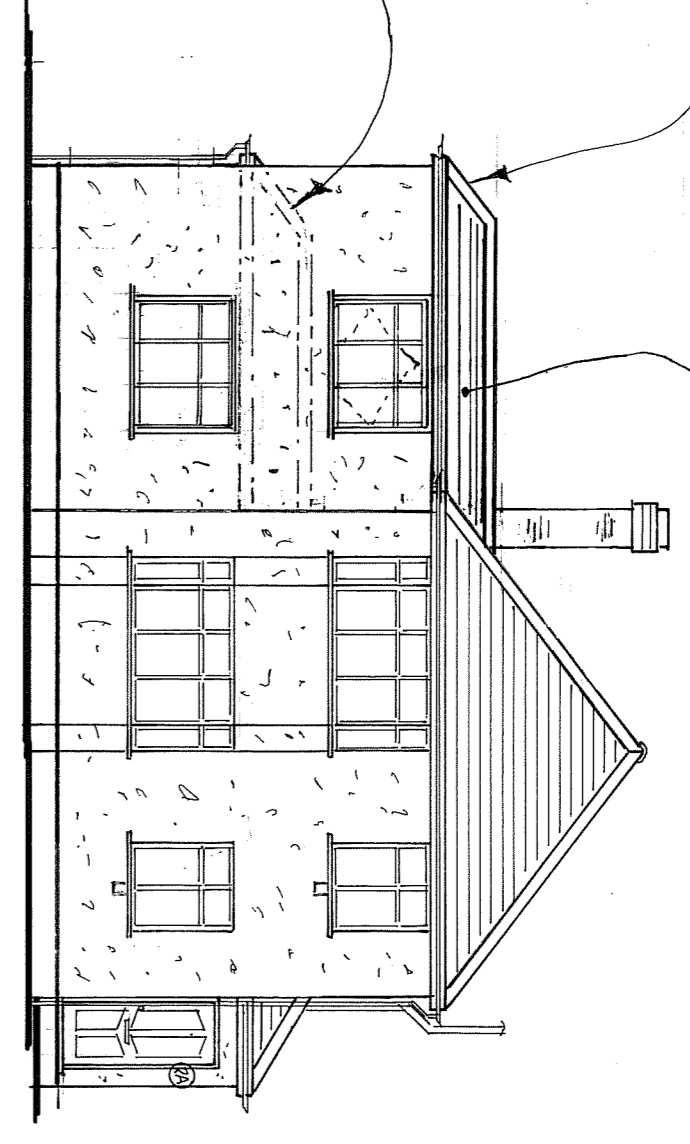


plan concrete roofing tiles on new roof structure  
 all to match existing roof tiles in colour & texture.  
 all with hollow 9/16" roof construction.

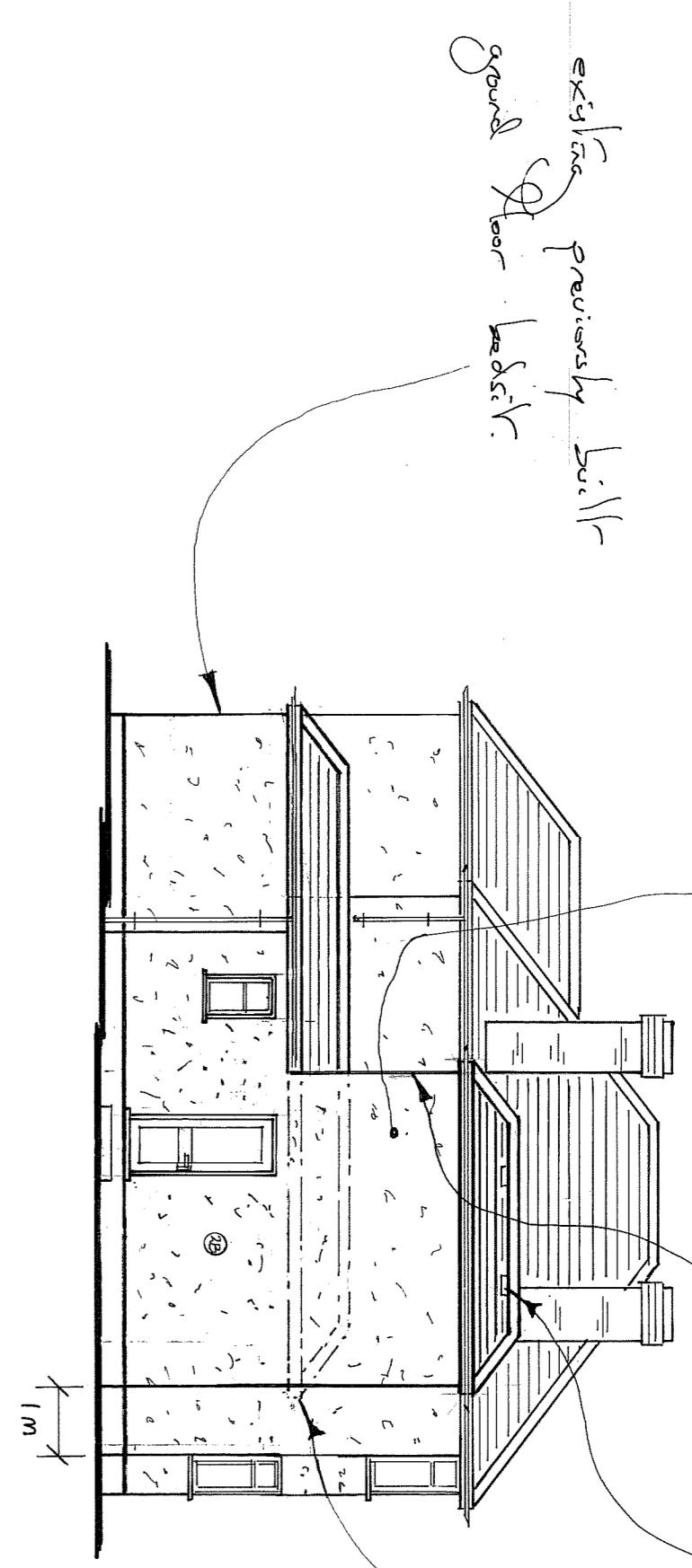


proposed new pitched roof all roof with hollow 9/16" roof all to match existing roof G ground level.

office of roof to be cut back to allow for new extension.

PROPOSED FRONT ELEVATION

removed & dashed walls on all wall elevations all to match existing walls in colour & texture.



existing previously built ground floor basket

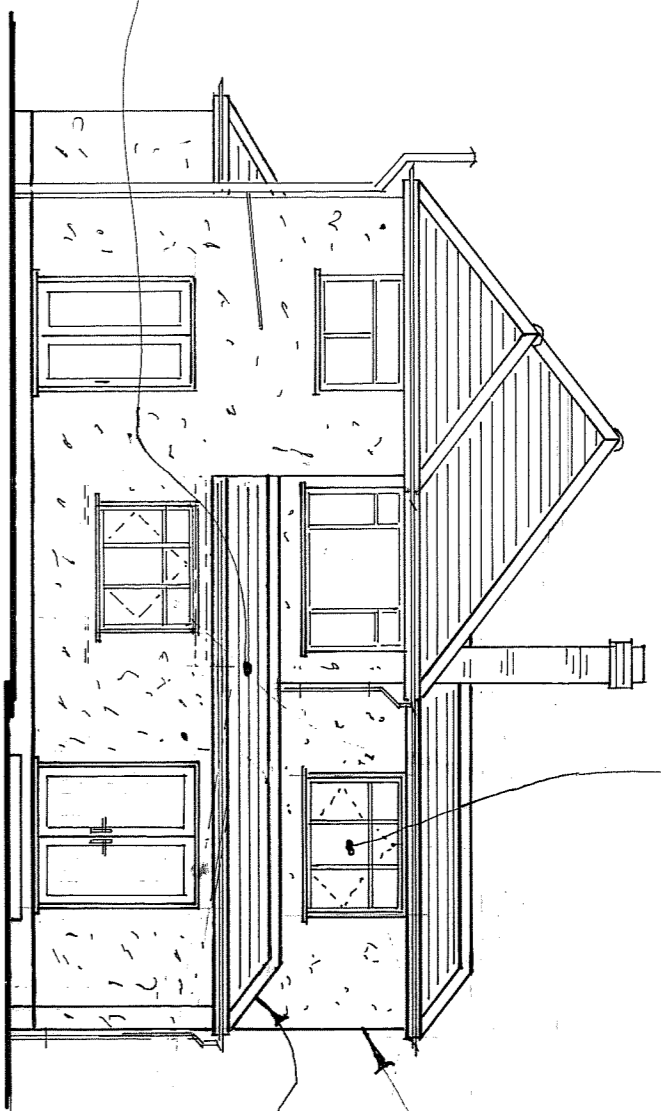
proposed new First Floor Side Extension set back 2.6m from existing rear wall.

new side wall had new offset.

All new windows to be double-glazed sealed units all to match existing units in design.

office of section of roof to be cut-back & removed to allow for new extension.

existing previously built ground floor basket, with lowered pitch roof, hollow 9/16" roof.

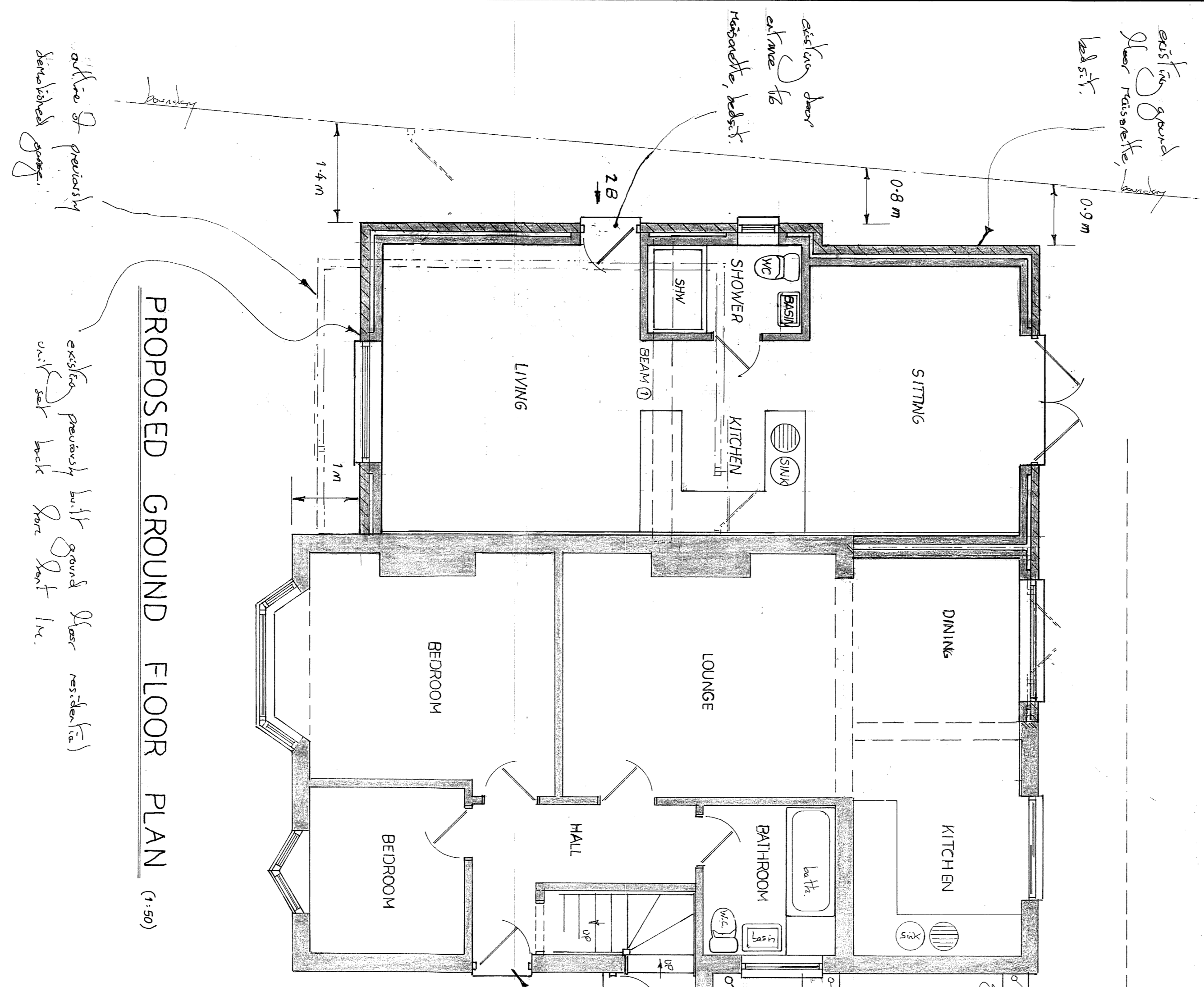


proposed new First Floor Side Extension, set back 2.6m from existing rear wall with hollow 9/16" roof construction.

existing pitch roof with hollow 9/16" roof to be previously constructed ground floor residential unit.

PROPOSED S-W ELEVATION

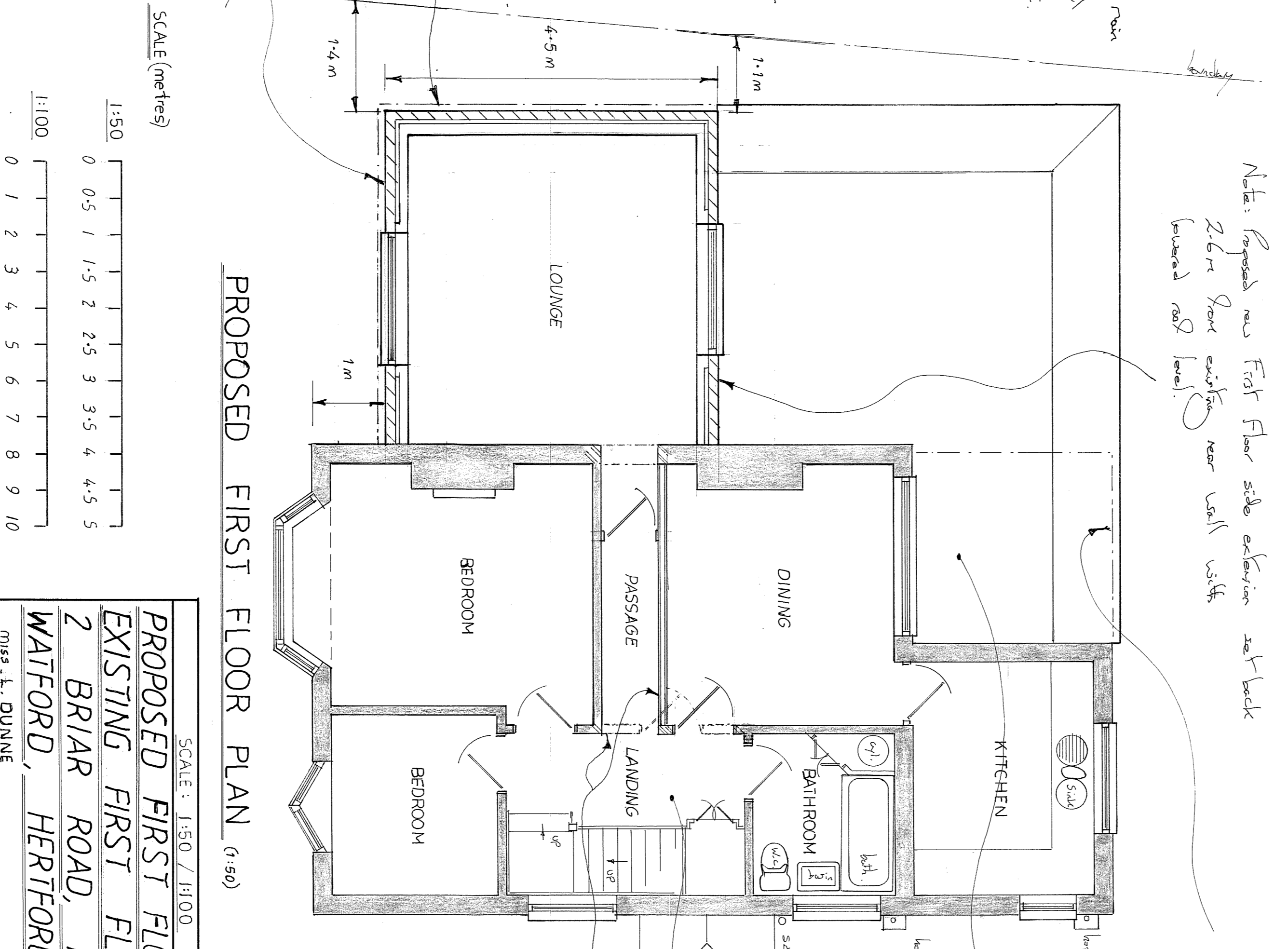
PROPOSED REAR ELEVATION



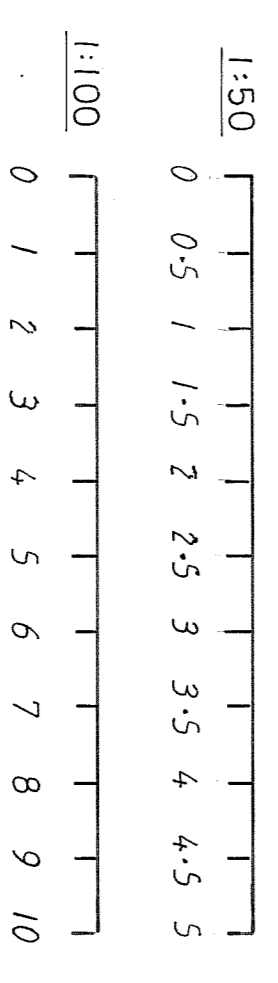
PROPOSED GROUND FLOOR PLAN (1:50)

AMENDED JAN 2024  
 PLANNING: HIGH LEVEL ROOF REDUCED IN HEIGHT TO MATCH GROUND FLOOR

existing ground floor residential unit, to be removed.  
 existing shower entrance to be removed, basket.  
 existing door entrance to be removed.  
 existing previously built ground floor residential unit, set back from front 1m.  
 office of section of roof to be cut-back.  
 proposed First Floor Side Extension, set back 2.6m from existing rear wall.  
 existing previously built ground floor basket.  
 existing entrance to ground floor unit to be removed.  
 existing entrance to rear garden residential unit to be retained.  
 existing shower entrance to be removed.  
 existing previously built ground floor residential unit, set back from front 1m.  
 office of section of roof to be cut-back.  
 proposed First Floor Side Extension, set back 2.6m from existing rear wall.  
 existing previously built ground floor basket.  
 existing entrance to ground floor unit to be removed.  
 existing entrance to rear garden residential unit to be retained.  
 existing shower entrance to be removed.  
 existing previously built ground floor residential unit, set back from front 1m.  
 office of section of roof to be cut-back.  
 proposed First Floor Side Extension, set back 2.6m from existing rear wall.  
 existing previously built ground floor basket.  
 existing entrance to ground floor unit to be removed.  
 existing entrance to rear garden residential unit to be retained.  
 existing shower entrance to be removed.



PROPOSED FIRST FLOOR PLAN (1:50)



SCALE: 1:50 / 1:100  
 SHIT: No. 2  
 PROPOSED FIRST FLOOR SIDE EXTENSION 100  
 EXISTING FIRST FLOOR MAISONNETTE  
 2 BRIAR ROAD, KINGSWOOD,  
 WATFORD, HERTFORDSHIRE.  
 MRS L. DUNNE  
 R. YORK  
 JUNE 2022  
 0771 232 9994

THIS DRAWING TO BE READ  
 IN CONJUNCTION WITH SHIT No. 1/3  
 & ORDANANCE SURVEY MAP

office of section of walls & doors to be removed & new corridor to be created with new doors.  
 existing previously built single storey residential unit.  
 existing rear garden residential unit.  
 office of existing previously demolished conservatory.  
 Note: Proposed new First Floor side extension set back 2.6m from existing rear wall with lowered roof level.