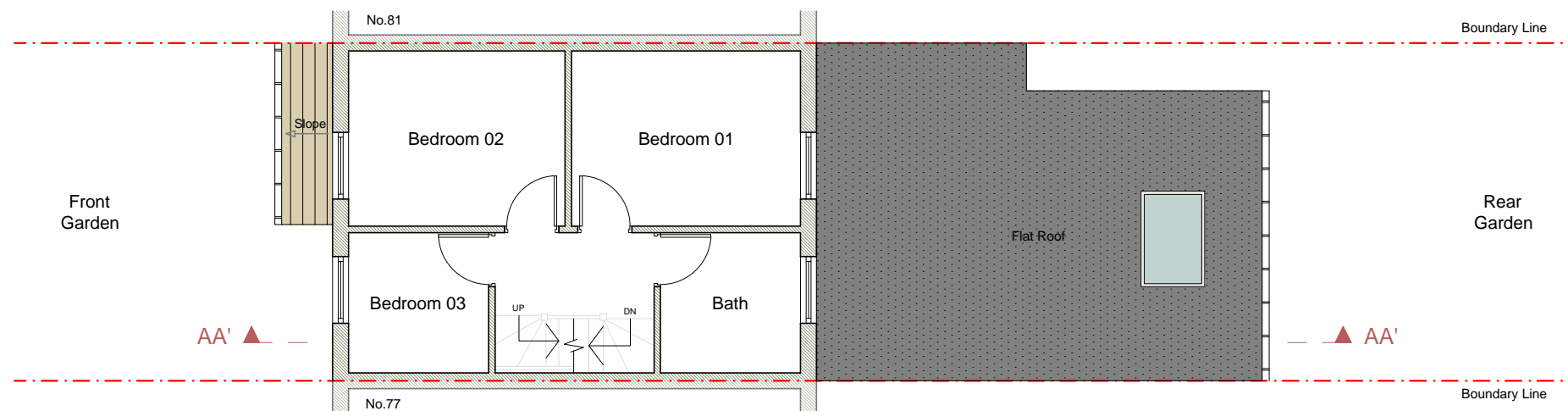
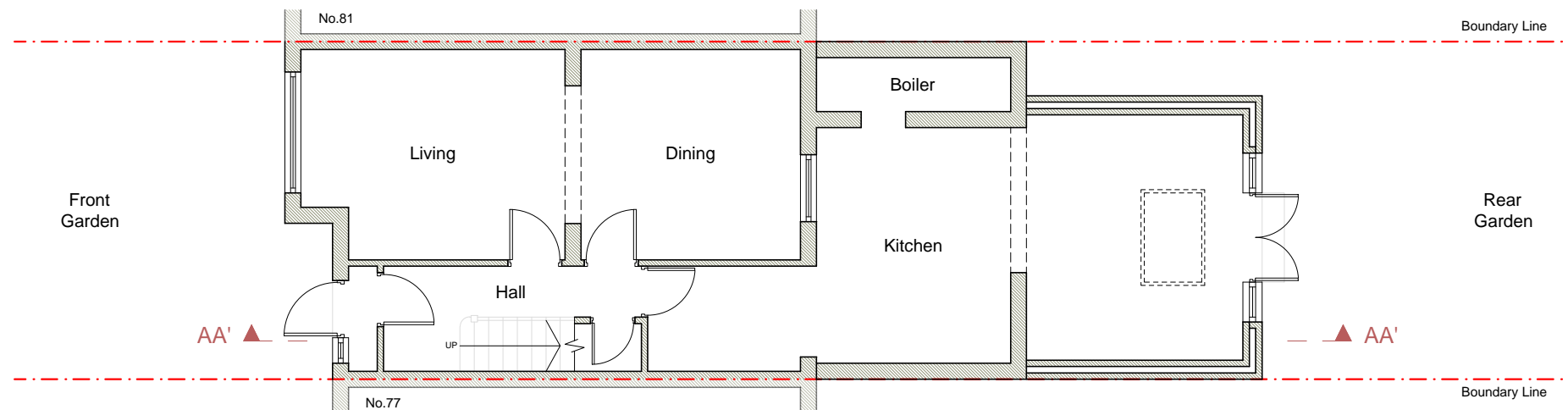


Existing Roof Plan 1:100



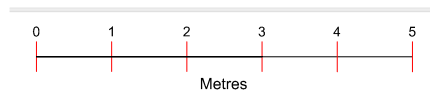
Existing First Floor Plan 1:100



Existing Ground Floor Plan 1:100

Existing Plans
Proposed Loft Conversion

SCALE 1:100@A3

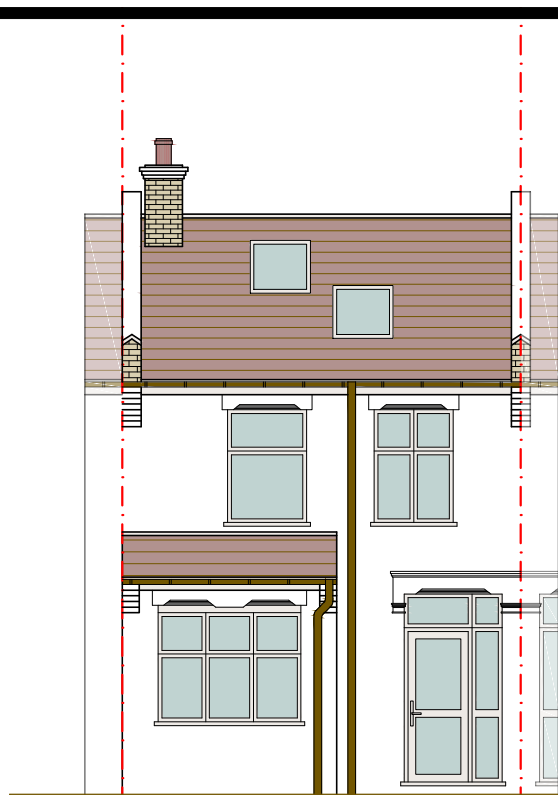


Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

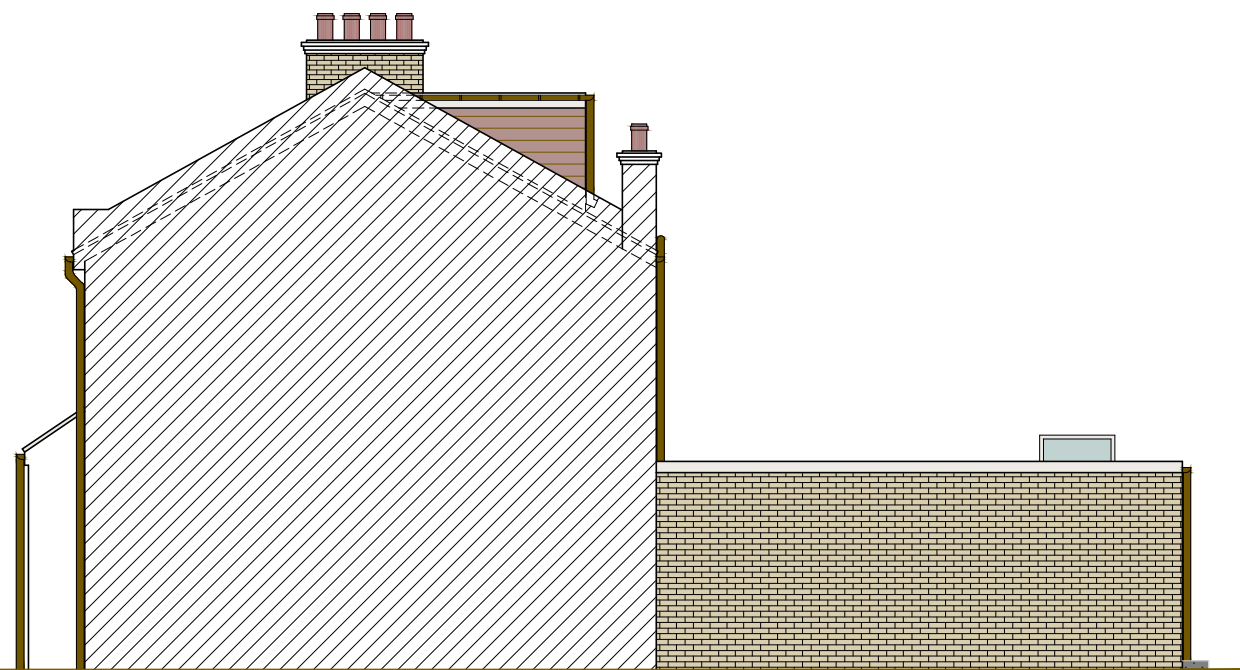
Drawing no : 79_KW_PD_01
Issue :
Date : 04/03/24



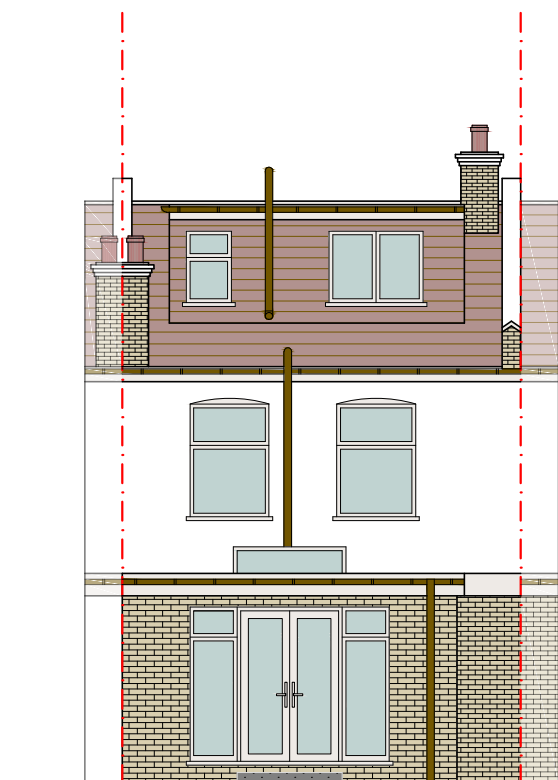
A	04.03.24	DA ISSUE	BL
ISSUE DATE		AMENDMENT	BY



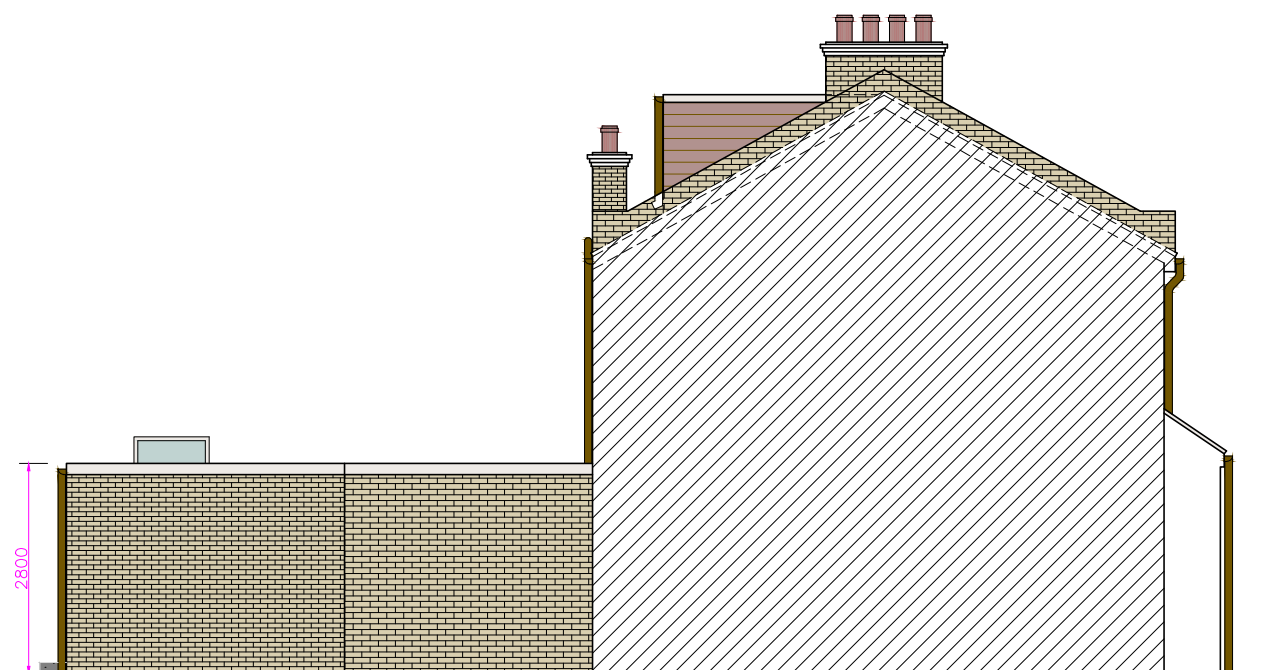
Existing Front Elevation 1:100



Existing Flank Elevation (1) 1:100



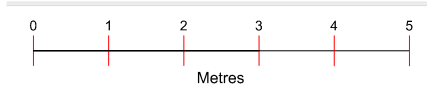
Existing Rear Elevation 1:100



Existing Flank Elevation (2) 1:100

Existing Elevations
Proposed Loft Conversion

SCALE 1:100@A3



Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

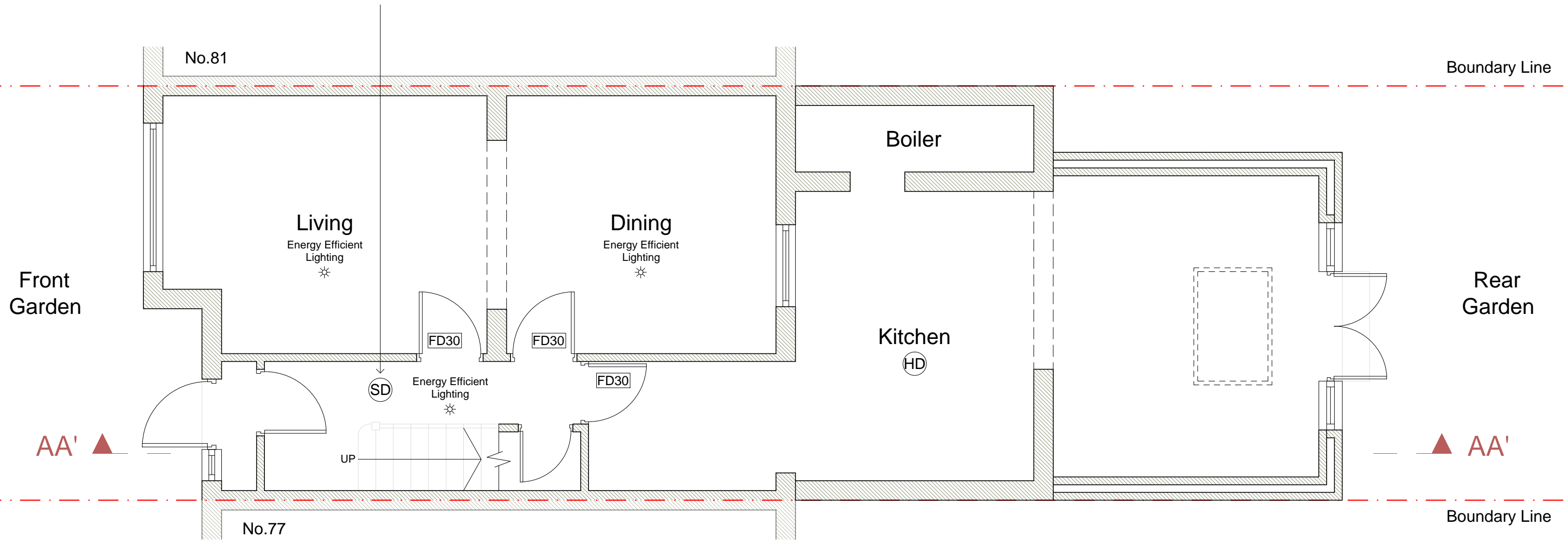
Drawing no : 79_KW_PD_02
Issue :
Date : 04/03/24



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ISSUE DATE		AMENDMENT	BY

Mains Operated Smoke Alarm System. Ensure that the mains operated, battery back-up, interlinked smoke alarm system is installed in accordance with BS5839: Part 6.

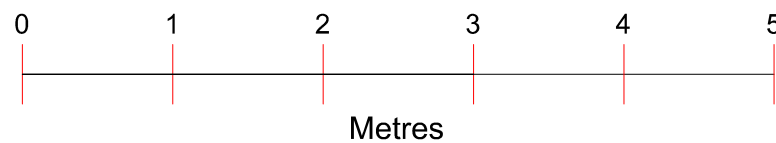
Note: All doors on to the stairway must be FD30 rated fire doors to BS 476-22:1987 except bathroom and toilet doors.



Proposed Ground Floor Plan 1:50

Proposed Plan
Proposed Loft Conversion

SCALE 1:50@A3



Project : Proposed Loft Conversion
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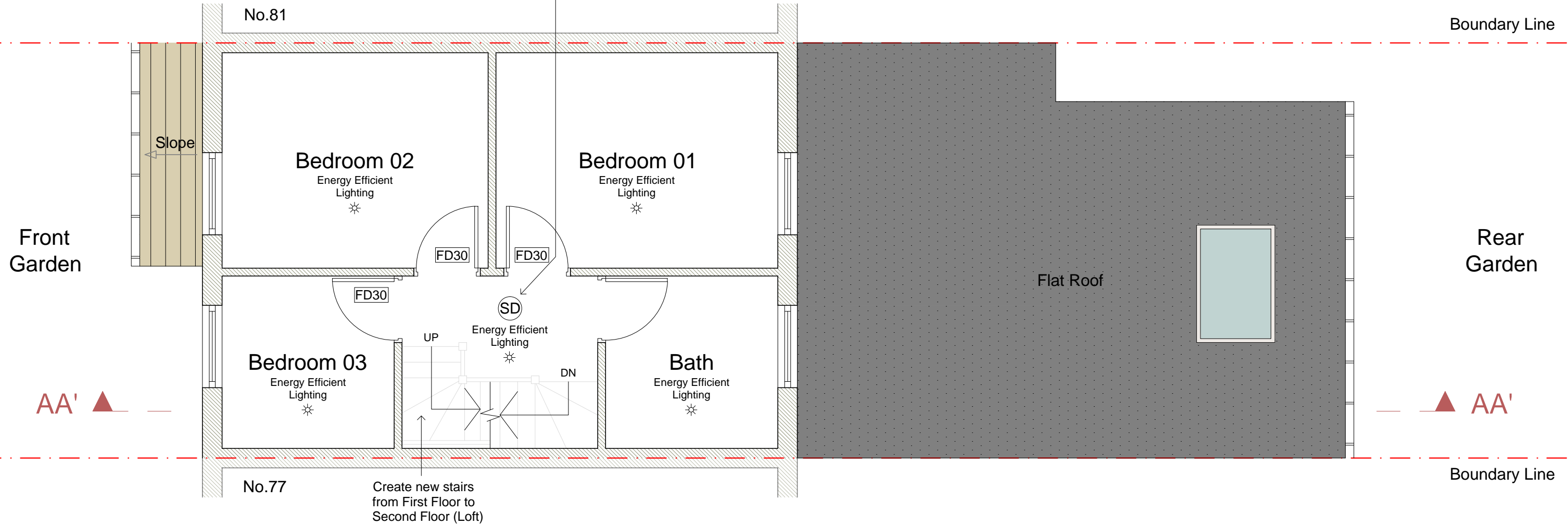
Drawing no : 79_KW_PD_03
Issue :
Date : 04/03/24



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ISSUE DATE		AMENDMENT	BY

Mains Operated Smoke Alarm System. Ensure that the mains operated, battery back-up, interlinked smoke alarm system is installed in accordance with BS5839: Part 6.

Note: All doors on to the stairway must be FD30 rated fire doors to BS 476-22:1987 except bathroom and toilet doors.

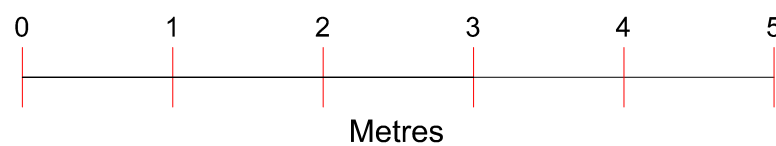


Proposed First Floor Plan 1:50

A	04.03.24	DA ISSUE	BL
ISSUE DATE		AMENDMENT	BY

Proposed Plan
Proposed Loft Conversion

SCALE 1:50@A3



Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

Drawing no : 79_KW_PD_04
Issue :
Date : 04/03/24



Note: All doors on to the stairway must be FD30 rated fire doors to BS 476-22:1987 except bathroom and toilet doors.

Mains Operated Smoke Alarm System. Ensure that the mains operated, battery back-up, interlinked smoke alarm system is installed in accordance with BS5839: Part 6.

All glazing in 'critical' locations (i.e below 1500mm for doors and 800mm for windows, to internal and external walls) is to be safety glazing. If laminate or toughened glass is to be used it should be in accordance with BS6206, if to provide containment. This includes roof lights at low level.

Note: Roof light to not protrude more than 150mm.

Roof light over. position to be agreed with building inspector on site

Front Garden

Boundary Line

Rear Garden

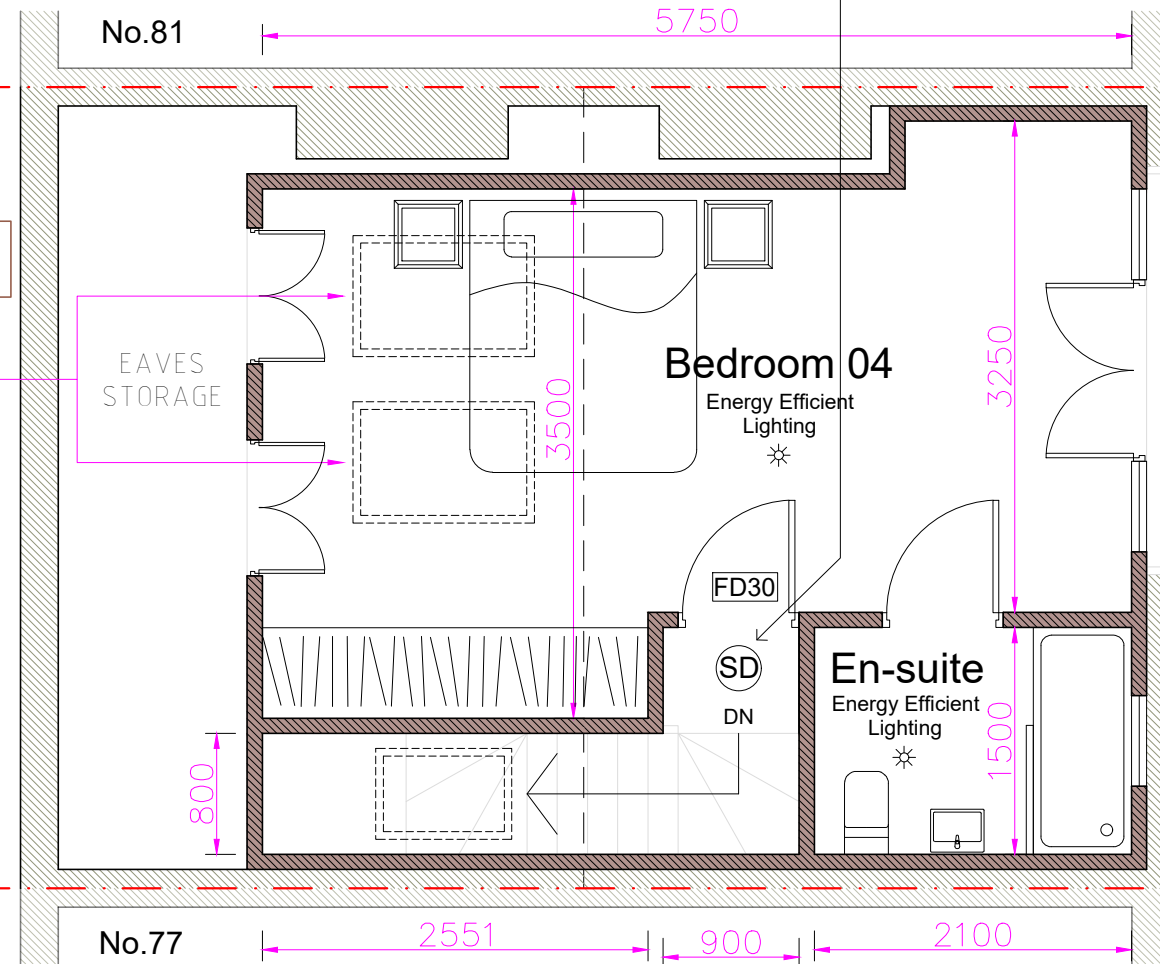
AA' ▲

▲ AA'

Boundary Line

Proposed Second Floor Plan 1:50

Dormer face to be set back by at least 200mm from face of rear wall.

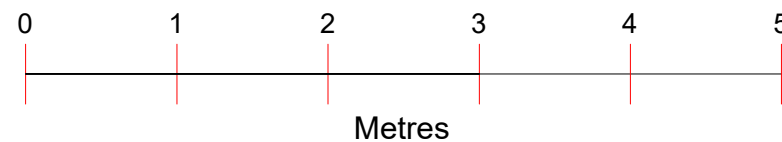


Proposed Plan
Proposed Loft Conversion

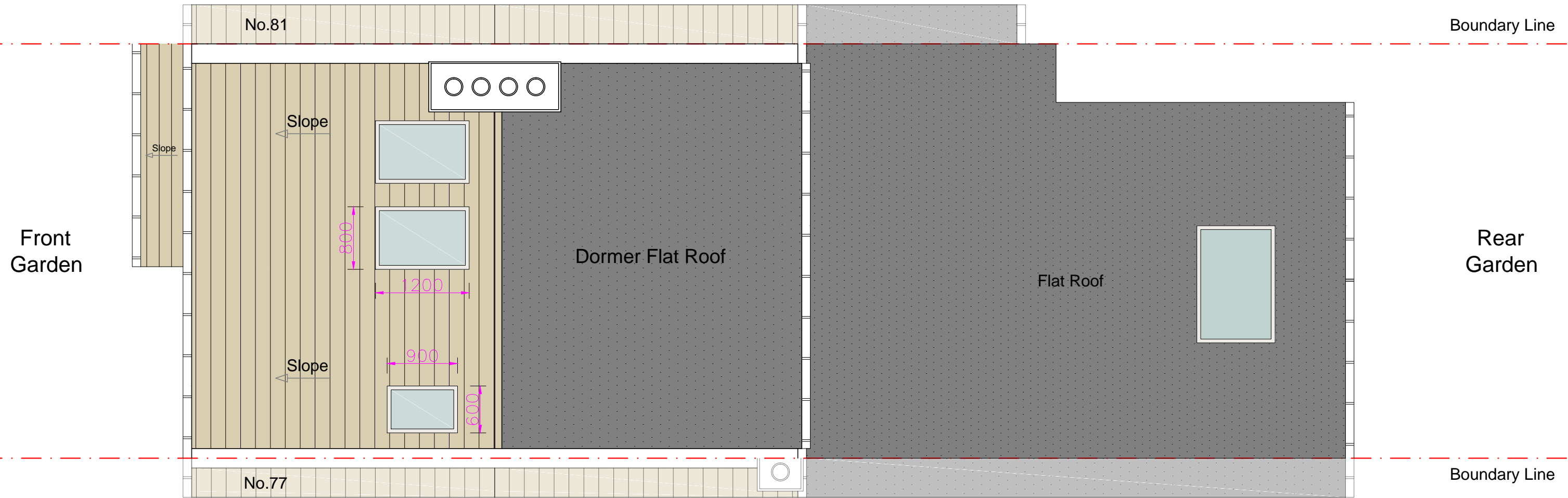
SCALE 1:50@A3

Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

Drawing no : 79_KW_PD_05
Issue :
Date : 04/03/24



ISSUE DATE	AMENDMENT	BY
A	04.03.24 DA ISSUE	BL

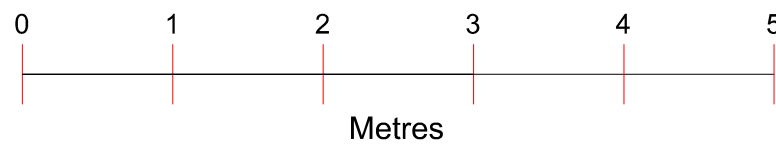


Proposed Roof Plan 1:50

ISSUE DATE	AMENDMENT	BY
A	04.03.24 DA ISSUE	BL

Proposed Roof Plan
Proposed Loft Conversion

SCALE 1:50@A3



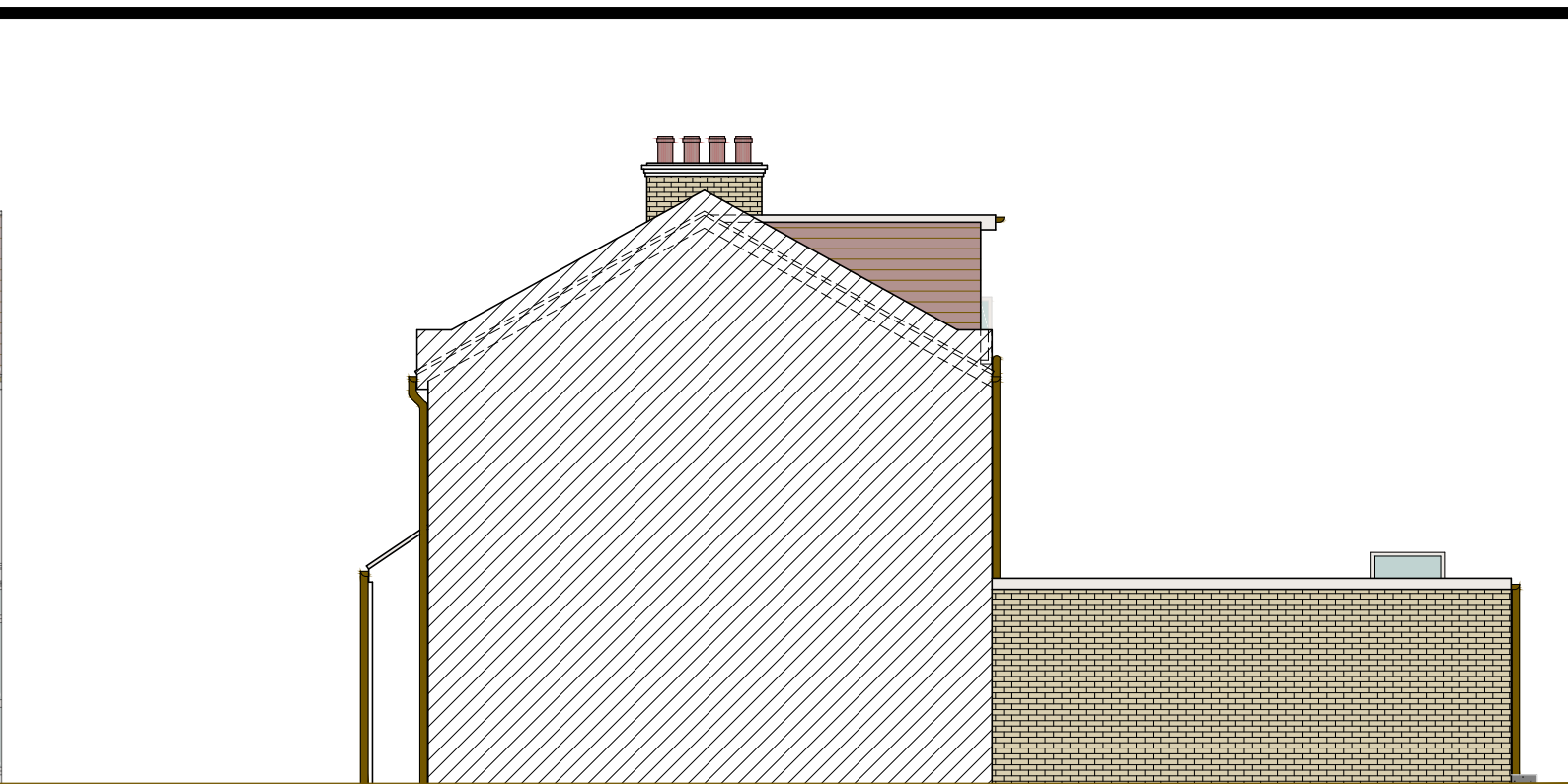
Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

Drawing no : 79_KW_PD_06
Issue :
Date : 04/03/24





Proposed Front Elevation 1:100



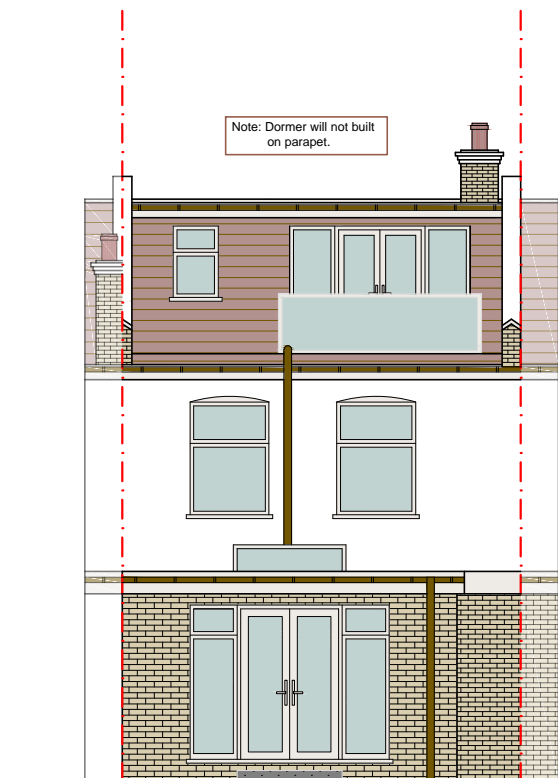
Proposed Flank Elevation (1) 1:100

PROPOSED MATERIAL

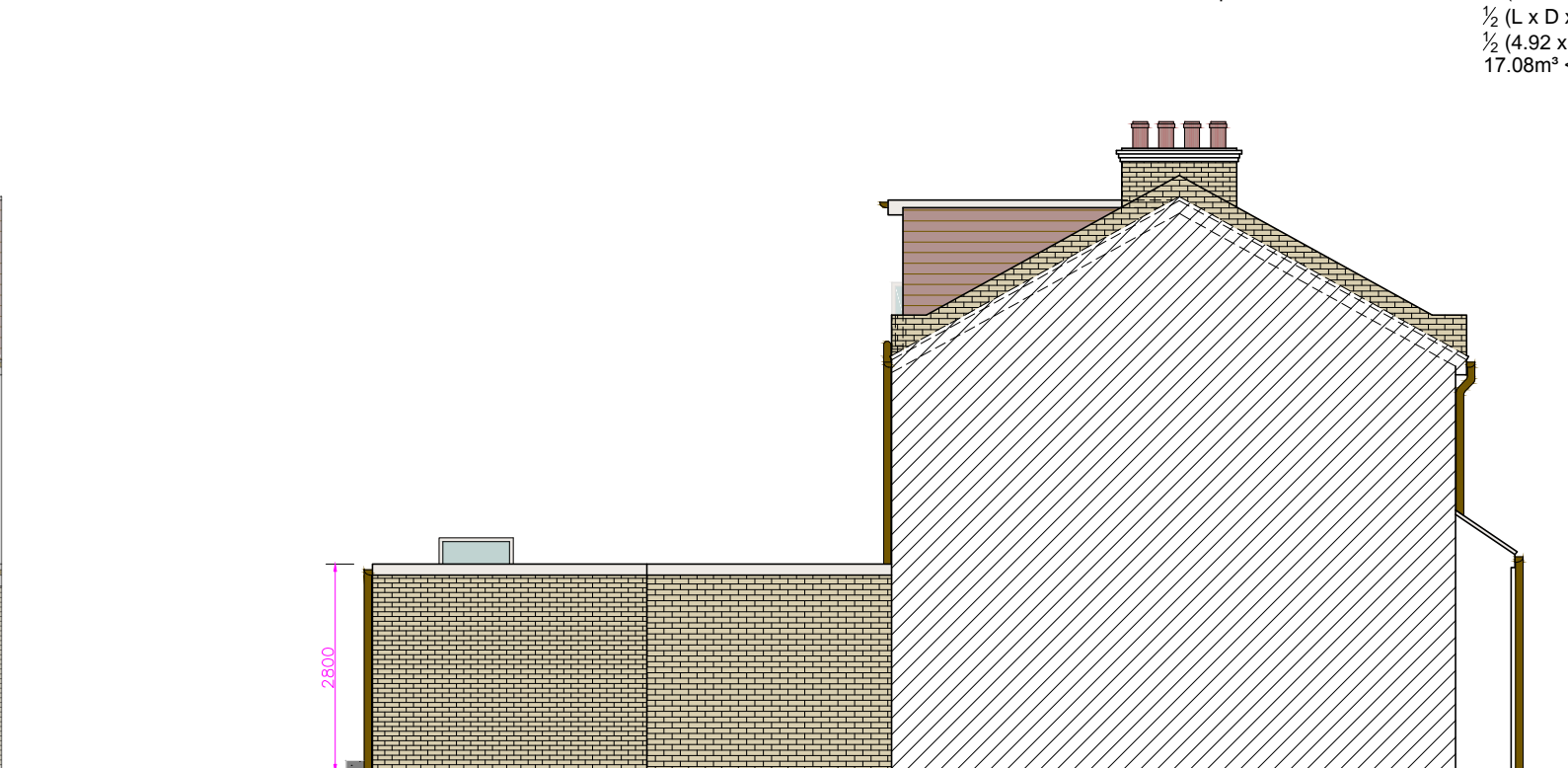
WALLS : STATE TILE DORMER CLADDING
 ROOF : TILES TO MATCH EXISTING
 WINDOWS : UPVC DOUBLE GLAZED WINDOWS
 DOORS : UPVC DOUBLE GLAZED DOOR

Permitted Development Right For Loft Conversion For Terrace Property = 40m³

Proposed Dormer Volume = 1/2 (LENGTH x DEPTH x HEIGHT)
 = 1/2 (L x D x H)
 = 1/2 (4.92 x 3.63 x 1.90)
 = 17.08m³ < 40m³



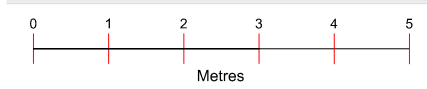
Proposed Rear Elevation 1:100



Proposed Flank Elevation (2) 1:100

Proposed Elevations
Proposed Loft Conversion

SCALE 1:100@A3



Project : Proposed Loft Conversion
 Address : 79 KINGSWAY
 ENFIELD
 EN3 4HT

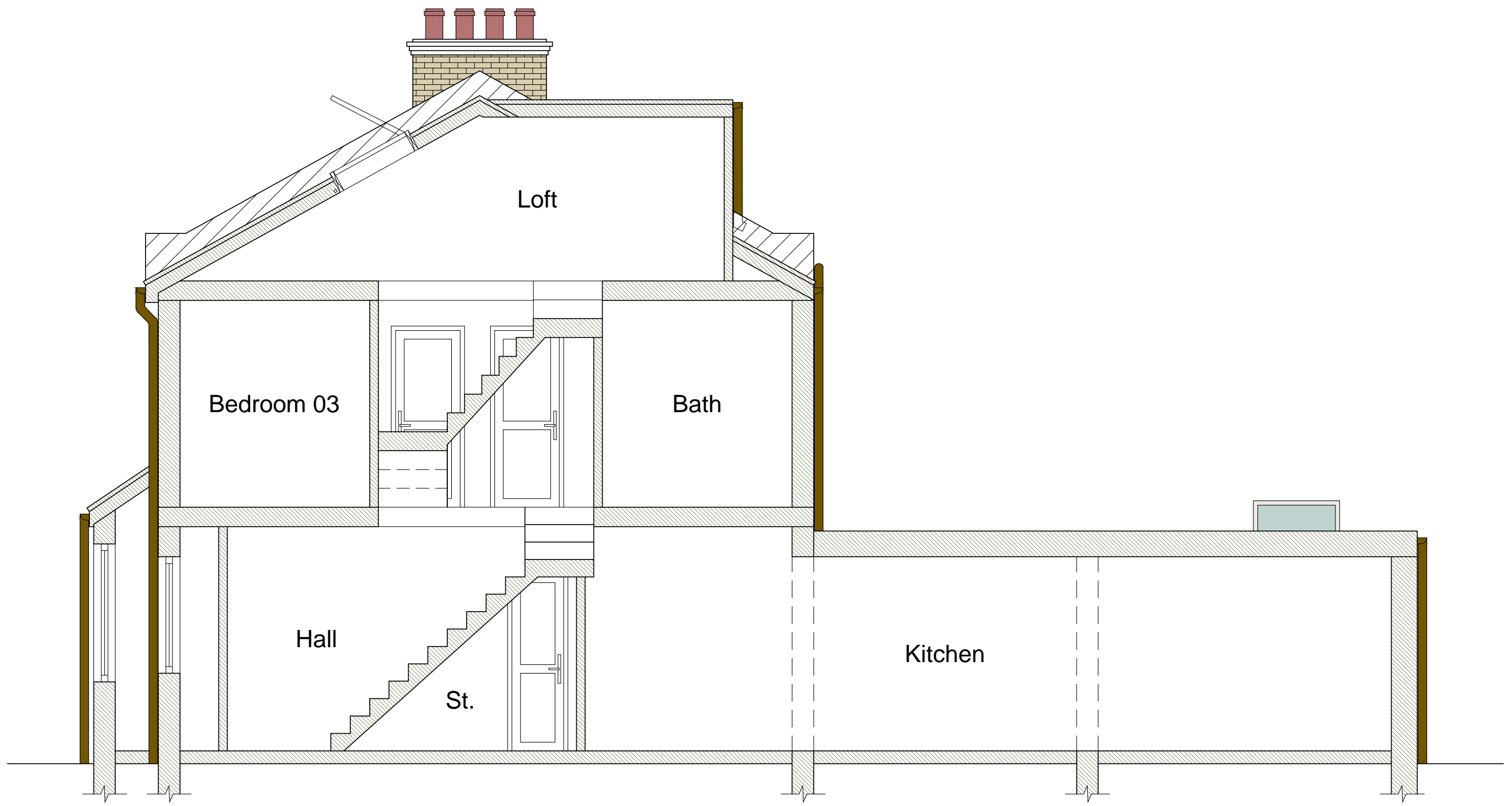
Drawing no : 79_KW_PD_07

Issue :

Date : 04/03/24



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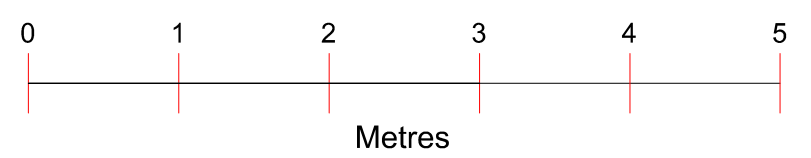


Existing Section AA 1:50

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Existing Section
Proposed Loft Conversion

SCALE 1:50@A3



Project : Proposed Loft Conversion
Address : 79 KINGSWAY
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Drawing no : 79_KW_PD_08
Issue :
Date : 04/03/24



GENERAL NOTES

1. DIMENSIONS

All dimensions and suitability of existing effected walls, lintels, beams and foundations to be checked on site prior to commencement. Contractor to check site thoroughly & report any discrepancies.

2. MATERIALS

All materials & workmanship to be carried out in accordance with the relevant british standards codes of practice, Specification & Building Regulations.

3. PARTYWALLACT 1996etc.

It is owner's/client's responsibility to fulfil thier duty under this act. Under the terms and conditions of the above act it will be necessary for a PaKywa! notice to be served on the adjoining neighbouring property. No part of new works i.e. Foundations walls or roof to oversai! the boundary.

4. CDM REGULATIONS HEALTH & SAFETY

It is owner's/client's responsibility to fulfil thier duty under this act. Under the terms and conditions of the above act it will be necessary for an appointment of CDM coordinator for any works lasting more than 30days.

5. VENTILATION

Habitable rooms to have minimam the floor area openable widows / doors for ventilation windows to habitable rooms to be fitted with trickle vents in frames giving 8000sq mm background ventilation. Bathroom to have mechanical extract fan providing 30 litres per second extractrate.

6. WINDOWS / DOORS

New windows to be double glazed to suit clients requirements. Any glazing to windows below 800mm from floor level to be glazed with glass only to BS 6206.

7. RAIN WATER GOODS

Half round 100mm diameter P.V.C gutters and 63mm down pipe discharging to lower roof.

8. DRAIN / MANHOLES

Any drain / manholes discovered on site that are not shown on drawings must immediately be brought to engineer's attention.

FIRE PRECUATION WORKS

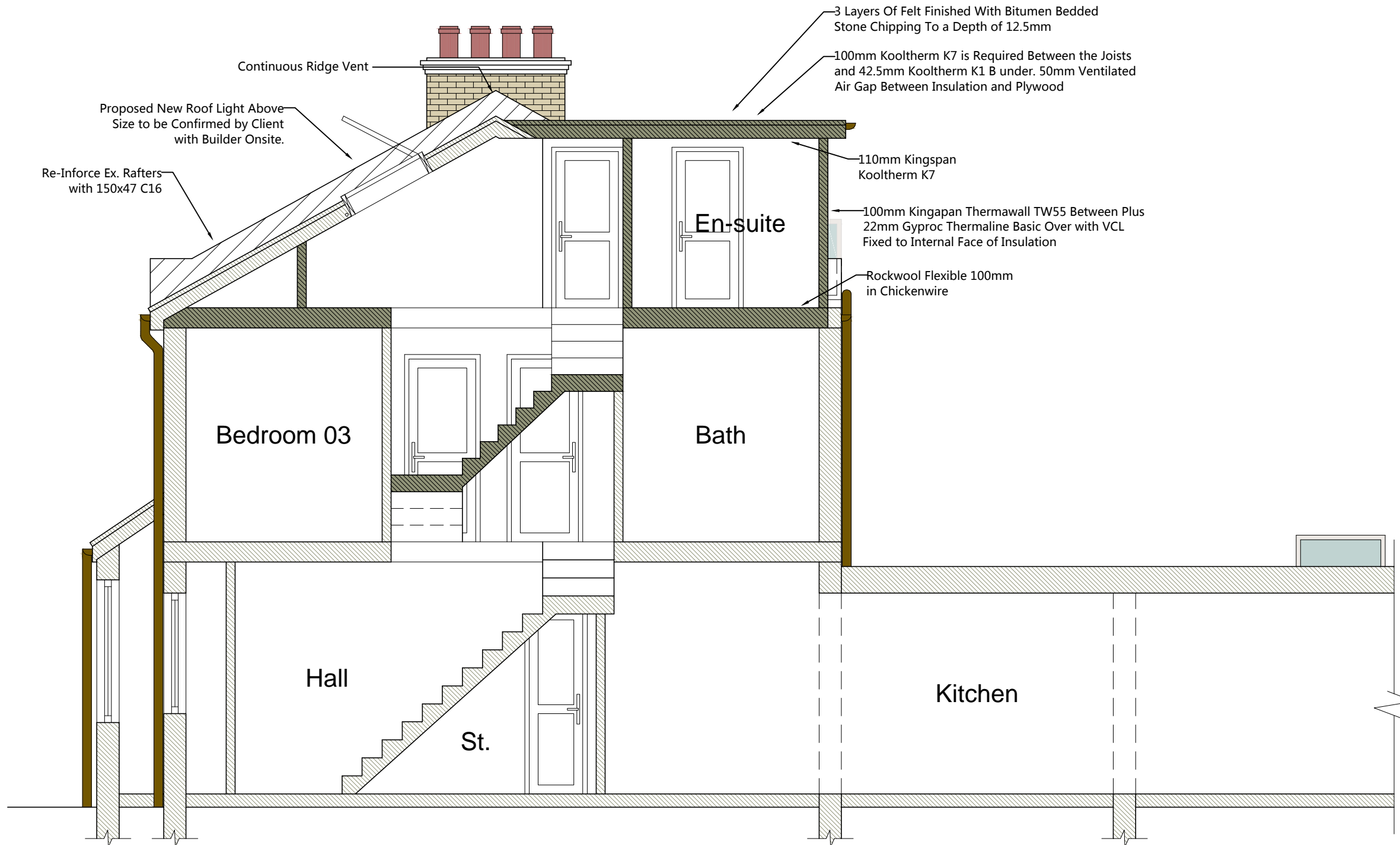
Door to second floor bedroom to be 2 hour fire resistant with 'Perko' closer.

API other doors to stair enclosure to be fitted with perko closets (doors marked only).

Ground first and second floor landing to be fitted with electrically operated smoke detectors linked back to fuse board and together. (optical type).

Velux escape window to front installed as noted.

All steel beams to be painted with intumescent paint giving min. 2 N r fire resistance. All steel to be painted with 2 coats of zinc rich primer before erection. All structural wood to be of specified grade. Notches and notes in structural timber to be in accordance with BS.



Proposed Section AA 1:50

Proposed Section
Proposed Loft Conversion

SCALE 1:50@A3

Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

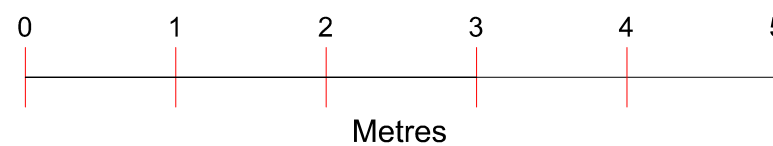
Drawing no : 79_KW_PD_09

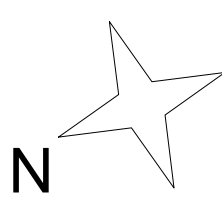
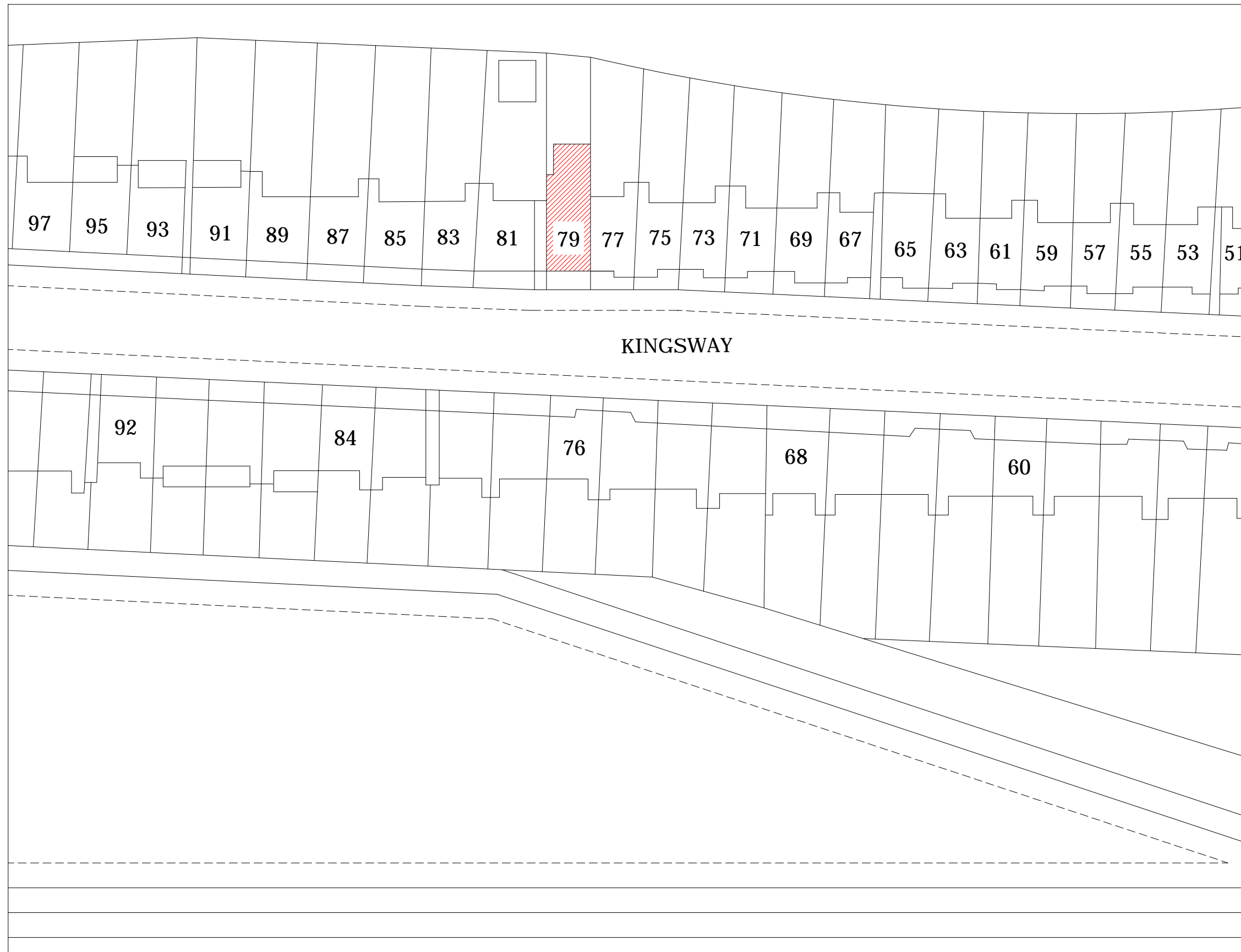
Issue :

Date : 04/03/24



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ISSUE DATE		AMENDMENT	BY

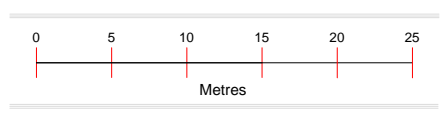




A	04.03.24	DA ISSUE	BL
ISSUE DATE		AMENDMENT	BY

Site Plan
Proposed Loft Conversion

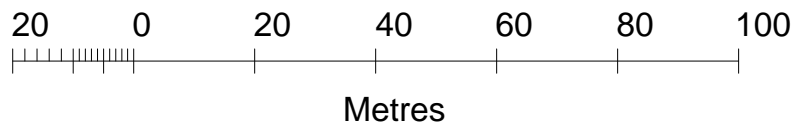
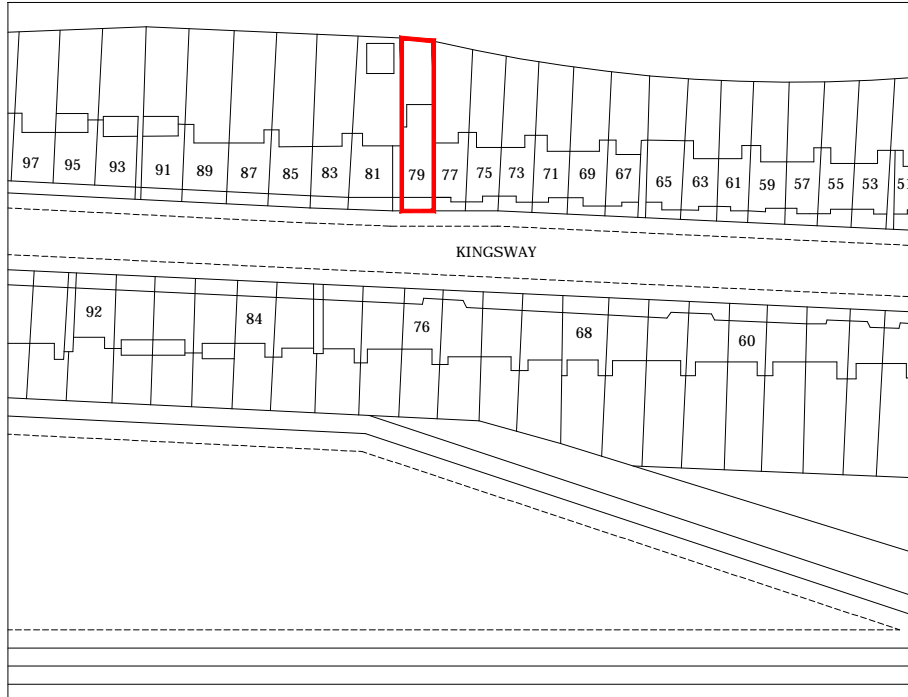
SCALE 1:500@A3



Project : Proposed Loft Conversion
Address : 79 KINGSWAY
ENFIELD
EN3 4HT

Drawing no : 79_KW_PD_10
Issue :
Date : 04/03/24





ADDRESS:
 79 KINGSWAY
 ENFIELD
 EN3 4HT

SCALE:
 1:1250@A4

