



Clayton's
SOLD
01923 87773

PLANNING STATEMENT

20 Orchard Avenue, WD25 7JG

10/03/2024

arb
Architects
Registration
Board

REG NO: 079560G

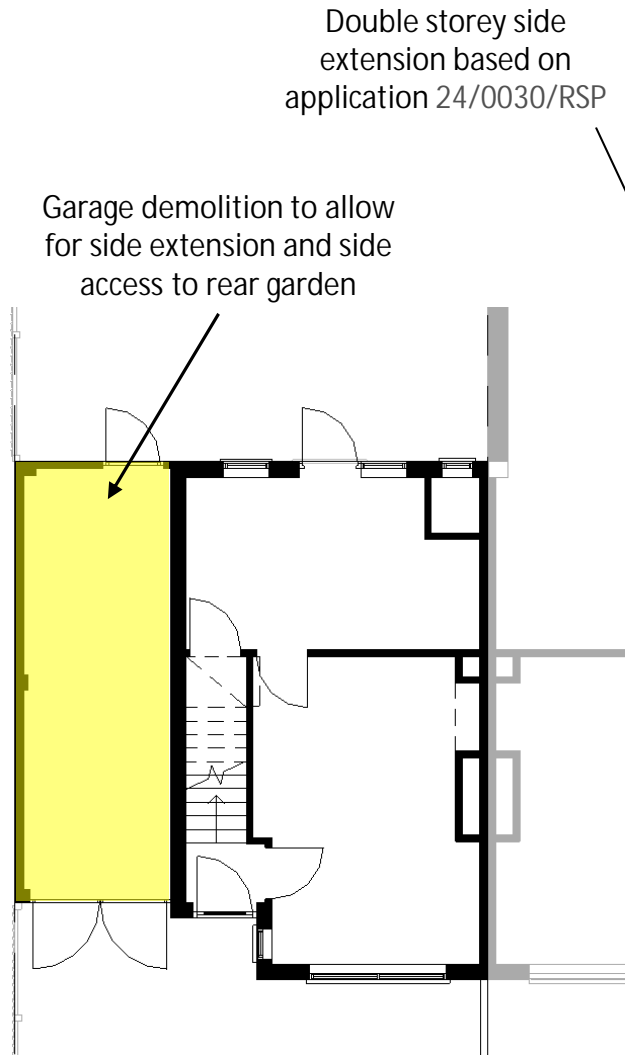
Site Location & Surroundings

The property is a semi-detached two storey dwellinghouse located on a residential ward in the Leavesden ward of the town. The house has a garage attached to its left side, slightly set back from the front elevation, extending up to the house rear wall, and occupying the full width between the house and the boundary leaving no side access to the rear garden.

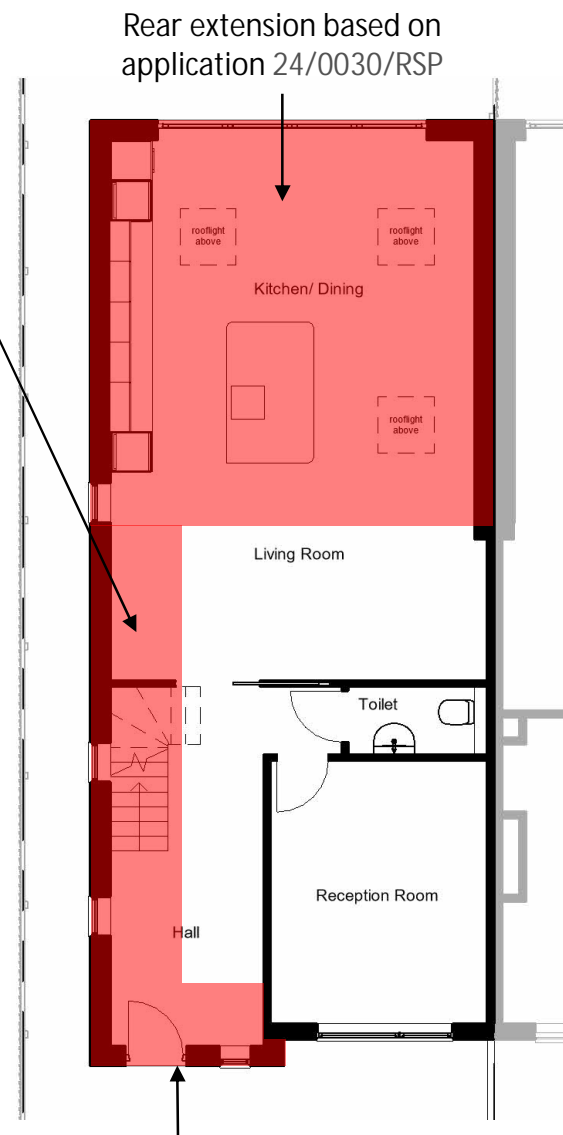
The rear garden is approximately 33 meters deep by 7 meters wide.

The property is adjoined to No.18 which is No.20s semi-detached pair. No.18 has a full width 6 meters rear extension with a flat roof. The boundary with No.18 is treated with wooden fencing.





Pre-existing - ground floor plan



Whole development - ground floor plan

Proposed Development

(Following application 24/0030/RSP)

- Ground floor rear extension
- First floor rear extension, double storey side and wrap-around extensions, following garage demolition
- Loft conversion with hip to gable roof extension, rear dormer and two rooflights to the front
- Front porch
- Windows replacement

Ground Floor Rear Extension

6 meters rear extension, following the approved planning application reference number 24/0030/RSP for which works already started on site.

Front Porch

Proposed front porch 2.5 meters wide by 1.3 meters deep, following the approved planning application reference number 24/0030/RSP for which works already started on site.

Windows Replacement

All existing single glazed windows will be replaced with double glazed windows with white frames to match windows of number 18.

Proposed Development

(Following application 24/0030/RSP)

- Ground floor rear extension
- First floor rear extension, double storey side and wrap-around extensions, following garage demolition
- Loft conversion with hip to gable roof extension, rear dormer and two rooflights to the front
- Front porch
- Windows replacement

First floor rear extension, double storey side and wrap-around extensions following garage demolition

3m deep and 2.9m wide (including wrap-around) first floor rear extension, 1.3 meters wide ground floor side extension, following garage demolition and the approved planning application number 24/0030/RSP for which works already started on site.

First floor rear extension and wrap-around based on application 24/0030/RSP

Double storey side extension based on application 24/0030/RSP



Pre-existing - first floor plan

Whole development - first floor plan

Proposed Development

(Following application 24/0030/RSP)

- Ground floor rear extension
- First floor rear extension, double storey side and wrap-around extensions, following garage demolition
- Loft conversion with hip to gable roof extension, rear dormer and two rooflights to the front
- Front porch
- Windows replacement

Loft conversion with hip to gable roof extension, rear dormer and two rooflights to the front

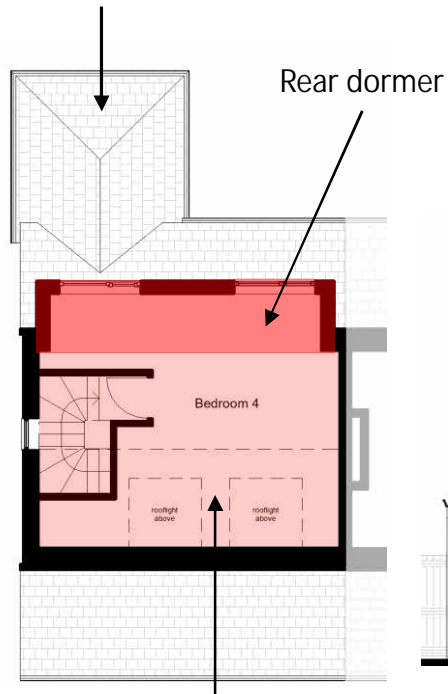
The proposed loft conversion includes a hip to gable roof form extension a rear dormer, and two rooflights to the front of the property.

The approved application no. 24/0030/RSP shows the main roof stretching over the side extension (as opposed to connecting a separate roof form to appear subservient to the main roof), making the side extension not perceptible as such.

With the above in mind, a hip to gable roof form extension would need to consider the approved hip roof as a single roof element, and therefore placing the new proposed gable aligned with the side external wall of the side extension.

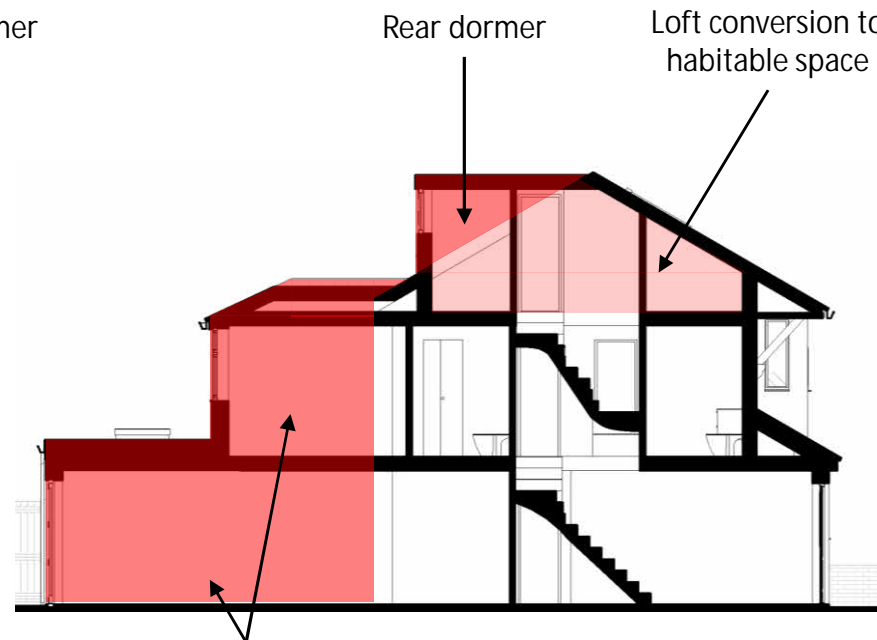
Orchard Avenue has many examples where one of the semis or even both have seen their roofs extended from hip to gable (please see next two slides), all of which also include a large rear dormer. This is a tendency likely to persist until all semis have gable roofs, as families grow and require additional floor space.

First floor rear extension and wrap-around based on application 24/0030/RSP



Loft conversion to habitable space

Whole development - first floor plan



Rear and first floor extensions based on application 24/0030/RSP

Whole development – section A



5/7 Orchard Avenue



17/19 Orchard Avenue



21/23 Orchard Avenue (opposite 20 Orchard Avenue)



274 and 6/8 Orchard Avenue



38/40 Orchard Avenue



42/44 Orchard Avenue



4 and 8 Orchard Avenue large dormers



5, 7, 17, 19 and 21 Orchard Avenue large dormers

