

Dimensions
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Discrepancies
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Compliance
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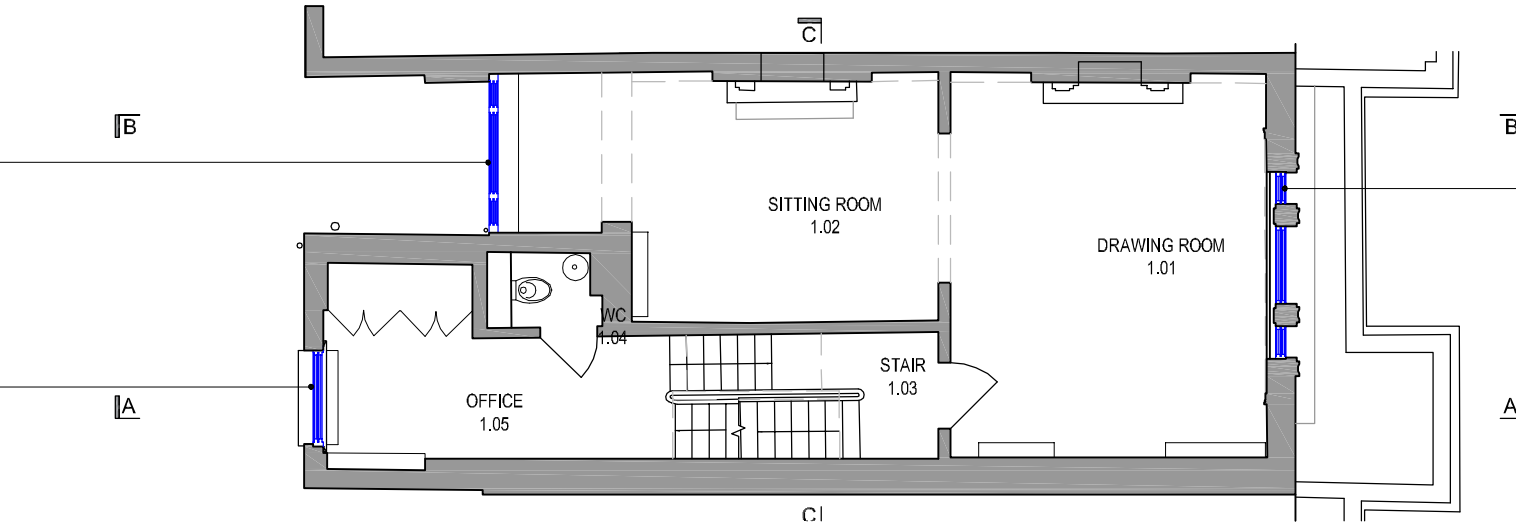
Copyright
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Rev	Date	Description
000	01-12-23	Initial design
001	29-12-23	Designs adjusted

New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white

New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white

New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white



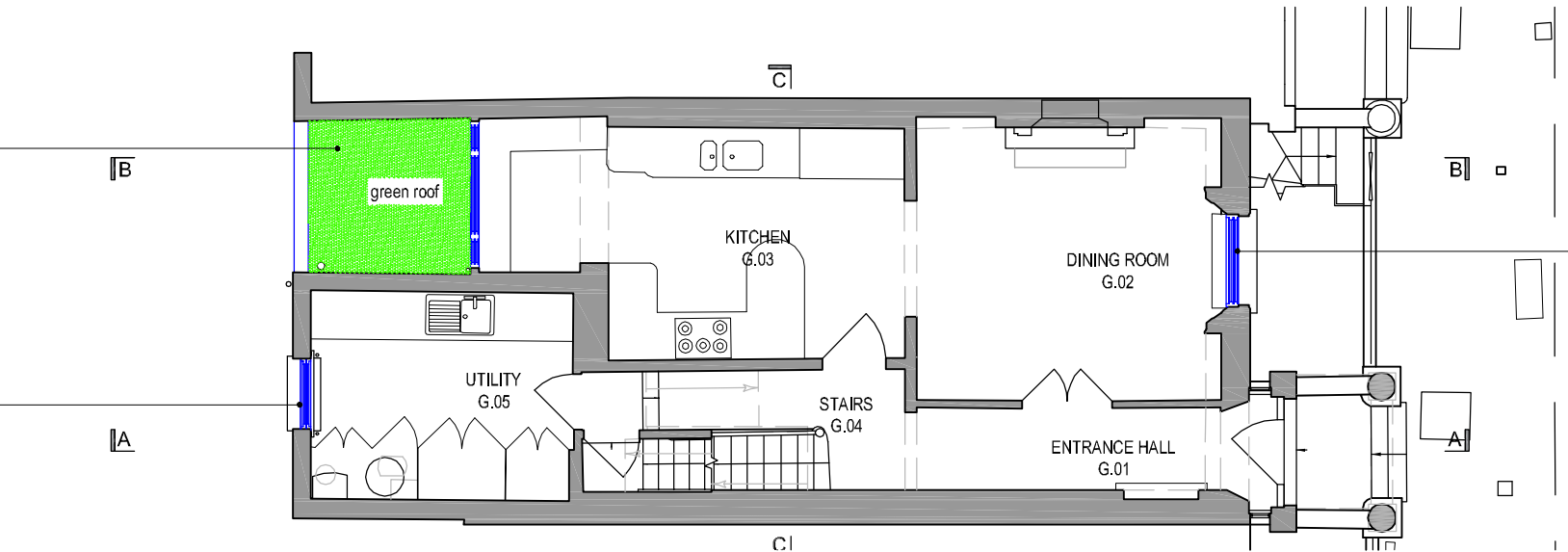
3 FIRST FLOOR PLAN - AS PROPOSED

Scale: 1:100

New lower ground infill extension with green roof. New extension to be reclaimed London stock brick to match the existing, parapet wall with sandstone coping and green roof. Green roof to be an extensive green roof

New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white

New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white



2 GROUND FLOOR PLAN - AS PROPOSED

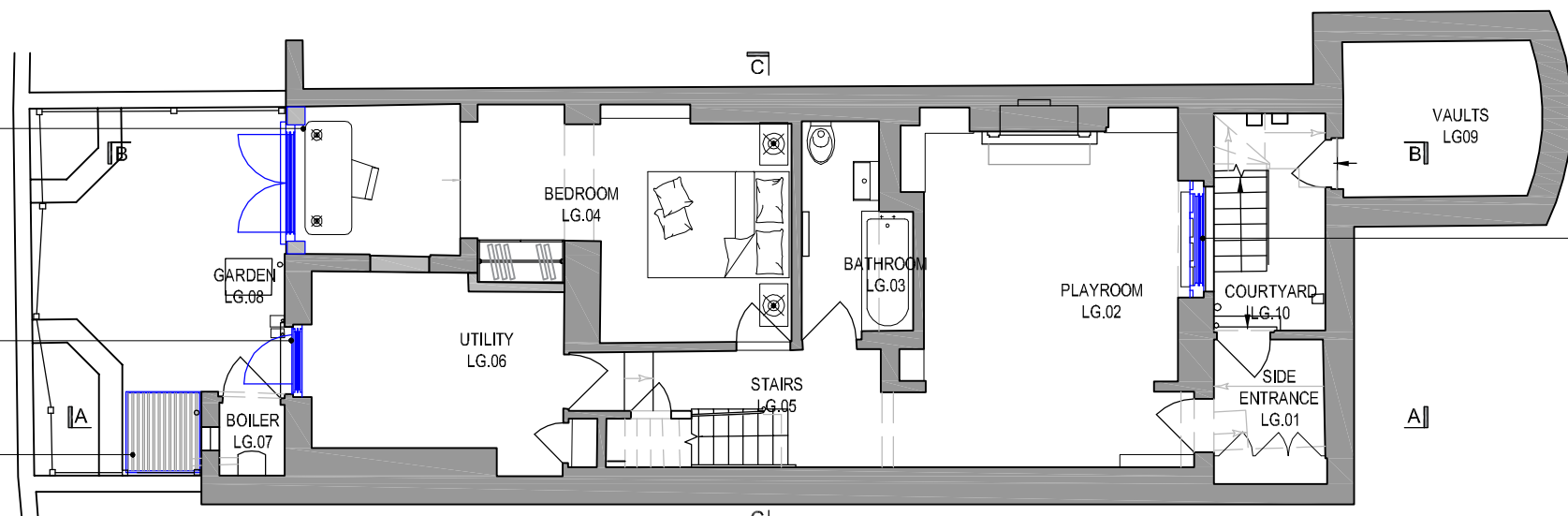
Scale: 1:100

New lower ground floor infill extension with green roof. New extension to be reclaimed London stock brick to match the existing, parapet wall with sandstone coping and green roof. New French doors to be hardwood frame with traditional glazing bars to match existing

New glazed door: to replace sash window. New door to be hardwood timber frame, with traditional glazing bars, painted white

Acoustic housing to conceal an air source heat pump. Noise will not exceed a level that is 10dB below the prevailing background noise level outside any noise sensitive premises when rated and assessed in accordance with BS4142:2014

New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white



1 LOWER GROUND FLOOR PLAN - AS PROPOSED

Scale: 1:100

KEY:

- Existing
- Proposed
- Demolition
- Boundary



Project:
42 SUSSEX STREET,
London, SW1V 4RH

Client:
-

Title:
LOWER GROUND, GROUND & FIRST FLOOR PLANS AS PROPOSED

Status:
INFORMATION

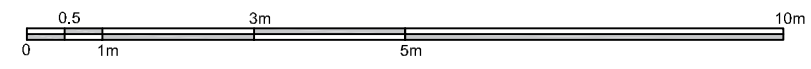
Date:
13-10-22

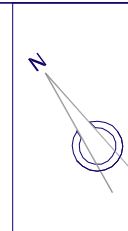
Scale:
1:100 @A3

Job No:
352

Drawing No:
P-002

Rev:
001





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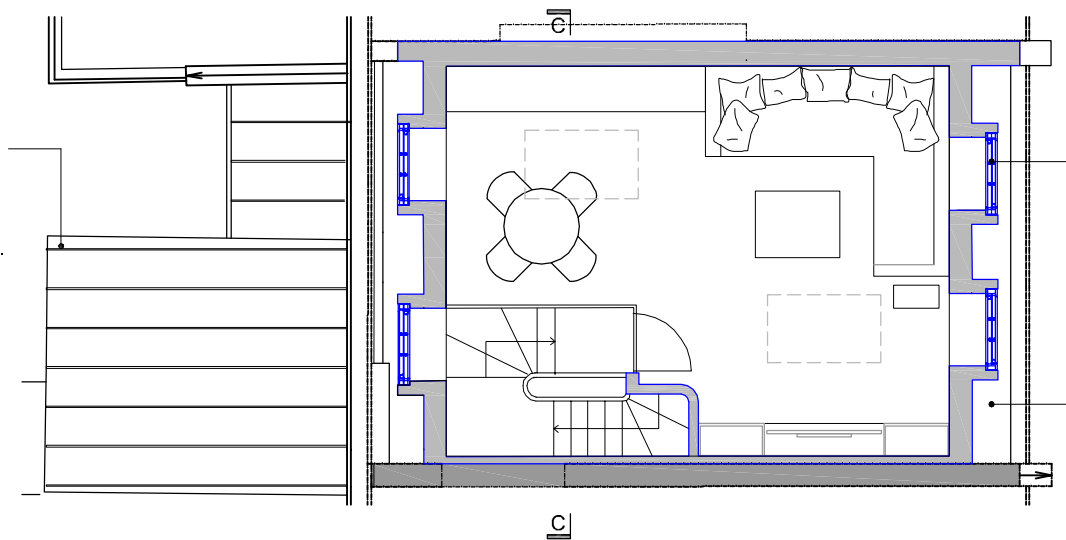
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Rev	Date	Description
000	01-12-23	Initial design
001	17-12-23	Infill extension to second floor
002	29-12-23	Designs adjusted

Extension of outrigger. New extension to be reclaimed London stock brick to match the existing. Roof to be code 6 rolled lead roof to falls, flashings to be code 5 lead. New drainage to be cast iron. New sash window to match existing to be hardwood frame with traditional glazing bars to match existing.



New dormer windows: to be hardwood timber frame, with traditional glazing bars, painted white. Code 6 lead roof and dormer cheeks. Code 5 lead flashings.

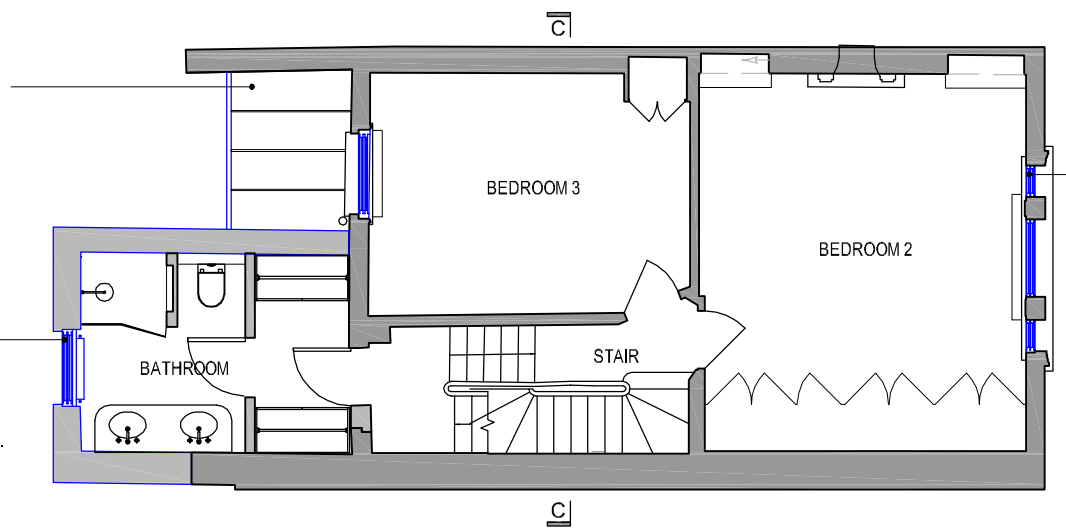
New mansard roof extension; set behind existing parapet wall with concealed gutter. Tiles to be natural slates.

3 FOURTH FLOOR PLAN - AS PROPOSED

Scale: 1:100

Second floor infill extension. Roof to be code 6 rolled lead roof to falls. flashings to be code 5 lead. New drainage to be cast iron. New sash window to match existing windows to the infill extension below; to be hardwood frame with traditional glazing bars to match existing.

Extension of outrigger. New extension to be reclaimed London stock brick to match the existing. Roof to be code 6 rolled lead roof to falls, flashings to be code 5 lead. New drainage to be cast iron. New sash window to match existing to be hardwood frame with traditional glazing bars to match existing.



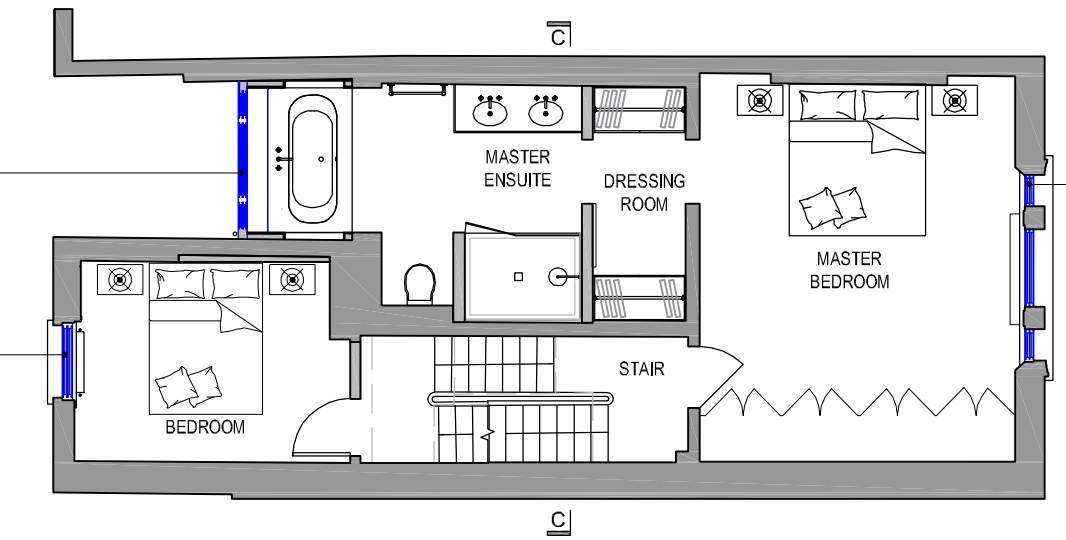
New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white

2 THIRD FLOOR PLAN - AS PROPOSED

Scale: 1:100

Existing infill extension extended to second floor level

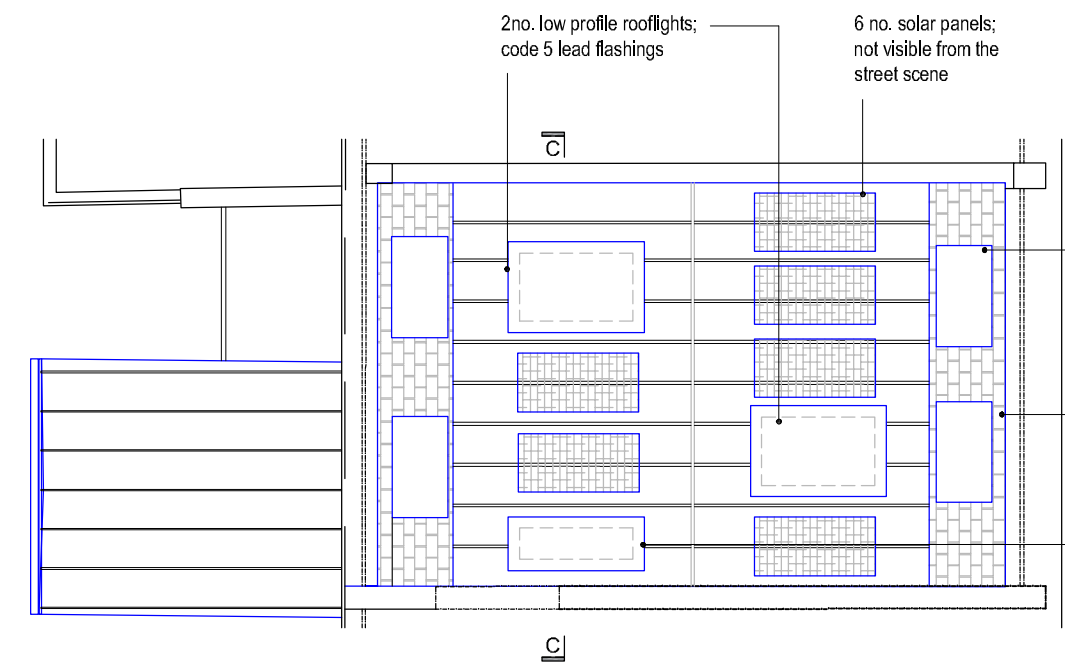
New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white



New sash windows: to replicate the existing windows with double glazing. New windows to be hardwood timber frame, with traditional glazing bars, painted white

1 SECOND FLOOR PLAN - AS PROPOSED

Scale: 1:100



2no. low profile rooflights; code 5 lead flashings

6 no. solar panels; not visible from the street scene

New dormer windows: to be hardwood timber frame, with traditional glazing bars, painted white. Code 6 lead roof and dormer cheeks. Code 5 lead flashings.

New mansard roof extension; set behind existing parapet wall with concealed gutter. Tiles to be natural slates.

New low profile rooflight.

4 ROOF PLAN - AS PROPOSED

Scale: 1:100

KEY:
 Existing
 Proposed
 Demolition
 Boundary



Project:
42 SUSSEX STREET,
London, SW1V 4RH

Client:
-

Title:
SECOND, THIRD, FOURTH & ROOF FLOOR PLANS AS PROPOSED

Status:
INFORMATION

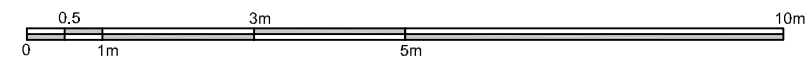
Date:
13-10-22

Scale:
1:100 @A3

Job No:
352

Drawing No:
P-003

Rev:
002





1 ENTRANCE ELEVATION - AS PROPOSED

Scale: 1:100



2 REAR ELEVATION - AS PROPOSED

Scale: 1:100



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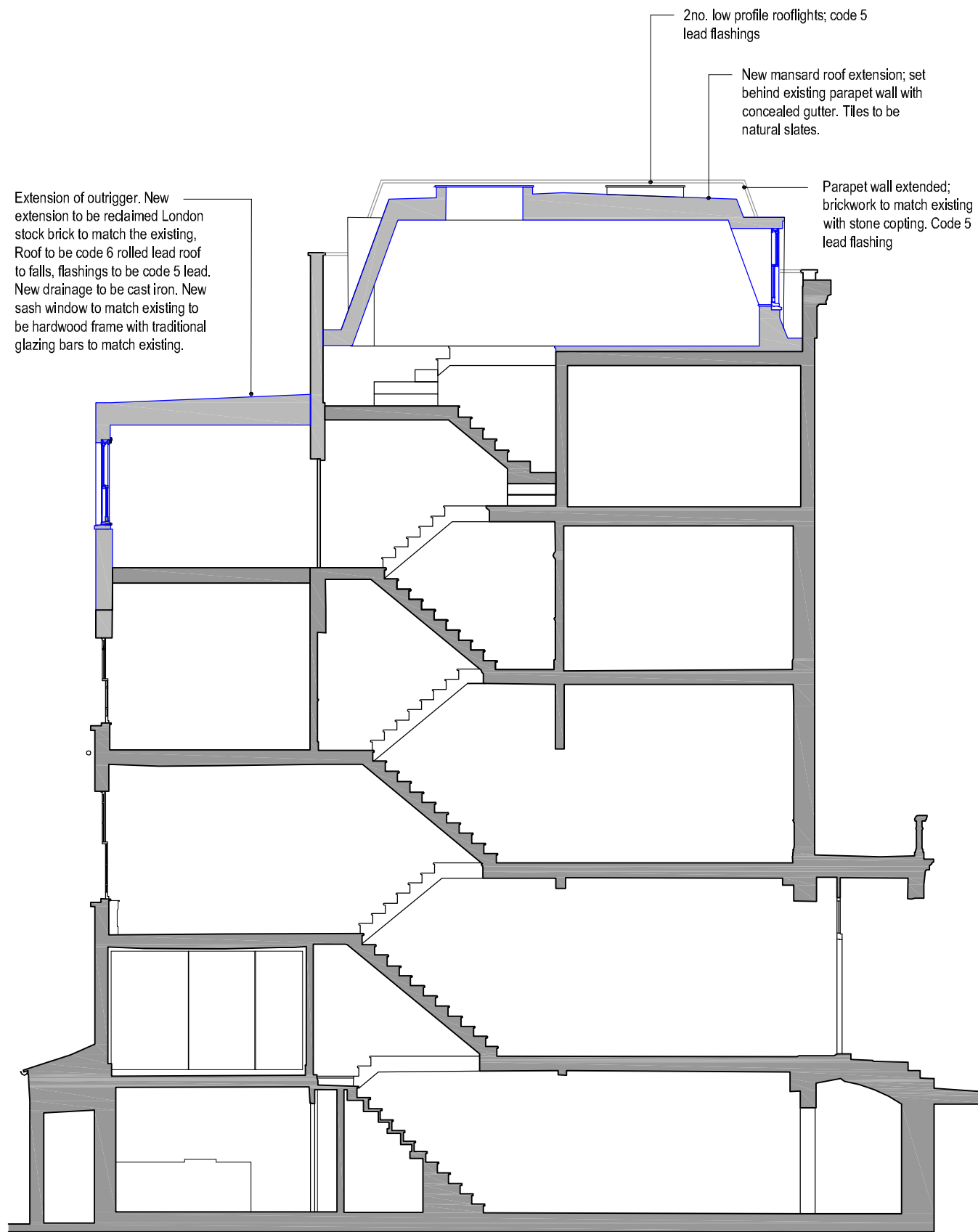
Rev	Date	Description
000	01-12-23	Initial design
001	17-12-23	Infill extension to second floor
002	29-12-23	Designs adjusted

KEY:

	Existing
	Proposed
	Demolition
	Boundary



Project: 42 SUSSEX STREET, London, SW1V 4RH		
Client: -		
Title: ELEVATIONS AS PROPOSED		
Status: INFORMATION		
Date: 13-10-22	Scale: 1:100 @A3	
Job No: 352	Drawing No: P-010	Rev: 002



Extension of outrigger. New extension to be reclaimed London stock brick to match the existing, Roof to be code 6 rolled lead roof to falls, flashings to be code 5 lead. New drainage to be cast iron. New sash window to match existing to be hardwood frame with traditional glazing bars to match existing.

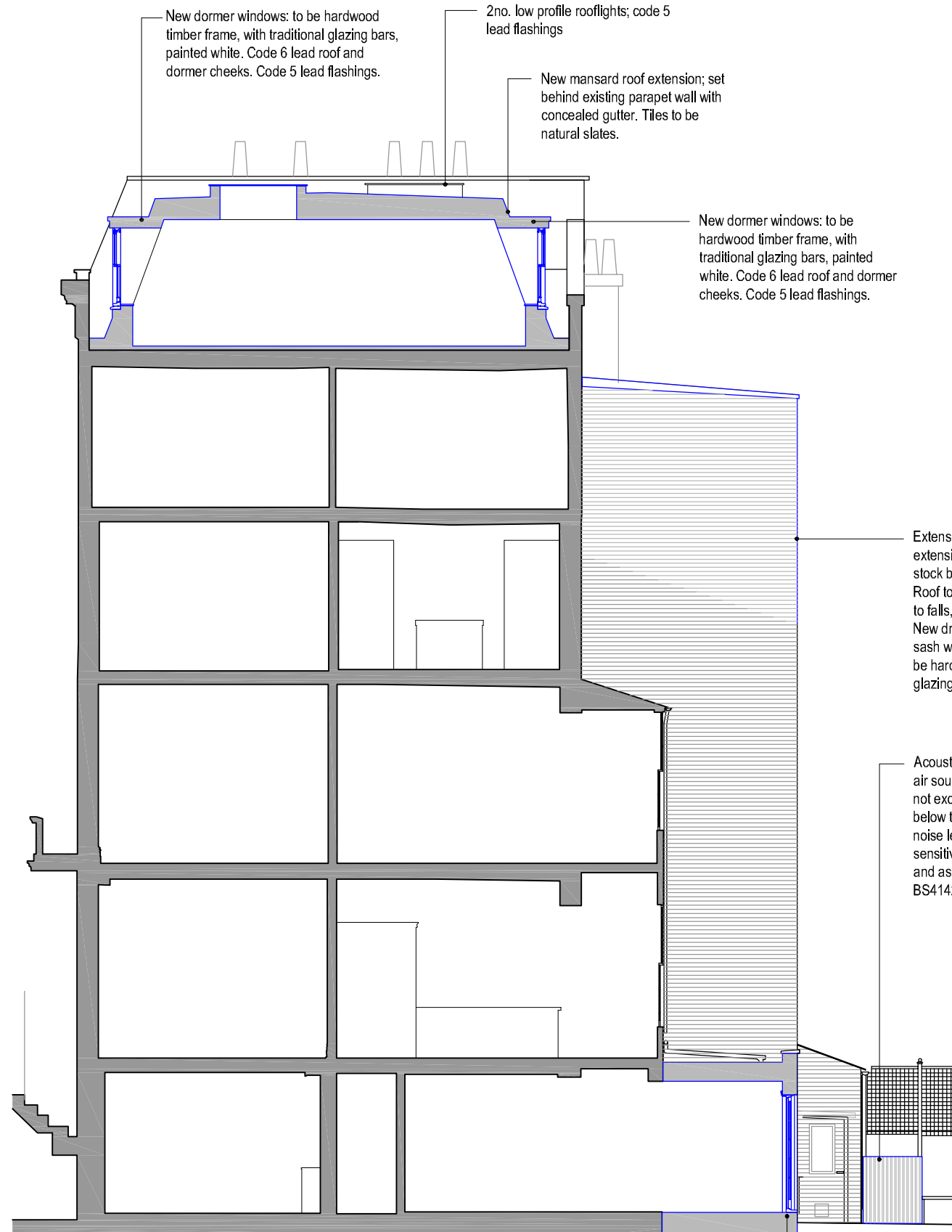
2no. low profile rooflights; code 5 lead flashings

New mansard roof extension; set behind existing parapet wall with concealed gutter. Tiles to be natural slates.

Parapet wall extended; brickwork to match existing with stone coping. Code 5 lead flashing

1 ENTRANCE ELEVATION - AS PROPOSED

Scale: 1:100



New dormer windows: to be hardwood timber frame, with traditional glazing bars, painted white. Code 6 lead roof and dormer cheeks. Code 5 lead flashings.

2no. low profile rooflights; code 5 lead flashings

New mansard roof extension; set behind existing parapet wall with concealed gutter. Tiles to be natural slates.

New dormer windows: to be hardwood timber frame, with traditional glazing bars, painted white. Code 6 lead roof and dormer cheeks. Code 5 lead flashings.

Extension of outrigger. New extension to be reclaimed London stock brick to match the existing, Roof to be code 6 rolled lead roof to falls, flashings to be code 5 lead. New drainage to be cast iron. New sash window to match existing to be hardwood frame with traditional glazing bars to match existing.

Acoustic housing to conceal an air source heat pump. Noise will not exceed a level that is 10dB below the prevailing background noise level outside any noise sensitive premises when rated and assessed in accordance with BS4142:2014

2 REAR ELEVATION - AS PROPOSED

Scale: 1:100

New lower-ground floor infill extension with extensive green roof. New extension to be reclaimed London stock brick to match the existing, parapet wall with sandstone coping and green roof. New French doors to be hardwood frame with traditional glazing bars to match existing

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001	17-12-23	infill extension to second floor
002	29-12-23	Designs adjusted

KEY:
 Existing
 Proposed
 Demolition
 Boundary



Project:
42 SUSSEX STREET,
London, SW1V 4RH

Client:
-

Title:
**SECTIONS
AS PROPOSED**

Status:
INFORMATION

Date:
13-10-22

Scale:
1:100 @A3

Job No:

Drawing No:

Rev:

352

P-020

002

