





DRAWINGS TO BE READ IN CONJUNCTION WITH COGENT'S SPECIFICATION

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KEY - BUILDERS WORK

-  New FR30 Wall
-  New Door / Window
-  Glare Control Required
-  Door numbers - New doors

NOTE REGARDING SHOWERING FACILITIES

The number of showering facilities has been based on the following calculations:
 Total of 8 cycle spaces provided in secure car park
 8 spaces = >10, therefore only 1 shower room required.
 NB: The shower room is designed to Part M requirements and is therefore fully accessible

Existing roller shutter to be blocked up with brick and blockwork to match existing..

New external grade galvanised steel security door with powder coated finish.

Re-decoration to existing external cladding using powder spray recoating finish

New 2no. roller shutters power coated to match re-decorated cladding

Existing windows & glazing to be stripped out and infilled with brick & blockwork to match existing.

New external timber gas cupboard door.

Existing windows & glazing to be blocked up with brick and blockwork to match existing.

NOTE REGARDING CYCLE PARKING FACILITIES

The number of bike parking spaces has been based on the following calculations:
 1 cycle space required per 10 employees in accordance with BREEAM requirements
 10m² office floor space per 1 employee
 250m² total office floor space = 25 employees
 25/10 = 2.5 cycle spaces
 This has been rounded up to 3 and further cycle spaces have been provided for futureproofing reasons

PLANNING ISSUE

Staff canteen to be redecorated in Dulux Trade Brilliant White Scrubbale Matt.
 Architraves to be redecorated in RAL 7016 dulux trade scrubbable matt.

New double glazed powder coated aluminium windows

New light gauge metal stud framing system for external walls - non-load bearing infill system with following wall build up (internal face to external face) - 2no. layers plasterboard, vapour control layer, light gauge metal studs with non-combustible insulation running between studs, sheathing board fixed to frame, brick slip finish mechanically fixed to frame through sheathing board. New external walls to achieve maximum U-Value of 0.26W/(m²K) and all construction joint details to address thermal bridging in line with Part L1(a) Building Regulations.
 NB: Brick slips to match existing brick finish. Mortar joint to be applied to gaps between mechanically-fixed slips.

New metal security gate and fence.

New double glazed polyester powder coated aluminium windows & glazing.
 New polycarbonate glazed steel framed bike shelter, powder coated black with 4no. galvanised Sheffield toast racks

SPEC: Shelters4less

Derby Cycle Shelter
 Code: SR0071
 Size: H2191 x W2000 x D1700mm
 colour: Silver
 Capacity: 4 Racks / 8 Bikes

Toast Rack
 Code: SR1655
 Size: H770 x L1495 x W772mm
 Finish: Galvanised
 Capacity: 4 Racks / 8 Bikes

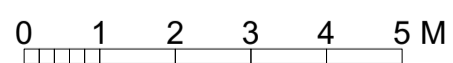
End Panel
 Code: SR0074
 Size: H855 x W1190mm

Plus sufficient quantity of M10 fixing bolts for tarmac/concrete

2no. new electric vehicle charging points to parking area

EV chargers to be at least 1100mm from building.

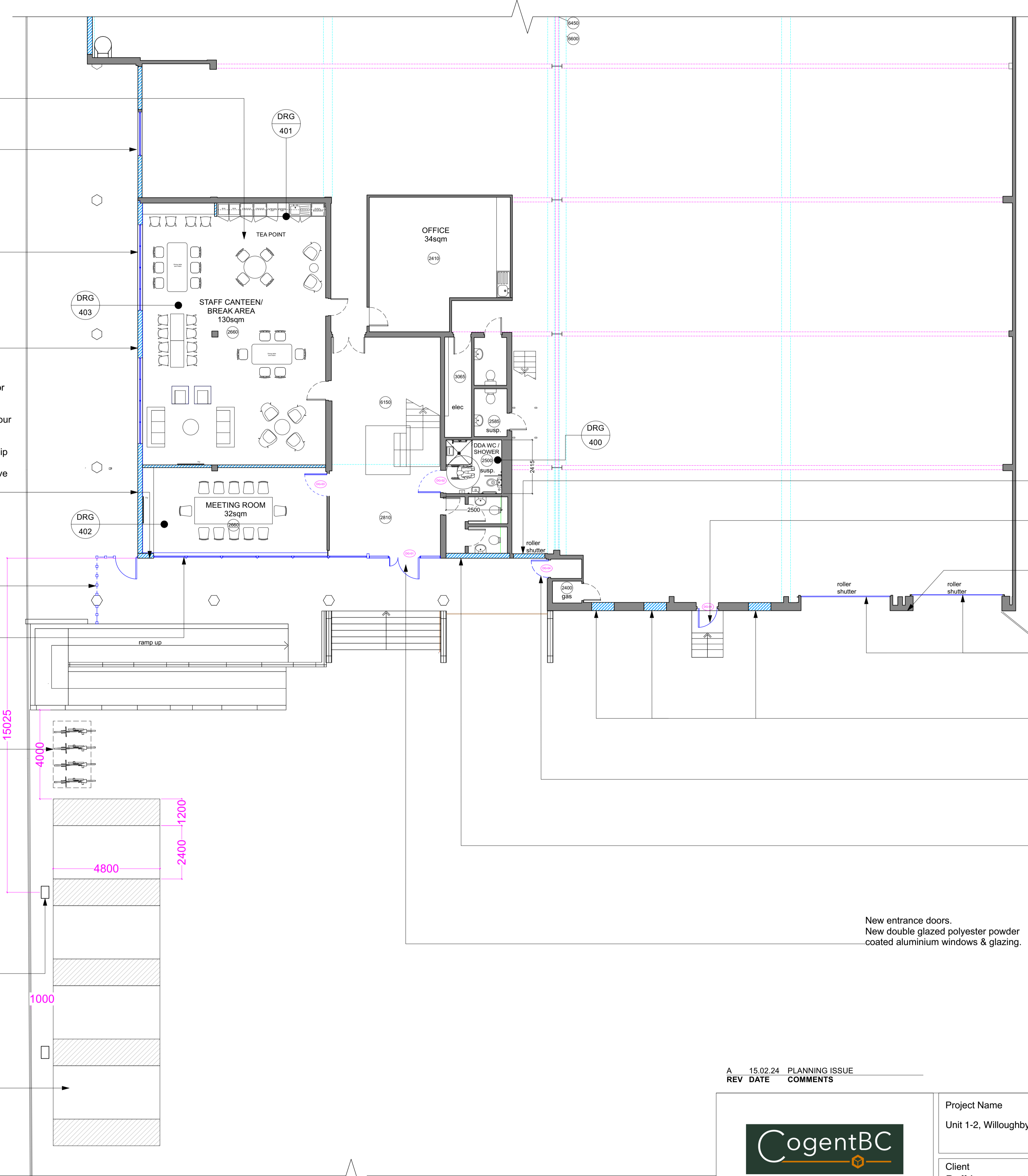
4no. new EV parking spaces designed to fulfill BS 8300:2009 to meet accessibility requirements



SCALE BAR

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Do not scale this drawing.
 All dimensions to be checked on site.
 Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.



A	15.02.24	PLANNING ISSUE
REV	DATE	COMMENTS



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Project Name	Scale	Drawn	Checked	Date
Unit 1-2, Willoughby Road, Bracknell, RG12 8FB	1:100 @A1 1:200 @ A3	MS	LNB	09.02.24
Client	Status			Drawing No.
Duff Investment Holdings Limited acting as a general partner of Argo DFI Logistics Partnership LP	REV - A			104
Drawing Title	Proposed Ground Floor Plan			