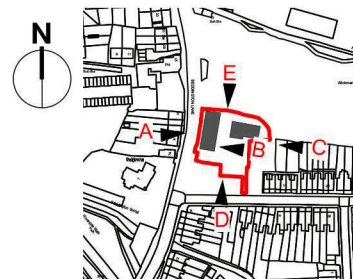


Non-material Amendment Key:

- A - Eaves height lowered
- B - Rainwater pipes omitted
- C - Floor levels revised; overall building height reduced
- D - Ventilation louvres omitted; opaque panels within window system added
- E - Rooflights omitted
- F - Perforated screen added

"Flat tiles" revised to "fibre cement slate" (detail to be confirmed through Condition 3).

Key Plan



Issue	Date	Notes	Drawn	Chkd
P05	02.02.22	Planning Submission	WG	WG
P06	03.03.22	Planning Submission	WG	WG
P07	16.12.22	Non-material Amendment Submission draft.	WG	WG
P08	10.01.23	Non-material Amendment Submission.	WG	WG
P09	19.01.23	Habitat enhancement measures indicated.	WG	WG
P10	02.02.23	Habitat enhancement measures updated.	WG	WG
P11	01.03.24	Split Block Update	AR	AR

Project  
London Borough of Sutton  
Social Housing Phase 2c

Drawing  
30-32 Beddington Lane  
Proposed Elevations  
Sheet 1 of 2

Scale  
1:200 @ A3

Job n°_Originator_Volume_Level_Type_Role_Number	Rev
3025-APLB-XX-XX-DR-A-3010	P10

Suitability Status  
S4 - Planning



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For CDM information refer to the ArchitecturePLB Hazard Elimination and Residual Risk Register. Notes on this drawing refer only to items where a Residual Risk can be clearly linked to a specific item. As recommended within HSE's 'Industry Guidance for Designers' documents, notes do not include generic risk information which must be considered by the relevant contractor.

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Key:

- 1 Facing brickwork type 1
- 2 Facing brickwork type 2
- 3 Grey aluminium window. Clear glazed unless otherwise stated.
- 4 Grey fascia boards
- 5 Grey aluminium rainwater goods
- 6 Grey zinc dormer surrounds
- 7 Ventilation louvres, colour matched to windows
- 8 Grey metal vertical bar balustrade
- 9 Inlet and extract vents serving ventilation and heating units
- 10 Grey aluminium entrance door with grey metal clad canopy over and adjacent wall-mounted light
- 11 Wall-mounted luminaires
- 12 Fibre cement slates and PV panels
- 13 Pole-top luminaires
- 14 Timber gate to private garden
- 15 Hit and miss brickwork detail
- 16 Retained and lowered boundary wall
- 17 Perforated metal screen colour matched to balcony metalwork
- 18 Windows fitted with obscure glass

Habitat Enhancement Measures (refer to *Biodiversity And Enhancement Management Plan* by Ecology & Land Management (Dec 2022))

- Bird Brick Houses starting box
  - Woodstone insect nesting box
  - Bird Brick Houses sparrow box
  - Hedgehog fence/gate gap
- Please note bird and bat boxes should be covered up during the construction period until Practical Completion to mitigate the risk of early occupation.



Elevation A - West  
Allotments | Application Site | 26-28 Beddington Lane | 1 Richmond Road | Richmond Rd



Elevation B - East  
3 Richmond Road | Application Site | Allotments



Elevation C - East