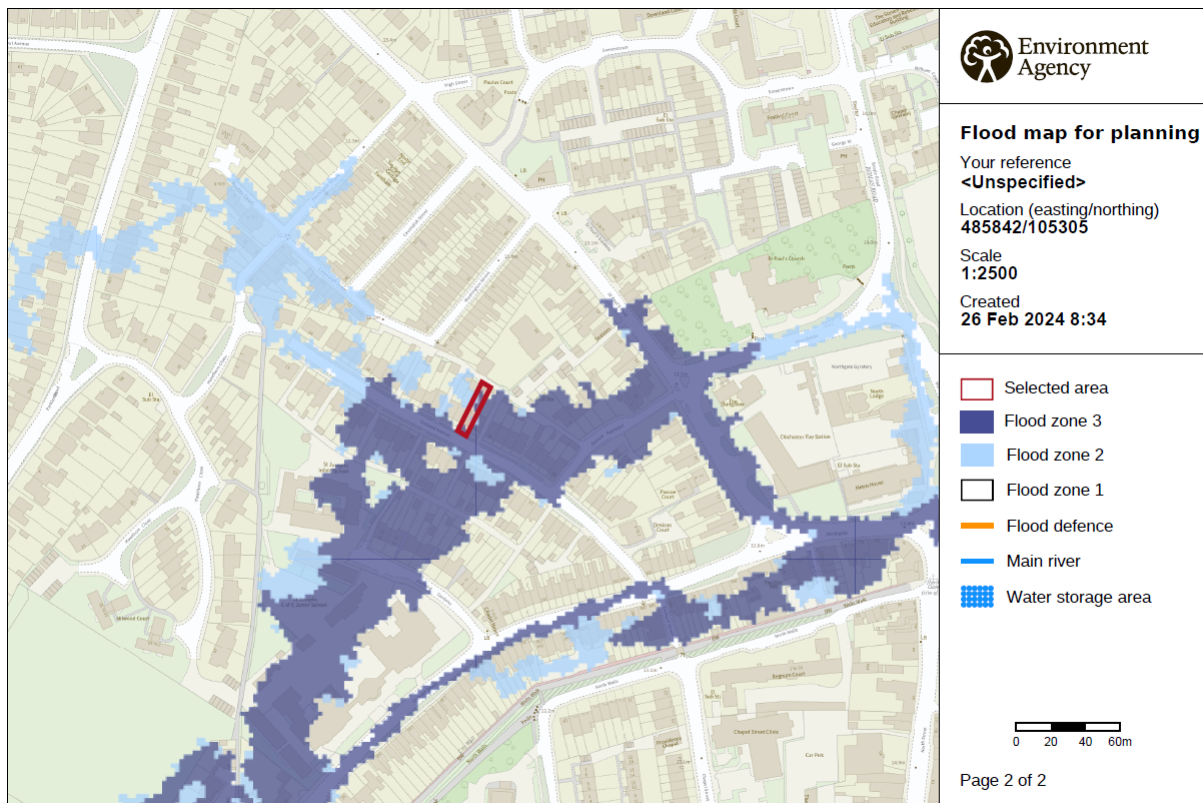
This flood risk assessment (FRA) has been prepared in support of a new Householder Planning Application for 34 Orchard St Chichester.

The property is an existing residential detached dwelling, on the North- Western side of Chichester City Centre.

The works forming the subject of the planning application, are to construct a new ground floor extension to the rear of the existing property.

Flood Risk:

This application site falls within Flood Zone 3 and is classified as being 'More Vulnerable'.



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The proposals are considered to be a minor extension, so this FRA uses the government's 'advice for minor extensions' rather than completing a more comprehensive FRA.

The government's guidance suggests the new floor levels be no lower than the existing. In this case, the proposed floor level for the extension will match the existing, in line with the government guidance.

The proposed ground floor extension enlarges the ground floor rooms. The proposed use of these rooms does not increase the vulnerability of the building.

Building Construction:

The existing building features block and beam floors which is a good method of achieving water exclusion. A 1200 gauge DMP is to be used to minimise the passage of water through new ground floors. The floor insulation should be of closed-cell type to minimise the impact of the flood water.

The existing walls are constructed using masonry, a resilient material. Existing cavity wall insulation is unknown. New external wall insulation will be chosen to be suitable for use in flood risk areas. All other insulation to be PIR type which has a closed-cell structure and does not allow for water penetration.

Good Practice:

- All new electrics - sockets and switches are to be a minimum of 450 mm above finished floor level.
- Ground floor doors are to be solid construction (not hollow core).
- Other ground floor joinery should be resistant to water damage (ie not chipboard).
- Decorating materials should be suitable for an increased likelihood of flooding, ie water resistant paints, no wallpaper to ground floor rooms etc.
- Floorboards provided for the main external entries.
- Plasterboard to be used to the lower half of the walls should be moisture resistant.

Warning and Escape:

The dwelling occupiers should register for the government's flood alerts:

<https://www.gov.uk/sign-up-for-flood-warnings>

To receive advance warning of a flood event.

A flood warning system should be installed to the proposed dwelling, with detectors situated in the lower-lying ground to the South, so that in the event of flooding residents would be warned in plenty of time to escape.