

DESIGN & ACCESS STATEMENT\_000

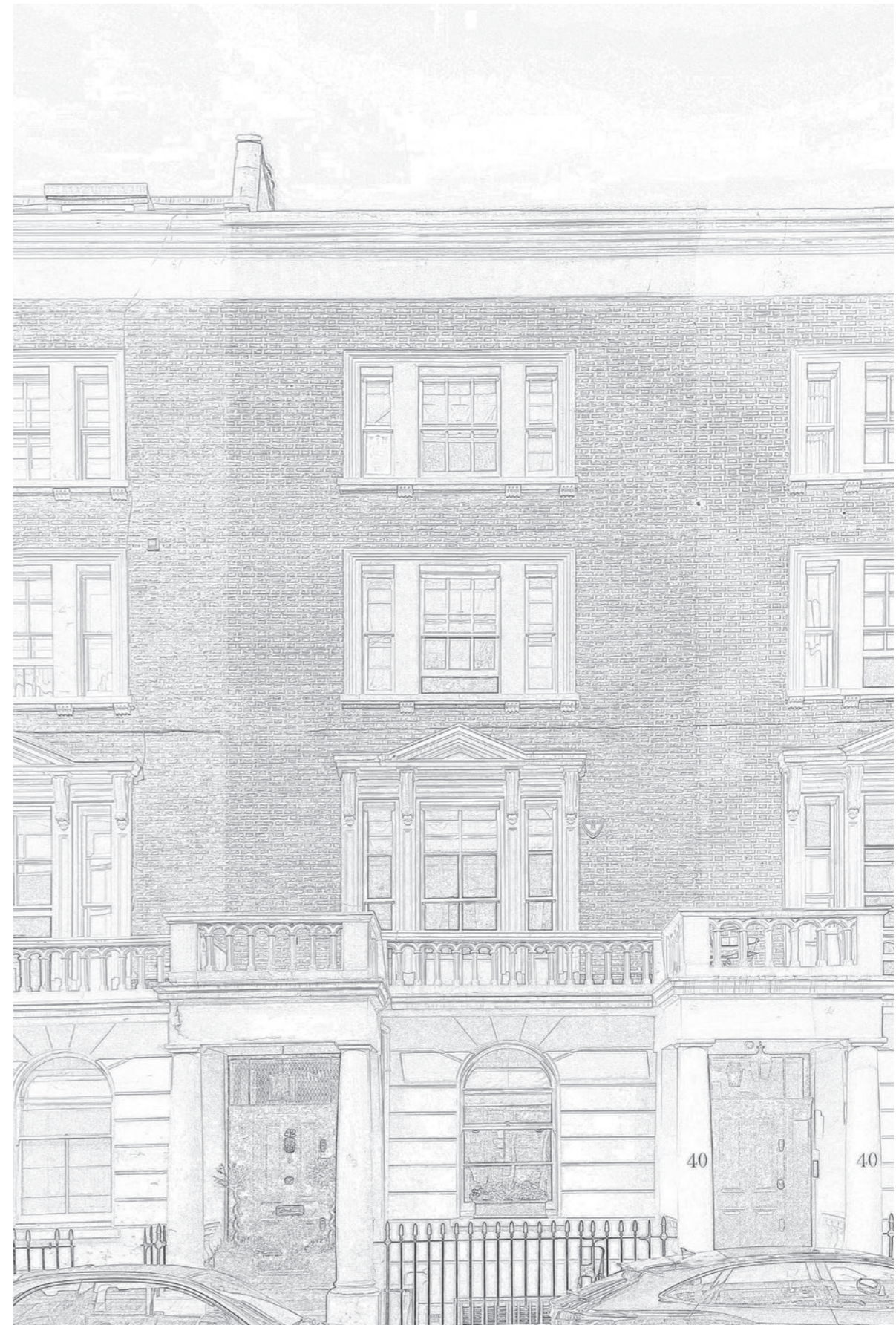
42 SUSSEX STREET, SW1V 4RH

MARCH 2024



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## 1.0 Introduction

- 1.1 This Design and Access Statement has been produced by Connect Architecture Ltd in support of a planning application for alterations to No. 42 Sussex Street.
- 1.2 The proposals seek to enhance the existing property, create additional living space and to provide a more efficient and sustainable dwelling
- 1.3 The proposals align with the design principles outlined with the City Plan 2019-2040 and the National Planning Policy Framework
- 1.4 This statement identifies the significance of the building whilst identifying alterations that have been undertaken that detract from that significance.
- 1.5 The application property is located to the south side of the Borough of Westminster, within the Pimlico Conservation area and Westminster's Pimlico Conservation Area Audit has been considered.
- 1.6 This statement has been compiled to outline the principles and concepts that underline the designs.
- 1.7 This Design and Access Statement should be read in conjunction with all submitted plans.
- 1.8 The property is a single dwelling house. There is no change of use proposed and the residence will remain as a single dwelling house (C3a).



Aerial view of 42 Sussex Street\_Front of building



42 Sussex Street: Entrance Elevation



42 Sussex Street: Rear Elevation

## 2.0 Site context/ Heritage aspect

- 2.1 No. 42 Sussex Street is located on the west side of the Pimlico Conservation Area, which was designated a conservation area in 1968.
- 2.2 The property is situated at the west end of Sussex Street on the north side of the street. The extent of the site is marked on the adjacent OS map, outlined in red.
- 2.3 The property formed part of the Cubitt Plan and is considered an unlisted building of merit.
- 2.4 Sussex Street is classed as a secondary route and space within the Conservation Audit for Pimlico
- 2.5 The application site is located within a Tier 3 Archaeological Priority Area (APA).
- 2.6 No. 42 Sussex Street makes a positive contribution to the historic and architectural character and appearance of the conservation area.
- 2.7 The property is a five-storey, including lower ground floor, single family dwelling house and forms part of a group of six similar terraced dwellings on Sussex Street; nos. 38, 40, 44, 46, 48, 50. The properties are constructed with classical detailing; stucco to the lower ground and ground floor, columned porticos with bottle balustrades, windows with pediments to the first floor level, London Stock brick to the upper levels and a rendered cornice forming a parapet wall to conceal the roof structure. The fenestration is made up of hardwood sash windows painted white.



Site Location Plan



1). Site image looking north towards 42 Sussex Street



2). Site image looking west towards 42 Sussex Street



Pimlico Conservation area map  
\*Image taken from Westminster Council Conservation area map

## 2.0 Site context/ Heritage aspect continued

2.8 Nos. 37-47 Sussex Street are the group of properties of a similar style to 42 Sussex Street located opposite the application property, on the south side of Sussex Street. 32 and 46 Sussex Street bookend this group of properties and project towards the pavement.

2.9 Nos 41, 43, 44, 45, 46, 47 Sussex Street have mansard roof extensions. Nos. 38, 45, 38 Sussex Street have roof terraces at the top floor level. The mansard roofs are set behind the parapet wall and therefore has a minimal impact on the street scene.

2.10 The mansard roof extensions form part of the character of the area. On Sussex Street, beyond the grouping of dwellings adjacent and opposite to the application property, nos. 6, 8, 10, 12, 14, 19, 21, 23, 27, 28, 29, 30, 31, 32, 33, 34, 50 also have mansard extensions



37-47 Sussex Street






Aerial View - Entrance Elevation



Aerial View - Rear Elevation

Key:

	42 Sussex Street
	Mansard Roof
	Roof Terrace

### 3.0 Existing Property

3.1 No. 42 Sussex Street is a single family dwelling constructed from London stock brick, timber sash windows painted white with white rendered architraves, white rusticated stucco to the lower ground and ground floor, columned porticos with bottle balustrades, windows with pediments to the first floor level, a rendered cornice forming a parapet wall to conceal the butterfly roof structure.

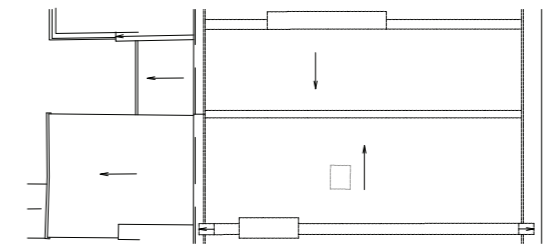
3.2 The existing property has front a front courtyard at lower ground level with access to the street level via an external staircase with metal railing painted black. To the rear of the property there is a small garden at lower ground level.



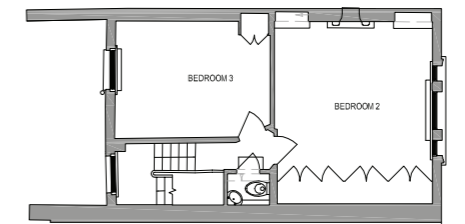
FRONT ELEVATION\_AS EXISTING



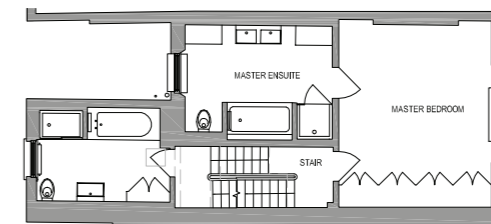
REAR ELEVATION\_AS EXISTING



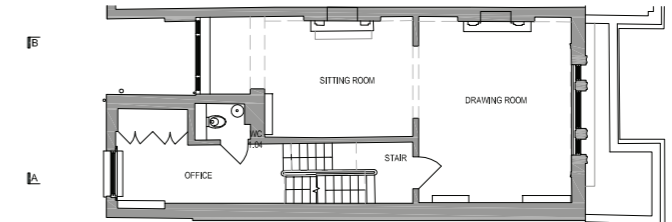
ROOF PLAN:  
AS EXISTING



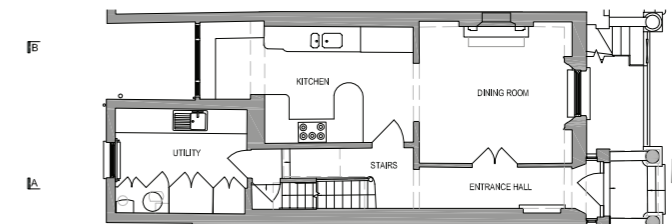
THIRD FLOOR PLAN:  
AS EXISTING



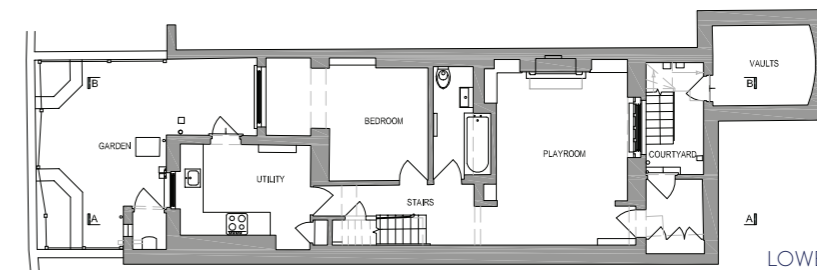
SECOND FLOOR PLAN:  
AS EXISTING



FIRST FLOOR PLAN:  
AS EXISTING



GROUND FLOOR PLAN:  
AS EXISTING



LOWER GROUND PLAN:  
AS EXISTING

## 4.0 Planning History

4.1 Planning history at No. 42 Sussex Street:Ref. 85/04966/FULL - Granted. Single storey rear extension in connection with formation of basement flat

Neighbouring Properties\_ developments within the last ten years with relevant approvals:

4.2 No. 44 Sussex Street - Ref. 16/01211/FULL - Granted\_ New mansard roof extension, extension to rear closet wing at 3rd level and rear infill extension at 2nd floor level in connection with top floor flat.

4.3 No. 44 Sussex Street - Ref. 16/02322/FULL - Granted. Alterations to front vaults to provide habitable accommodation. The replacement of the existing conservatory at rear ground floor level

4.4 No. 48 Sussex Street - Ref. 23/03816/FULL - Granted. Installation of air conditioning condenser unit and acoustic louvre screen at main roof level.

4.5 No. 48 Sussex Street - Ref. 23/03816/FULL - Granted. Replacement of sash windows to front elevation (at lower ground, ground, second and third floor), side elevation (at ground, second and third floor) and rear elevation (at ground, first, second and third floor) for new slimline double-glazed sash windows

4.6 No. 48 Sussex Street - Ref. 14/10196/FULL - Granted. Replacement of existing doors and window with new French doors at rear second and third floor half landing levels

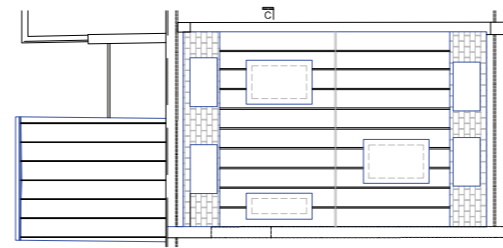
4.7 No. 50 Sussex Street\_Ref. 22/06138/FULL - Granted. Erection of mansard roof extension, extension in front lightwell, replacement windows to rear lower ground floor and internal alterations to vaults.

## 5.0 Proposals

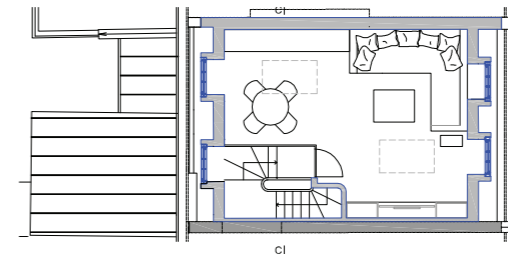
1.1 Please refer to the drawings that form an integral part of this submission which document the following proposals at No. 42 Sussex Street:

1.2 The proposals include:

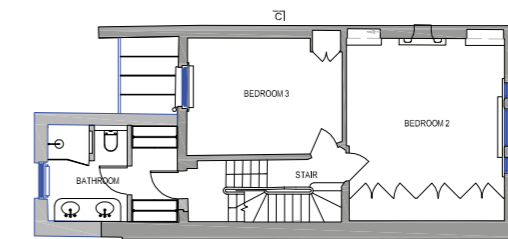
- an infill extension at lower ground floor level to the rear of the property with a green roof
- a second floor extension to the existing part infill extension to the rear of the property
- an extension to the outrigger at third floor level to the rear of the property
- a mansard roof extension with dormer windows and low profile roof lights
- Solar panels
- Air source heat pump with acoustic housing
- New double glazed timber windows with traditional detailing to match the existing



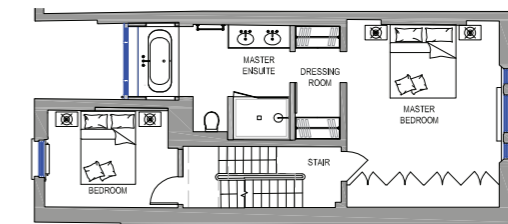
ROOF PLAN:  
AS PROPOSED



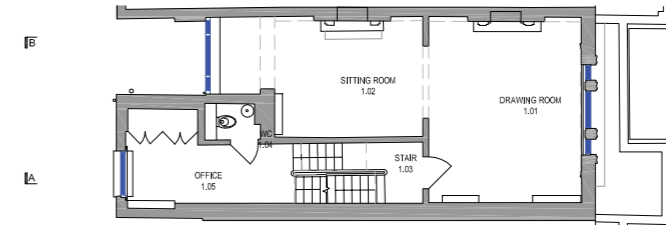
FOURTH FLOOR PLAN:  
AS PROPOSED



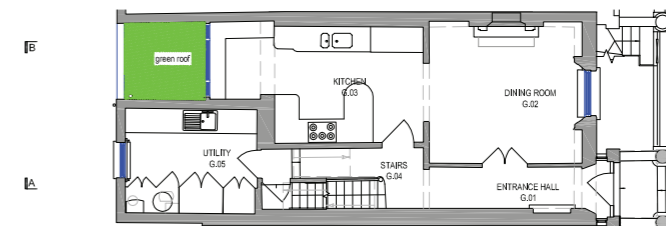
THIRD FLOOR PLAN:  
AS PROPOSED



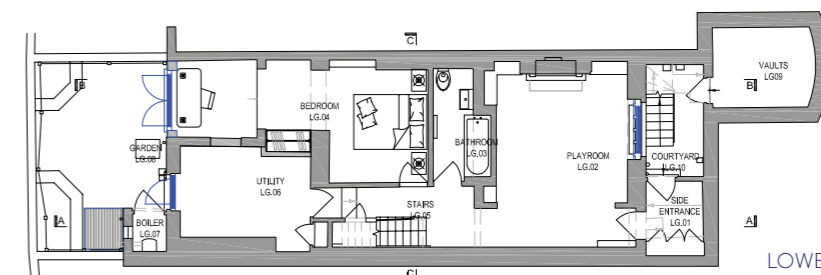
SECOND FLOOR PLAN:  
AS PROPOSED



FIRST FLOOR PLAN:  
AS PROPOSED



GROUND FLOOR PLAN:  
AS PROPOSED



LOWER GROUND PLAN:  
AS PROPOSED



FRONT ELEVATION\_AS PROPOSED



REAR ELEVATION\_AS PROPOSED



## 6.0 Proposals Summary

### 6.1 Materiality

- The proposed materials are to match the existing of the property.
- The proposed hardwood double glazed casement windows will match the existing windows in terms of detailing, style and colour.
- The proposed mansard roof will be natural slates with dormer windows with code 6 lead cladding and hardwood sash windows with traditional glazing bars and painted white extension
- The rear extensions will be reclaimed London Stock to match the existing, with gutters concealed behind parapet walls with york stone cappings. New drainage to be cast iron.
- The lower ground floor extension is to have an extensive flat green roof.
- Acoustic housing for air source heat pump to be timber cladding

### 6.2 Appearance & Amenity

- The alterations have been carefully designed to maintain the character and appearance of the area by keeping the main shape and original features of existing building. The extensions are designed to follow existing form and to align with the neighbouring properties
- Replacement of timber windows to match the existing design, which are to be double glazed.
- Lower ground in-fill extension does not project beyond the outrigger with a green roof
- Part in-fill rear extension at second floor level will match the fenestration of the extension below and the no. 44 Sussex Street.
- Extension to the outrigger will match the existing brickwork, with Code 6 rolled lead roof
- The proposed mansard is to be set back behind the existing parapet wall and will align with the neighbouring property. Mansard roof extensions form part of the character of the area.
- The rooflights are to be low profile and the solar panels are set back from the mansard ridge so they are not visible from the street scene.

### 6.3 Scale

- The extensions are to be subservient to the existing form. The mansard roof extension will align with the neighbouring mansard roofs.

### 6.4 Sustainability

- The proposals would contribute to a reduction in carbon dioxide and other greenhouse gas emissions and it is in line with the requirements of the City Plan.
- Installation of solar panels on the main flat roof of the mansard extension
- An extensive green roof to the lower ground floor extension which will form a part of the SUDS strategy.
- Water saving fixtures and fittings will be selected and will replace existing non-efficient fitting currently used throughout the building.
- An opening rooflight is proposed above the stairs to provide natural stack ventilation
- Proposed double glazed windows will reduce drafts and heat loss from a home, therefore less energy is expended by a heating system.
- The walls, floors and roof will be insulated, which will greatly improve the thermal efficiency of the building.

### 6.5 Landscaping

- The proposed lower ground floor extension is to have a green roof.

### 6.6 Access

- The existing and proposed use of the dwelling is private residential use.
- The proposal does not seek to alter the public highway or footpath. Access to the building is to remain as existing via the front door from Sussex Street.

## 7.0 Planning Policy

7.1 The proposals have been carefully considered to protect the significance of the building and the character and appearance of the Pimlico Conservation Area.

7.2 The following policies from the National Planning Policy Framework (NPPF) have been considered:

7.3 Chapter 12; Achieving well-designed and beautiful places:

- The designs are of a high quality, subservient in massing to the existing property, designed to match the existing beautiful architectural details. Sustainability is at the heart of the proposal with upgrading the glazing to double glazing, a green roof and solar panels.

7.4 Chapter 16; Conserving and enhancing the historic environment

- 42 Sussex Street is a locally listed heritage asset and has significance because it makes a positive contribution to the Pimlico Conservation Area.
- The significance of the application property relates primarily to the entrance elevation because it is visible within the Pimlico Conservation area. The property is terraced and the entrance elevation is visible from Sussex Street and oblique views from the junctions with Westmoreland Place and Sutherland Street. The proposals ensure the entrance elevation is to remain as existing. The mansard roof extension is set back from the front facade and because of the height of the existing property it will be largely concealed behind the existing parapet wall. The mansard extension relates to the mansard extension to the adjacent properties.
- The rear elevation is not visible from the street scene and the original rhythm of the street with the 'L' shaped form of the outriggers is to be maintained. The rear elevations to the adjoining properties and local context are varied. The proposals align with the approved designs to no. 44 Sussex Street.
- The designs have been carefully considered to respect the character of the existing property and retain its significance within the conservation area. The application property is a locally listed heritage asset

7.5 Westminster's City Plan 2019-40:

- Policy 7 The extensions are considered to protect neighbour's amenity, in terms of daylight, sense of enclosure overshadowing, privacy and overlooking.
- Policy 33 To protect the privacy and environment of people in neighbouring properties
- Policy 38: Design Principles: A, B D have been followed to ensure quality design that is sympathetic with context.
- Policy 39 Westminster's Heritage (A) (B) (K) with sensitive adaptations and extensions to ensure the heritage asset and conservation area are not harmed and the character of place is retained.
- Tier 3 Archeological Priority Area and the proposed works will have a minor impact on ground works as the lower ground floor extension does not extend beyond the rear building line of the outrigger and will utilise the existing foundations on three sides. No. 44 Sussex Street has extended at lower ground floor level and beyond the line of the outrigger.
- Policy 40 Townscape and Architecture (A) (D) (E); have been adhered to. There are existing mansard roofs with raised party parapet walls and the proposals will follow this rhythm.

7.6 Pimlico Conservation Area Audit has been reviewed.



Street View - As Existing



Street View - As Proposed

## 8.0 Proposal Justifications:

8.1 There are site specific circumstances to consider in support of the third-floor extension to the outrigger/closet wing:

8.2 The neighbouring property, no.44 Sussex street, has a third floor extension to the outrigger with a large water storage tank above which extends the full width of the closet wing and up to the height of the rear parapet wall of the main house; this extension was granted planning permission in 2016, along with a mansard roof. We note that prior to the 2016 approval there was an historic box extension at third floor level above part of the outrigger to house a small bathroom, which may have had an influence on the application. No. 42 and 44 Sussex Street would have originally matched in terms of massing and form.

8.3 The proposals echo the extension to no. 44 Sussex Street, which reintroduces the rhythm between the two properties, as originally intended.

8.4 The outrigger extension will not be visible from the street scene. There are no windows proposed in the flank walls to the outrigger extension.

8.5 Within the group of 6no. adjacent terraced properties, nos 38-48 Sussex Street:

- Nos 38 & 48 Sussex Street have outriggers that extend to the second-floor level with roof terraces and their massing is similar to the third storey extension to no. 44 Sussex Street
- No. 44 Sussex Street has a third-floor extension to the outrigger and a large water tank up to the parapet level.
- Nos. 38, 44, 46, 48 Sussex Street have roof terraces at fourth floor level.
- Nos. 40 and 46 Sussex Street have roof terraces at second floor level.

8.6 Within the wider block where the rear elevation of 42 Sussex Street can be viewed in context with the surrounding properties, 20-30 Westmoreland Place, 37-43 Clarendon St and 16-28 Sutherland Street. Please refer to the attached images.

8.7 Ten properties have outriggers that extend to the third-floor level and above the rear parapet wall line of the main houses: Nos.24, 26 28 Sutherland Street, nos. 22, 24, 26, 28, 30 Westmoreland Place and nos 39, 41 Clarendon Street

8.8 The rectangular form of the block of houses means that the proposed outrigger extension would only be visible directly by nos 39 and 41 Clarendon Street which are located over 30m away. The other properties would have oblique views.

8.9 All the other outriggers in the block are finished with a parapet wall with concealed gutters. No. 42 Sussex Street is the only property within the block with a visible pitched tiled roof with a UPVC gutter; it currently feels an anomaly within the group.

8.10 The proposed extension to the outrigger would not impact on the neighbour's amenity to either of the adjoining properties. Above the outrigger are two raked party walls that extend up to the third-floor level.

8.11 No. 44 Sussex Street is to the south of the proposed outrigger and already has an outrigger extension to third floor level and an infill extension at second floor level. Therefore, her won't be a loss of sunlight, nor overlooking.

8.12 No. 40 Sussex Street has a large roof terrace set away from the outrigger by half the width of 42 Sussex Street. The door to the roof terrace leads onto the staircase and not a habitable room.

8.13 The proposed outrigger faces the flank wall to the outrigger of no. 28 Sutherland Street which extends to the third floor. There are no windows within the upper levels of the flank wall.

8.14 The windows of the main house at 28 Sutherland Street are located over 7m away from the proposed outrigger and at an oblique angle. These windows serve the following rooms:

- Ground floor plan is an open plan dining room, kitchen, sitting room served by windows to the front of the property
- First Floor Plan shows an open plan kitchen living room, served by windows to the front of the property
- Second floor shows a bathroom
- Third floor shows a bedroom

8.15 The proposed extension is to house a bathroom and would not create issues with overlooking.

## 8.0 Proposal Justifications continued

- 8.16 The existing outrigger to 42 Sussex Street looks out of proportion to the other closet wings in the block; the application property is a storey taller than the properties on Clarendon St, Sutherland Street and Westmoreland Place yet the existing outrigger is a storey lower.
- 8.17 The existing outrigger has a bathroom at second floor level and currently has a foul waste pipe cutting across the rear elevation and steps out to cross the rainwater pipe, which looks unsightly. With the third-floor extension there will be a singular cast iron waste pipe that runs down the flank wall keep the rear elevation of the closet wing clean, as originally intended.
- 8.18 The proposed extension would be constructed with quality natural materials. The bricks are to be reclaimed London stock to match the existing brickwork. The roof is to be rolled code 6 lead. The new sash windows are to be hardwood sash windows painted white with traditional glazing bars and brick gauged arches to match the historic detailing. The extension will allow the relocation of the waste pipe so that it doesn't cut across and step out beyond the rear elevation.
- 8.19 The scale of the outrigger will remain subservient to the rest of the dwelling and stops short of the parapet wall of the main house. Extending to the third-floor level will match most of the other outriggers within the block. The footprint remains unchanged and would allow the plan form to remain as originally designed.
- 8.20 We do not believe that an approval for a third storey extension to the outrigger would set a precedent; the setting and context of the block provide a unique character of taller closet wings, which provides the justification. The proposed extension would feel congruous given the surrounding context and would reinstate some of the rhythm to the rear elevations of this group of properties. The extension would enhance the quality of the rear elevation and would not cause harm the conservation area, or impinge on the neighbour's amenity.

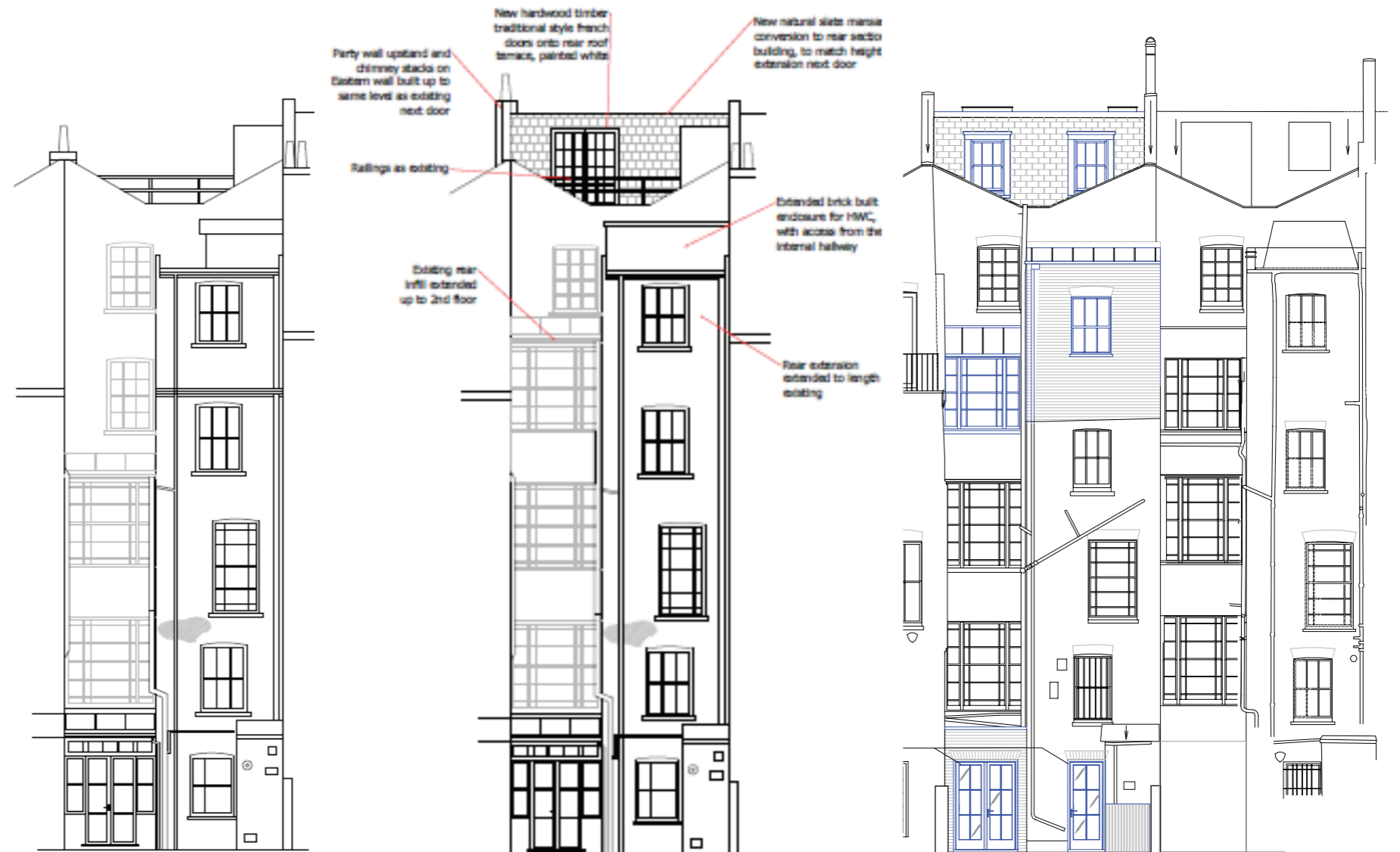
## 9.0 Precedent; No. 44 Sussex Street

9.1 No. 44 Sussex Street the neighbouring property gained approval in 2016 for the following works:

- Ref. 16/01211/FULL - Granted. New mansard roof extension, extension to rear closet wing at 3rd level and rear infill extension at 2nd floor level in connection with top floor flat.
- No. 44 Sussex Street - Ref. 16/02322/FULL - Granted. Alterations to front vaults to provide habitable accommodation. The replacement of the existing conservatory at rear ground floor level

9.2 The proposals to the application property are similar in terms of massing and materiality to no. 44 Sussex Street

9.3 The proposals to the application property will maintain a rhythm with the neighbouring properties.



No.44 Sussex Street: Rear Elevation pre- 2016 planning approval

No.44 Sussex Street: Rear Elevation, 2016 planning approval

No.42 Sussex Street: Rear Elevation, as proposed

## 9.0 Conclusion

- 1.1 It is considered that the proposed changes will not have a negative affect upon the character, appearance or special fabric of the building or the streetscape.
- 1.2 The proposals have been carefully considered, they are minor in nature and follow precedent of the surrounding context. The character and appearance of the conservation area would be maintained.
- 1.3 The proposals will have a positive impact environmentally which provides a public benefit:
  - Solar panels,
  - Double glazing,
  - Insulation,
  - Green roof
- 1.4 The proposed extensions, are congruous with the existing form and massing of the property. The extensions echo the extensions to the neighbouring property and other properties in close proximity. The proposals to the rear will not be visible from the street scene. The mansard roof will align with the neighbouring mansard roof extensions and it will largely be concealed from the street scene set back behind the existing parapet wall.
- 1.5 The designs have been carefully considered to meet policies and guidance. We therefore recommend that the application is considered for your support and approval.



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